

AGENDA



PLANNING AND ZONING COMMISSION WORK SESSION MEETING
CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS
DECEMBER 27, 2022 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

NOTES: [1] ADDITIONAL CASE INFORMATION CAN BE FOUND AT [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases), AND [2] TO PROVIDE INPUT ON A ZONING OR SPECIFIC USE PERMIT CASE PLEASE [CLICK HERE](#) OR CLICK ON THE LINK ABOVE AND USE THE ZONING AND SPECIFIC USE PERMIT INPUT FORM ON THE CITY'S WEBSITE.

(I) **CALL TO ORDER**

(II) **APPOINTMENTS**

- (1) Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and comments for items on the agenda requiring architectural review.

(III) **OPEN FORUM**

This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.

(IV) **CONSENT AGENDA**

These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.

- (2) Approval of minutes for the December 13, 2022 Planning and Zoning Commission meeting.

(3) **P2022-058 (BETHANY ROSS)**

Discuss and consider a request by Robert Howman of Glenn Engineering Corp. on behalf of William Salee of the Rockwall Independent School District (RISD) for the approval of a Final Plat for Lots 1 & 2, Block A, Rockwall ISD Addition being a 76.068-acre tract of land identified as Tracts 14-01 & 14-11 of the J. M. Glass Survey, Abstract No. 88, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 94 (PD-94) for limited Neighborhood Services (NS) District land uses, generally located at the northwest corner of the intersection of FM-1141 and E. Quail Run Road, and take any action necessary.

(4) **P2022-059 (BETHANY ROSS)**

Discuss and consider a request by Robert Howman of Glenn Engineering Corp. on behalf of William Salee of the Rockwall Independent School District (RISD) for the approval of a Replat for Lots 2 & 3, Block A, Rockwall – CCA Addition being a 173.00-acre tract of land identified as Tract 7-1 of the W. H. Baird Survey, Abstract No. 25 and Lot 1, Block A, Rockwall CCA Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 95 (PD-95) for limited Neighborhood Services (NS) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, addressed as 2301 John King Boulevard, and take any action necessary.

(5) **P2022-060 (BETHANY ROSS)**

Discuss and consider a request by Daniel Stewart of DEC on behalf of Randall Noe for the approval of a Replat for Lots 4 & 5, Block B, Town Place Marriott Addition being a 4.333-acre parcel of land identified as Lot 3, Block B, Town Place Marriott Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, located at the northeast corner of the intersection of the IH-30 Frontage Road and Greencrest Boulevard, and take any action necessary.

(V) **ACTION ITEMS**

These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances and special exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of Ordinances.

(6) **SP2022-062 (BETHANY ROSS)**

Discuss and consider a request by Bob Prueett of Urban Structure on behalf of Garrett Poindexter of Cambridge Properties, LLC for the approval of an Amended Site Plan for a Mini-Warehouse Facility on a 3.682-acre tract of land being a portion of a larger 7.154-acre tract of land identified as Tract 3 of the J. M. Allen Survey, Abstract No. 2, City of Rockwall, Rockwall County, Texas, zoned

Planned Development District 10 (PD-10) for Commercial (C) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District and the SH-276 Overlay (SH-276 OV) District, situated at the southeast corner of the intersection of John King Boulevard and Discovery Boulevard, and take any action necessary.

(VI) **DISCUSSION ITEMS**

These items are for discussion between staff and the Planning and Zoning Commission and relate to administrative information and/or cases that will come forward for action or public hearing at a future Planning and Zoning Commission meeting. Public comment on these cases can take place when these items are considered for action by the Planning and Zoning Commission. The anticipated Planning and Zoning Commission public hearing and/or action date for the following cases is January 10, 2022.

(7) **Z2022-056 (BETHANY ROSS)**

Hold a public hearing to discuss and consider a request by Matthew Benedetto for the approval of a Specific Use Permit (SUP) for a Detached Garage on a three (3) acre parcel of land identified as Lot 19, Block A, Northgate Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 88 (PD-88) for Single-Family 1 (SF-1) District land uses, addressed as 835 Clem Road, and take any action necessary.

(8) **Z2022-057 (HENRY LEE)**

Hold a public hearing to discuss and consider a request by Dub Douphrate of Douphrate and Associates, Inc. for the approval of a Zoning Change from an Agricultural (AG) District to a Planned Development (PD) District for General Retail (GR) District and Single-Family 1 (SF-1) District land uses on a 25.87-acre tract of land identified as parcel of land identified as Tract 14 of the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the East SH-66 Overlay (E. SH-66 OV) District, generally located southside of SH-66 east of the intersection of SH-66 and Davis Drive, and take any action necessary.

(9) **Z2022-058 (HENRY LEE)**

Hold a public hearing to discuss and consider a request by Asher Hamilton on behalf of RIV Properties, Alvin Moton Jr., James Moton, Terra Moton, Debra Heard, Beulah Robertson, Tony Moton, and Kathy Moton for the approval of a PD Development Plan for a 176-unit condominium building on a 3.59-acre tract of land identified as Lots 1 & 2, Block 1; Lots 1, 2, 3, & 4, Block 2; Lots 1, 2, 3, & 4, Block 3; Lots 1, 2, 3, & 4, Block 5; Lots 1 & 2 and a portion of Lots 3 & 4, Block 6; Lots 2, 3, & 4, Block 7; Lots 1 & 2, Block 8; and Lots 1, 2, 3, & 4, Block 9, Moton Addition, City of Rockwall, Rockwall County, Texas, situated within the Hillside Mixed Use Subdistrict and the Horizon/Summer Lee Subdistrict of Planned Development District 32 (PD-32), generally located at the southwest corner of the intersection of Horizon Road and Summer Lee Drive, and take any action necessary.

(10) **Z2022-059 (HENRY LEE)**

Hold a public hearing to discuss and consider a request by Dewayne Zinn of Cross Engineering Consultants, Inc. on behalf of Chad Dubose of JCDB Goliad Holdings, LLC for the approval of a Specific Use Permit (SUP) for a Restaurant with 2,000 SF or more with a Drive-Through (i.e. Smoothie King) on a 0.579-acre portion of a larger 2.542-acre parcel of land identified as Lot 1, Block A, Pecan Valley Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, located at the northwest corner of the intersection of Pecan Valley Drive and N. Goliad Street [SH-205], and take any action necessary.

(11) **Z2022-060 (RYAN MILLER)**

Hold a public hearing to discuss and consider approval of a Text Amendment to Article 04, Permissible Uses, of the Unified Development Code (UDC) [Ordinance No. 20-02] for the purpose of making changes to the Solar Collector Panels and Systems requirements for residential properties, and take any action necessary.

(12) **SP2022-057 (HENRY LEE)**

Discuss and consider a request by Bowen Hendrix of DuWest Realty, LLC for the approval of a Site Plan for a Restaurant with 2,000 SF or more with a Drive-Through (i.e. Chipotle) on an 8.684-acre portion of a larger 36.428-acre tract of land identified as Tract 3 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, being zoned Planned Development District 70 (PD-70) for limited General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, generally located at the northeast corner of the intersection of E. Quail Run Road and N. Goliad Street [SH-205], and take any action necessary.

(13) **SP2022-063 (HENRY LEE)**

Discuss and consider a request by Steven Reyes on behalf of Patrick Kelley for the approval of a Site Plan for an Office/Showroom Facility on a 0.291-acre parcel of land identified as Tract 12-2 of the E. P. G. Chisum Survey, Abstract No. 64, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 125 E. Ralph Hall Parkway, and take any action necessary.

(14) **SP2022-064 (BETHANY ROSS)**

Discuss and consider a request by Jeff Carroll of Jeff Carroll Architects, Inc. on behalf of Eric Borkenhalen of Kohl's Department Stores for the approval of a Site Plan for an *Animal Clinic for Small Animals without Outside Pens* on a 0.636-acre portion of a larger 7.383-acre parcel of land identified as Lot 7, Block A, Rockwall Market Center East Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, located at the terminus of Rochell Court, and take any action necessary.

(15) Director's Report of post City Council meeting outcomes for development cases **(RYAN MILLER)**.

- Z2022-051: Zoning Change (AG to C) for 2410 S. Goliad Street **(APPROVED; 1ST READING)**
- Z2022-052: SUP for *Residential Infill Adjacent to an Established Subdivision* for 211 Jacob Crossing **(APPROVED; 1ST READING)**
- Z2022-055: Amendment to Planned Development District 87 (PD-87) **(APPROVED; 1ST READING)**

(VII) ADJOURNMENT

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Local Government Code §55.071 (Consultation with City Attorney) or any other exception allowed under Chapter 551 of the Texas Local Government Code.

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Sarah Chapin, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on December 21, 2022 at 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

MINUTES



PLANNING AND ZONING COMMISSION MEETING
CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS
DECEMBER 13, 2022 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

2 **NOTES:** [1] ADDITIONAL CASE INFORMATION CAN BE FOUND AT
3 [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases), AND [2] TO PROVIDE INPUT ON A ZONING OR
4 SPECIFIC USE PERMIT CASE PLEASE [CLICK HERE](#) OR CLICK ON THE LINK ABOVE AND USE THE ZONING AND SPECIFIC USE PERMIT INPUT
5 FORM ON THE CITY'S WEBSITE.

7 I. CALL TO ORDER

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9 **Chairman Thomas called the meeting to order at 6:00 PM. Commissioners present were Jean Conway, Brian Llewelyn, Jerry Welch, John Womble, Derek Deckard, and Ross Hustings. Staff members present were Director of Planning and Zoning Ryan Miller, Planner Bethany Ross, City Engineer Amy Williams, Assistant City Engineer Jonathan Browning, and Civil Engineer Sarah Johnston. Absent from the meeting was Planner Henry Lee, Planning Technician Angelica Guevara, and Planning Coordinator Sarah Chapin.**

14 II. OPEN FORUM

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16 *This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.*

20
21 **Chairman Thomas explained how open forum is conducted and asked if anyone wished to speak to come forward at this time; there being no one indicating such, Chairman Thomas closed the open forum.**

24 III. CONSENT AGENDA

25
26 *These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.*

29 1. Approval of minutes for the November 29, 2022 Planning and Zoning Commission meeting.

31 2. SP2022-060 (HENRY LEE)

32 Discuss and consider a request by Cody Johnson of Johnson Volk Consulting on behalf of Kyle Tressler of Qualico Development, Inc. for the approval of a Site Plan for the Nelson Lake Subdivision amenity center being a 1.403-acre portion of a larger 120.9004-acre tract of land identified as Tract 2 of the J. M. Gass Survey, Abstract No. 88, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 90 (PD-90) [Ordinance No. 21-09] for Single-Family 10 (SF-10) District land uses, generally located at the southeast corner of the intersection of FM-1141 and FM-552, and take any action necessary.

37 **Commissioner Womble made a motion to approve the consent agenda. Commissioner Welch seconded the motion which passed by a vote of 7-0.**

39 IV. PUBLIC HEARING ITEMS

40
41 *This is a time for anyone to speak concerning their issues with a public hearing case. If you would like to speak regarding an item listed in this section, please submit a Request to Address the Planning and Zoning Commission (i.e. the yellow forms available at the podium or from staff). The Planning and Zoning Commission Chairman will call upon you to come forward at the proper time or will ask if anyone in the audience would like to speak. Please limit all comments to three (3) minutes out of respect for the time of other citizens.*

46 3. Z2022-051 (HENRY LEE)

47 Hold a public hearing to discuss and consider a request by Mariel Street on behalf of Cathy Strother for the approval of a Zoning Change from an Agricultural (AG) District to a Commercial (C) District for a two (2) acre parcel of land identified as Lot 1, Block A, Roadside Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District and Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 2410 S. Goliad Street [SH-205], and take any action necessary.

52 **Director of Planning and Zoning Ryan Miller provided a brief summary in regards to the request to rezone the subject property from Agricultural (AG) District to Commercial (C) District. Director Miller advised the request to rezone does conform with the future land use map. Director Miller advised that the applicant is requesting the zoning change in order to allow Commercial (C) District land uses on the property, including the ability to have food trucks on the property. There are several legally non-conforming structures on the property and the proposed zoning change will not change the legally non-conforming status on those buildings. However, the property will be subject to the Commercial (C) District standards in the event that the applicant redevelops the property in the future. As with all zoning cases, notices were mailed out to property owners and occupants within 500-feet of the subject property and to HOAs within 1,500-feet of the subject property. At this time, Staff had received one (1) notice from one (1) property owner opposed to the applicant's request.**

61 **Marcus Street**
62 **Dallas, TX**

64 Mr. Street came forward and explained why he is requesting to rezone the subject property.
65
66 Chairman Thomas asked if anyone else wished to speak to come forward at this time; there being no one indicating such, Chairman Thomas closed
67 the public hearing and brought the item back to the Commission for discussion or action.
68
69 Commissioner Welch asked what the city ordinance says about food trucks.
70 Vice-Chairman Deckard brought up the concern that the property is lacking updates which other restaurant and retail facilities within the City have,
71 such as paving the parking lot.
72 Commissioner Conway asked if there are limits on the number of food trucks per acreage or square footage and if there is ample parking for the
73 food truck.
74
75 After discussion, Commissioner Welch made a motion to approve Z2022-051. Commissioner Womble seconded the motion to approve which passed
76 by a vote of 7-0.
77
78 Chairman Thomas advised that this item will go before the City Council on December 19, 2022.

80 4. Z2022-052 (ANGELICA GUEVARA) **[REQUEST TO WITHDRAW]**
81 Hold a public hearing to discuss and consider a request by Danna McCarty of Shepherd Place Homes, Inc. for the approval of a Specific Use Permit (SUP) for
82 Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.4078-acre tract of land identified as Lots 1300 & 1301
83 of the Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-
84 7) District land uses, addressed as 790 County Line Road, and take any action necessary.

86 Vice Chairman Deckard made a motion to approve the request to withdraw for case Z2022-052. Commissioner Llewellyn seconded the motion which
87 passed by a vote of 7-0.
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89 5. Z2022-053 (HENRY LEE) **[REQUEST TO WITHDRAW]**
90 Hold a public hearing to discuss and consider a request by Dub Douphrate of Douphrate and Associates, Inc. for the approval of a Zoning Change from an
91 Agricultural (AG) District to a Planned Development (PD) District for General Retail (GR) District and Single-Family 10 (SF-10) District land uses on a 25.87-
92 acre tract of land identified as parcel of land identified as Tract 14 of the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned
93 Agricultural (AG) District, situated within the East SH-66 Overlay (E. SH-66 OV) District, generally located southside of SH-66 east of the intersection of SH-66
94 and Davis Drive, and take any action necessary.

96 Commissioner Conway made a motion to approve the request to withdraw for case Z2022-053. Vice Chairman Deckard seconded the motion which
97 passed by a vote of 7-0.
98

99 6. Z2022-054 (BETHANY ROSS)
100 Hold a public hearing to discuss and consider a request by Scott Clements on behalf of Dana Moffatt for the approval of a Specific Use Permit (SUP) for
101 Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.1837-acre parcel of land identified as Lot 7, Block B,
102 North Towne Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the North SH-205 Overlay (N. SH-205
103 OV) District, addressed as 211 Jacob Crossing, and take any action necessary.

105 Planner Bethany Ross provided a brief summary in regards to the request for a Specific Use Permit (SUP) for a Residential Infill in an Established
106 Subdivision. Planner Ross advised the single-family home meets all of the density and dimensional requirements of Single-Family 7 (SF-7) District.
107 As with all zoning cases, notices were mailed out to property owners and occupants within 500-feet of the subject property and to HOAs within 1,500-
108 feet of the subject property. At this time, Staff had received two (2) notices from two (2) property owners in favor of the applicant's request.

110 Chairman Thomas asked if anyone else wished to speak to come forward at this time; there being no one indicating such, Chairman Thomas closed
111 the public hearing and brought the item back to the Commission for discussion or action.

113 Vice Chairman Deckard made a motion to approve Z2022-054. Commissioner Llewellyn seconded the motion to approve which passed by a vote of
114 7-0.
115

116 Chairman Thomas advised that this item will go before the City Council on December 19, 2022.

118 7. Z2022-055 (HENRY LEE)
119 Hold a public hearing to discuss and consider a request by Dub Douphrate of Douphrate and Associates on behalf of Ryan Lewis and Scott Sutton of Crosspoint
120 Community Church for the approval of a Zoning Change amending Planned Development District 87 (PD-87) [*Ordinance No. 18-46*] being a 16.26-acre tract of
121 land identified as a Lot 1, Block 1, Indalloy Addition and Tract 31 of the R. Ballard Survey, Abstract No. 29, City of Rockwall, Rockwall County, Texas, zoned
122 Planned Development District 87 (PD-87) for Single-Family 10 (SF-10) District, General Retail (GR) District and Light Industrial (LI) District land uses, located
123 on the southside of E. Washington Street east of the intersection of Park Place Boulevard and E. Washington Street, and take any action necessary.

125 Director of Planning and Zoning Ryan Miller provided a brief summary in regards to the history of the property and the request. Director Miller advised
126 that the case did come before the Planning and Zoning Commission previously and was denied by a vote of 7-0. The applicant decided to resubmit
127 for this cycle requesting the same amendment as was previously requested, but the applicant has provided a new concept plan. Director Miller
128 advised the request does conform with the comprehensive plan, unless a church or house of worship is constructed on the property, which would
129 necessitate a change in the future land use map. As with all zoning cases, notices were mailed out to property owners and occupants within 500-feet
130 of the subject property and to HOAs within 1,500-feet of the subject property. At this time, Staff had received sixteen (16) notices from twelve (12)

131 property owners in opposition to the applicant's request and thirty-five (35) notices from thirty (30) property owners in favor of the applicant's
132 request. Staff also received a letter from the only HOA within 1,500-feet of the subject property stating they are in support of the applicant's request.
133
134 Vice Chairman Deckard asked if there were any other uses that were specifically denied in the original Planned Development District 87 (PD-87)
135 ordinances.
136
137 **Scott Sutton**
138 1200 E. Washington St
139 Rockwall, TX 75087
140
141 Mr. Sutton came forward and presented a power point addressing parking and traffic concerns.
142
143 Commissioner Womble asked how moving the parking lots behind the building would reduce traffic.
144 Chairman Thomas asked if anyone else wished to speak to come forward at this time.
145
146 **Bill Bricker**
147 505 Westway Dr
148 Rockwall, TX 75087
149
150 Mr. Bricker came forward and provided additional details and history in regards to the request. He also expressed being in favor of the request.
151
152 **John Wardell**
153 880 Ivy Ln
154 Rockwall, TX 75087
155
156 Mr. Wardell came forward and expressed being in favor of the request.
157
158 **Dennis Fox**
159 1027 Saint Thomas Ct
160 Rockwall, TX 75087
161
162 Mr. Fox came forward with a concern about the traffic flow. He also expressed being in opposition of the request.
163
164 **Karen Fox**
165 1027 Saint Thomas Ct
166 Rockwall, TX 75087
167
168 Mrs. Fox came forward and expressed concern about vehicles coming around the blind spot near the proposed church entrance. She also expressed
169 being in opposition of the request.
170
171 **Julie Fecht**
172 1026 Ivy Ln
173 Rockwall, Tx 75087
174
175 Mrs. Fecht came forward and expressed being in favor of the request.
176
177 **Rick Johnson**
178 1035 Saint Thomas Ct
179 Rockwall, TX 75087
180
181 Mr. Johnson came forward and expressed being in opposition of the request.
182
183 **Cynthia Olson**
184 1039 Saint Thomas Ct
185 Rockwall, TX 75087
186
187 Mrs. Olson came forward and expressed being in opposition of the request due to traffic issues.
188
189 **Robert Garland**
190 1028 Michael Gardens
191 Rockwall, TX 75087
192
193 Mr. Garland came forward and expressed being in favor of the request.
194
195 **Bruce Ivey**
196 1026 Saint Thomas Ct
197 Rockwall, TX 75087
198

199 Mr. Ivey came forward and expressed being in opposition of the request due to traffic concerns.

200

201 Joe Rubertino
202 1048 Michael Gardens
203 Rockwall, TX 75087

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205 Mr. Rubertino came forward and expressed being in favor of the request.

206

207 Judy Dubreuil
208 1023 Saint Thomas Ct
209 Rockwall, TX 75087

210

211 Mrs. Dubreuil came forward and expressed being in opposition of the request due to the impact the church will have on the park.

212

213 Frosini Rubertino
214 1048 Michael Gardens
215 Rockwall, TX 75087

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217 Mrs. Rubertino came forward and expressed being in favor of the request.

218

219 Terry Beer
220 1039 Saint Thomas Ct
221 Rockwall, TX 75087

222

223 Mr. Beer came forward and expressed being in opposition of the request.

224

225 Shay Fields
226 1032 Saint Charles Ct
227 Rockwall, TX 75087

228

229 Mr. Fields came forward and expressed being in favor of the request.

230

231 David A. David
232 1020 Saint Charles Ct
233 Rockwall, TX 75087

234

235 Mr. David came forward and expressed being in favor of the request.

236

237 Marsha Mason
238 901 Ivy Ln
239 Rockwall, TX 75087

240

241 Mrs. Mason came forward and expressed being in favor of the request.

242

243 Evelyn Harrill
244 892 Ivy Ln
245 Rockwall, Tx 75087

246

247 Mrs. Harrill came forward and expressed being in favor of the request.

248

249 Ronnie Howell
250 434 Jordan Farm Cir
251 Rockwall, TX 75087

252

253 Mr. Howell came forward and expressed being in favor of the request.

254

255 Mike Mishler
256 1009 Ivy Ln
257 Rockwall, TX 75087

258

259 Mr. Mishler came forward and expressed being in favor of the request.

260

261 Chairman Thomas asked if anyone else wished to speak to come forward at this time; there being no one indicating such, Chairman Thomas closed
262 the public hearing and brought the item back to the Commission for discussion or action.

263

264 Scott Sutton
265 1200 E. Washington St
266 Rockwall, TX 75087

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Mr. Sutton came forward and clarified concerns brought up during the Public Hearing, including: the amount of stone on the pillars and the percentage of traffic.

Commissioner Welch asked what the second building would be used for and if there is another entrance/exit that does not connect to Washington St.

Vice Chairman Deckard asked why the applicant chose to build between 750 to 1,000 seats, what uses are allowed for that property and when the last traffic study was conducted on Washington St.

Vice Chairman Deckard brought up the concern about changing the zoning next to a fully developed neighborhood.

Commissioner Llewellyn stated that the zoning was already changed in 2018 after several of the current homeowners already lived in the area.

Commissioner Conway advised she was against the zoning change in 2018.

Chairman Thomas asked for clarification about the zoning change in 2018 and how it affected churches as a land use.

Commissioner Welch asked if all proposed churches are looked at individually.

Commissioner Womble advised that he cannot support the request, because there has been no substantial change since the previous request which was unanimously denied.

Commissioner Hustings asked if there is any timeline for the realignment of SH-66.

After lengthy discussion, Commissioner Llewellyn made a motion to approve Z2022-055. Commissioner Conway seconded the motion to approve which passed by a vote of 4-3 with Chairman Thomas, Vice Chairman Deckard, and Commissioner Womble dissenting.

Chairman Thomas advised that this item will go before the City Council on December 19, 2022.

V. ACTION ITEMS

These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances and special exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of Ordinances.

8. SP2022-061 (HENRY LEE)

Discuss and consider a request by Robert Howman of Glenn Engineering on behalf of William Salee of Rockwall Independent School District (RISD) for the approval of a Site Plan for an Elementary School on a 11.605-acre tract of land identified as Tract 17-01 of the E. P. G. Chisum Survey, Abstract No. 64, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 899 Tubbs Road, and take any action necessary.

Director of Planning and Zoning Ryan Miller provided a brief summary in regards to the request for the approval of a new elementary school on the subject property. Director Miller advised the applicant does plan on building the new school while the existing school on the property is still in use, then removing the existing school after the completion of the new school. Director Miller advised the Site Plan does meet the majority of the technical requirements. The applicant is requesting variances to the stone and secondary material requirements and the articulation requirements, which are not abnormal variances in a Light Industrial (LI) building. The applicant is also requesting a variance to the tree requirements, but Parks Director Travis Sales has reviewed the trees and saw no issue with the removal of the proposed trees. Director Miller advised this request does require a super majority vote in order to pass.

Will Salee
1050 Williams Street
Rockwall, TX 75087

Mr. Salee came forward and advised that a few minor changes were made to the Site Plan based on staff recommendations.

Chairman Welch made a motion to approve Z2022-061 with staff recommendations. Commissioner Womble seconded the motion to approve with staff recommendations which passed by a vote of 7-0.

VI. DISCUSSION ITEMS

9. Discuss and consider directing staff to make changes to Subsection 02.03(K)(7), *Solar Energy Collector Panels and Systems*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), and take any action necessary.

10. Director's Report of post City Council meeting outcomes for development cases (RYAN MILLER).

- P2022-057: Replat for Lot 12, Block B, Horizon Ridge Addition [APPROVED]
- MIS2022-023: Exception to the Street Improvement Requirements [APPROVED]
- Z2022-047: Zoning Change (AG to GR) for JMS Custom Homes, LLC [APPROVED; 2ND READING]
- Z2022-048: SUP for a *Guest Quarters/Secondary Living Unit* and *Detached Garage* at 2348 Saddlebrook Lane [DENIED]
- Z2022-049: SUP for *Residential Infill Adjacent to an Established Subdivision* for 1505 S. Alamo Street [APPROVED; 2ND READING]
- Z2022-050: Text Amendment to Article 05, *District Development Standards*, of the UDC [APPROVED; 2ND READING]

Director of Planning and Zoning Ryan Miller provided a brief update about the outcome of the above referenced cases at the City Council meeting.

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VII. ADJOURNMENT

Chairman Thomas adjourned the meeting at 8:21 pm.

PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL, Texas, this _____ day of _____, 2022.

Sedric Thomas, Chairman

Attest:

Sarah Chapin, Planning Coordinator



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: December 27, 2022
APPLICANT: Robert Howman; *Glenn Engineering*
CASE NUMBER: P2022-059; *Final Plat for Lots 1 & 2, Block A, Rockwall ISD Addition*

SUMMARY

Consider a request by Robert Howman of Glenn Engineering Corp. on behalf of William Salee of the Rockwall Independent School District (RISD) for the approval of a Final Plat for Lots 1 & 2, Block A, Rockwall ISD Addition being a 76.068-acre tract of land identified as Tracts 14-01 & 14-11 of the J. M. Glass Survey, Abstract No. 88, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 94 (PD-94) for limited Neighborhood Services (NS) District land uses, generally located at the northwest corner of the intersection of FM-1141 and E. Quail Run Road, and take any action necessary.

PLAT INFORMATION

- The applicant is requesting the approval of a Final Plat for a 76.068-acre tract of land (*i.e. Tracts 14-01 & 14-11 of the J.M Glass Survey, Abstract No. 88*) for the purpose of establishing two (2) parcels of land (*i.e. Lots 1 & 2, Block A, Rockwall ISD Addition*) and the fire lanes and utility easements necessary to develop a *Public Secondary School* on the subject property.
- On June 15, 1998, the subject property was annexed by the City Council through *Ordinance No. 98-20 [Case No. A1998-002]*. On May 2, 2022, City Council approved a zoning change through *Ordinance No. 22-24 [Case No. Z2022-014]* changing the zoning of the subject property from an Agricultural (AG) District to Planned Development District 95 (PD-95) for limited Neighborhood Services (NS) District land uses. On July 5, 2022, the City Council approved a *Preliminary Plat* and denied *Infrastructure Variances [Case No. P2022-029]* for the subject property. On July 12, 2022, the Planning and Zoning approved a Site Plan [*Case No. SP2022-018*] for the construction of a *Public Secondary School* on the subject property.
- The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional approval of this Final Plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the Final Plat for *Lots 1 & 2, Block A, Rockwall ISD Addition* staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat; and,

- (2) Any construction resulting from the approval of this Replat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 12/16/2022

PROJECT NUMBER: P2022-058
PROJECT NAME: Final Plat for Lots 1 & 2, Block A, Rockwall ISD Addition
SITE ADDRESS/LOCATIONS: 2850 FM 1141

CASE MANAGER: Bethany Ross
CASE MANAGER PHONE: (972) 772-6488
CASE MANAGER EMAIL: bross@rockwall.com

CASE CAPTION: Discuss and consider a request by Robert Howman of Glenn Engineering Corp. on behalf of William Salee of the Rockwall Independent School District (RISD) for the approval of a Final Plat for Lots 1 & 2, Block A, Rockwall ISD Addition being a 76.068-acre tract of land identified as Tracts 14-01 & 14-11 of the J. M. Glass Survey, Abstract No. 88, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 94 (PD-94) for limited Neighborhood Services (NS) District land uses, generally located at the northwest corner of the intersection of FM-1141 and E. Quail Run Road, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Bethany Ross	12/16/2022	Approved w/ Comments

12/16/2022: P2022-058: Final Plat for Lots 1 & 2, Block A, Rockwall ISD Addition
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request by Robert Howman of Glenn Engineering Corp. on behalf of William Salee of the Rockwall Independent School District (RISD) for the approval of a Final Plat for Lots 1 & 2, Block A, Rockwall ISD Addition being a 76.068-acre tract of land identified as Tracts 14-01 & 14-11 of the J. M. Glass Survey, Abstract No. 88, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 94 (PD-94) for limited Neighborhood Services (NS) District land uses, generally located at the northwest corner of the intersection of FM-1141 and E. Quail Run Road, and take any action necessary.

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com.

M.3 For reference, include the case number (P2022-058) in the lower right-hand corner of all pages on future submittals.

M.4 Please add the following to the General Notes: "Property owner shall be responsible for maintaining, repairing, and replacing all systems within the drainage and detention easements." (Subsection 7.d.9, of Chapter 38, of the Municipal Code of Ordinances)

I.5 Staff has identified the aforementioned items necessary to continue the submittal process. Please make all revisions and corrections and return to staff as soon as possible for a subsequent review prior to approval.

I.6 The projected meeting dates for this case are as follows:

Planning and Zoning Commission: December 27, 2022
City Council: January 3, 2023

I.7 Please note that once the Final Plat has been approved by the Planning and Zoning Commission and City Council, the case will be considered to be conditionally approved pending all of staff's comments from all City Departments and any applicable conditions of approval contained in staff's case memo are addressed prior to the subdivision plat being filed.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	12/16/2022	Needs Review

12/16/2022: - Visibility easements required at driveway connections to public roadways.
 - Add easement dimensions for pond.
 - Connection to Quail Run is a fire lane. Add Easement.
 - What is this 20' measurement?

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	12/14/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	12/15/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	12/13/2022	Approved

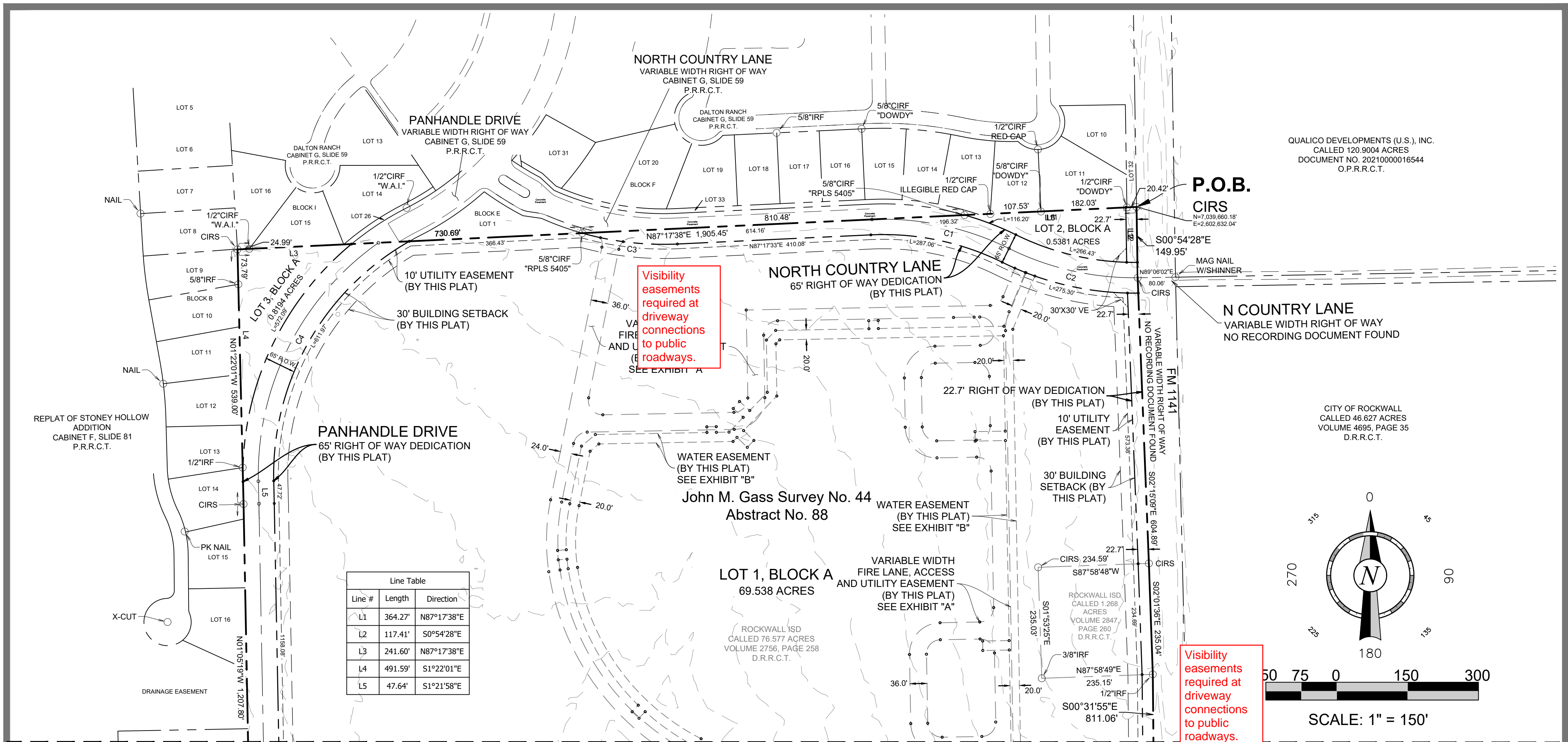
No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	12/13/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Bethany Ross	12/16/2022	N/A

No Comments

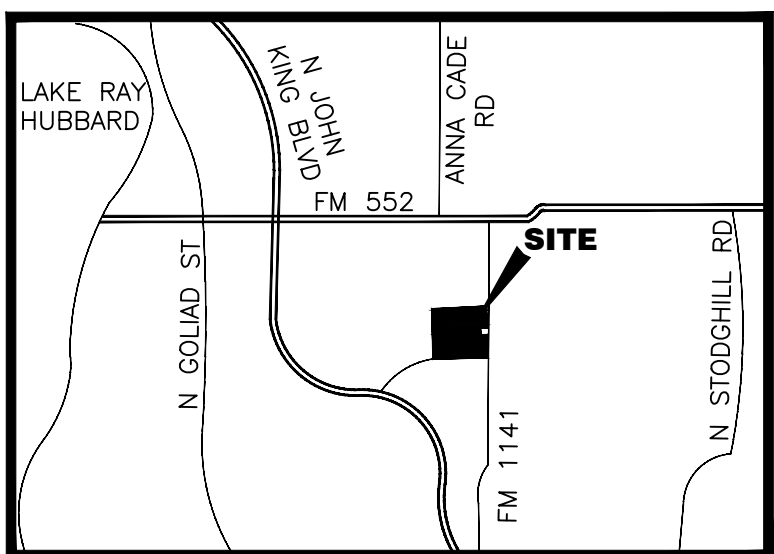


Match Line - See Sheet 2

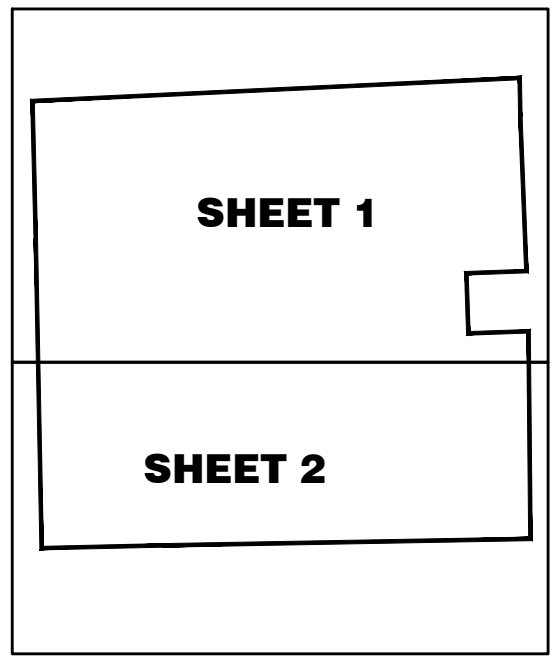
OWNER:
Rockwall ISD
801 East Washington St.
Rockwall Texas, 75087
(469) 698-7031
Contact: William Salee

ENGINEER:
Glenn Engineering Corp.
105 Decker Court, Suite 910
Irving, Texas 75062
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Contact: Robert Howman

SURVEYOR:
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1200 West Magnolia Blvd., Suite 300
Fort Worth, TX 76104



LOCATION MAP
NOT TO SCALE



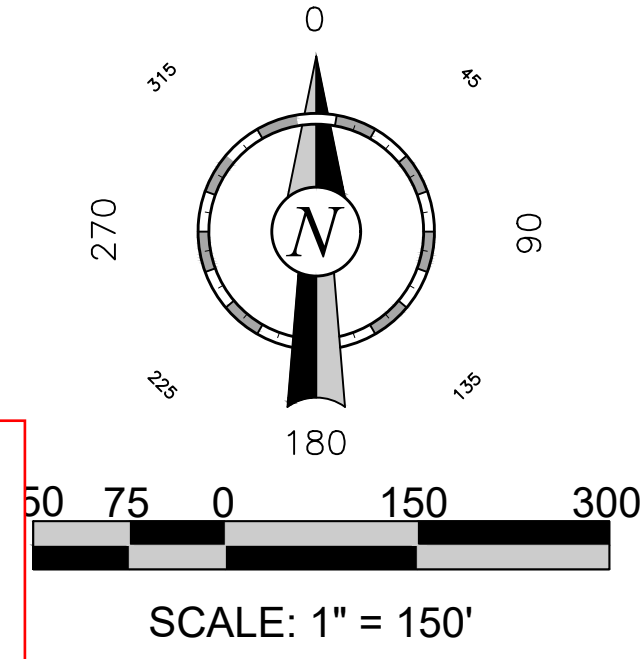
SHEET KEY MAP

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LEGEND

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- PREVIOUS TRACT LINE
- BOUNDARY LINE

Visibility easements required at driveway connections to public roadways.



QUALICO DEVELOPMENTS (U.S.), INC.
CALLED 120.9004 ACRES
DOCUMENT NO. 20210000016544
O.P.R.R.C.T.

CITY OF ROCKWALL
CALLED 46.627 ACRES
VOLUME 4695, PAGE 35
D.R.R.C.T.

FINAL PLAT

ROCKWALL I.S.D. ADDITION

LOTS 1 AND 2, BLOCK A
BEING 76.536 ACRES
SITUATED WITHIN THE
JOHN M. GASS SURVEY NO. 44, ABSTRACT NUMBER 88
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
Case No: P2022-028

Bowman

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1200 West Magnolia Blvd., Suite 300 Fort Worth, TX 76104
Phone: (214) 484-8586
www.bowman.com
TBPELS #10120600



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 2850 FM 1141, Rockwall, Texas 75098

SUBDIVISION Rockwall ISD Addition

LOT 1 BLOCK A

GENERAL LOCATION Northwest corner of Quail Run Road and FM 1141

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD for NS Uses

CURRENT USE Public School

PROPOSED ZONING

PROPOSED USE

ACREAGE 69.539 acres

LOTS [CURRENT]

1 & 2

LOTS [PROPOSED]

1

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Rockwall Independent School District

APPLICANT Glenn Engineering Corporation

CONTACT PERSON William Salee - Executive Director of Operations

CONTACT PERSON Robert Howman

ADDRESS 1191 T.L. Townsend Drive

ADDRESS 4500 Fuller Drive, Ste 220

CITY, STATE & ZIP Rockwall, Texas 75087

CITY, STATE & ZIP Irving, Texas 75038

PHONE 469-698-7031

PHONE 972.717.5151

E-MAIL will.salee@rockwallisd.org

E-MAIL rahowman@glennengineering.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED WILLIAM SALEE [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

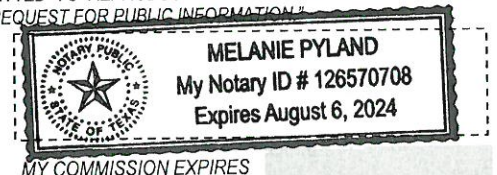
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 1,690.78 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE NINTH DAY OF DECEMBER, 2022. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

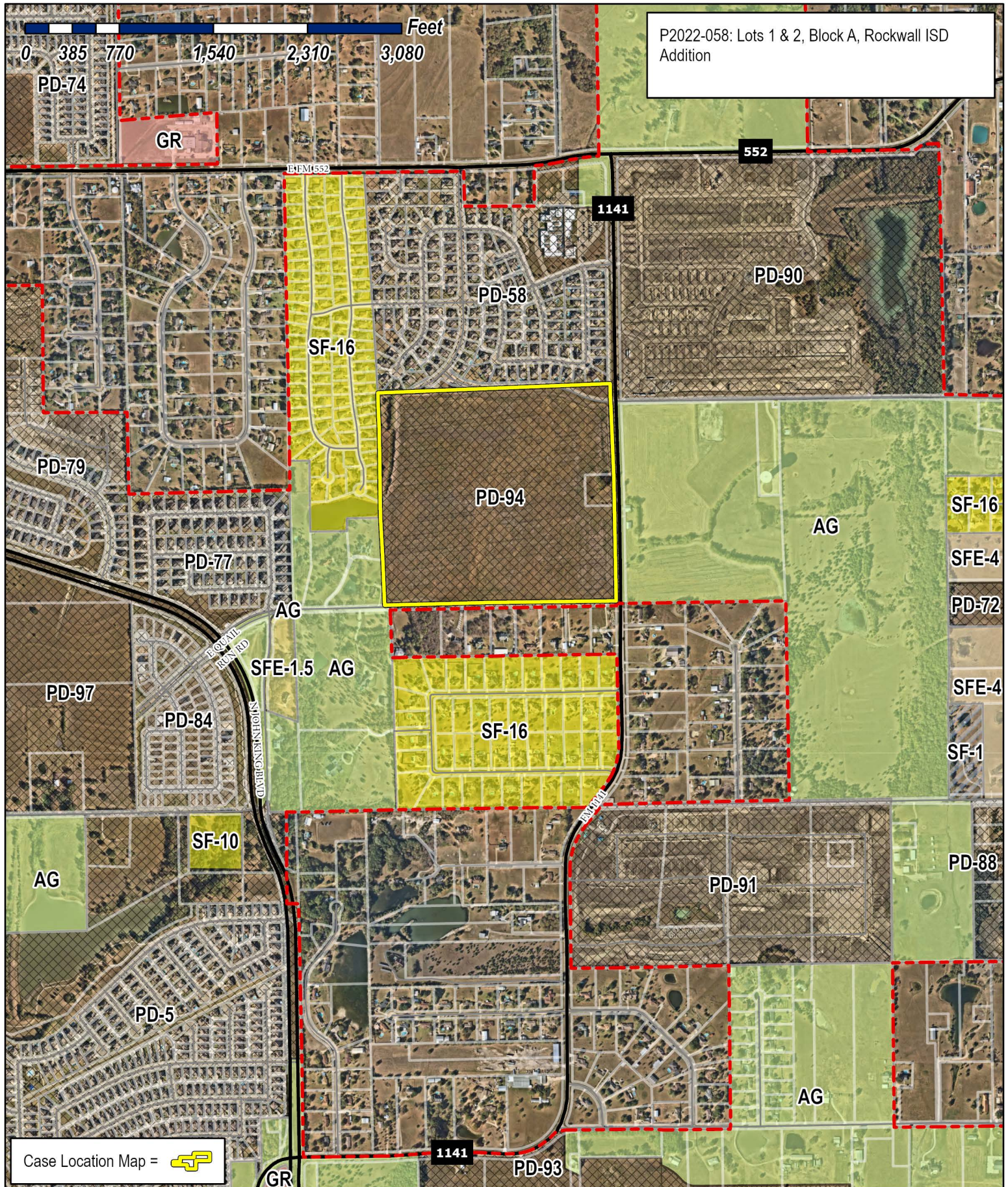
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 8th DAY OF December, 2022

OWNER'S SIGNATURE


NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

William Salee
Melanie Pyland





P2022-058: Lots 1 & 2, Block A, Rockwall ISD Addition

Case Location Map = 

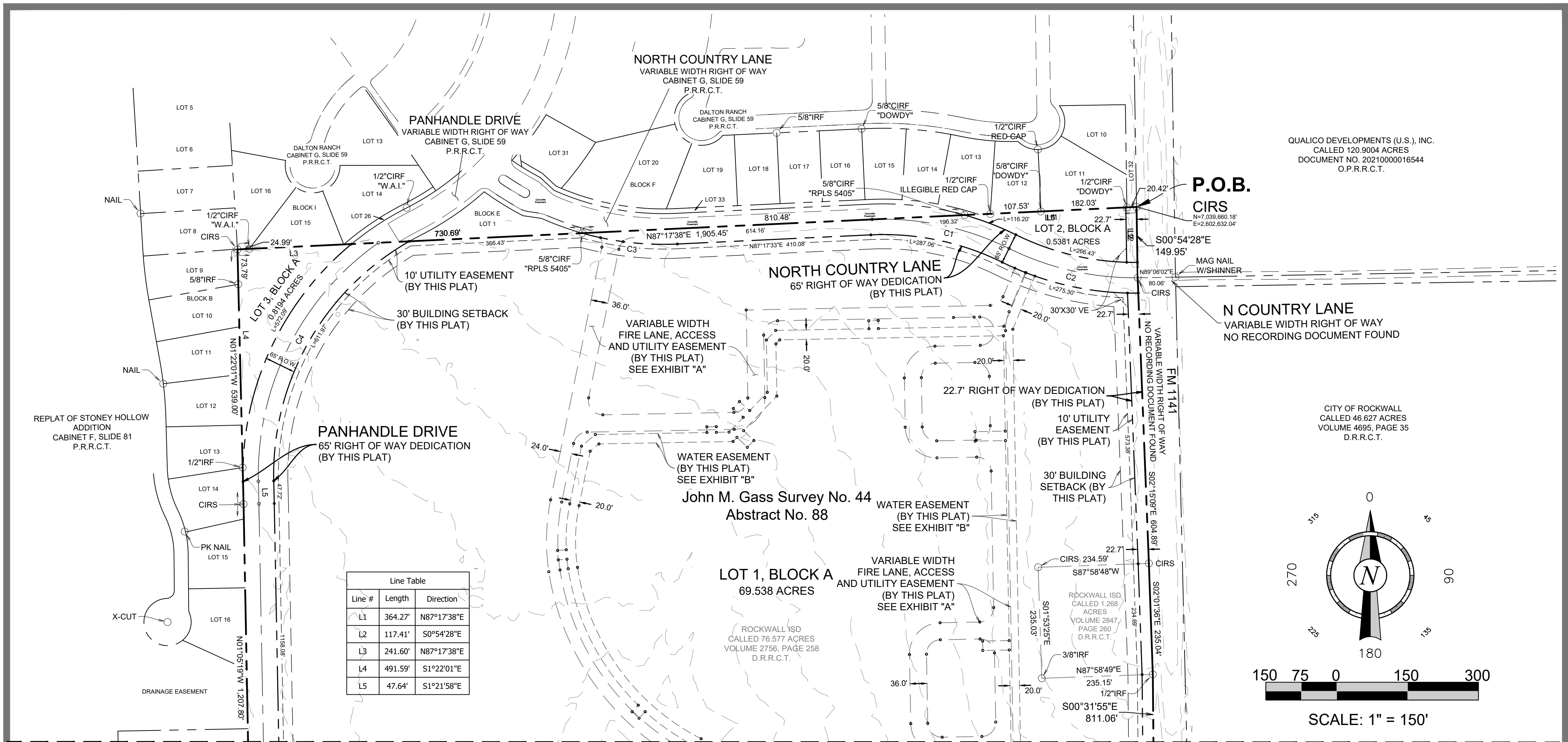


City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
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 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



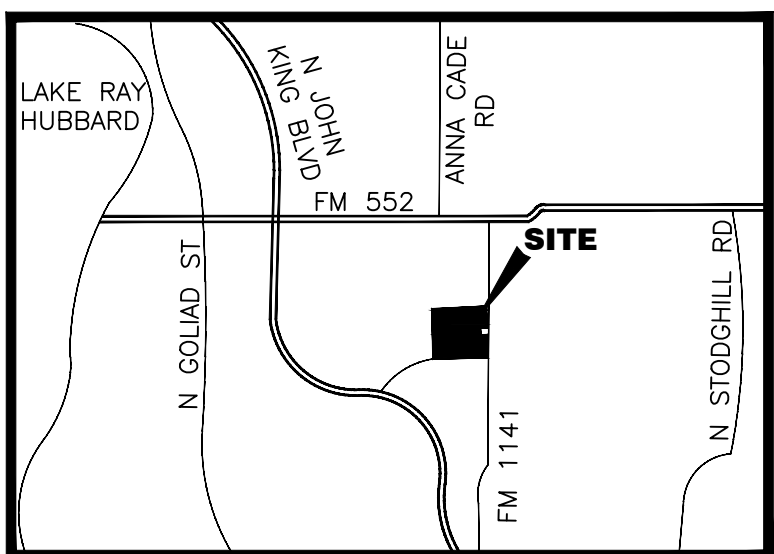


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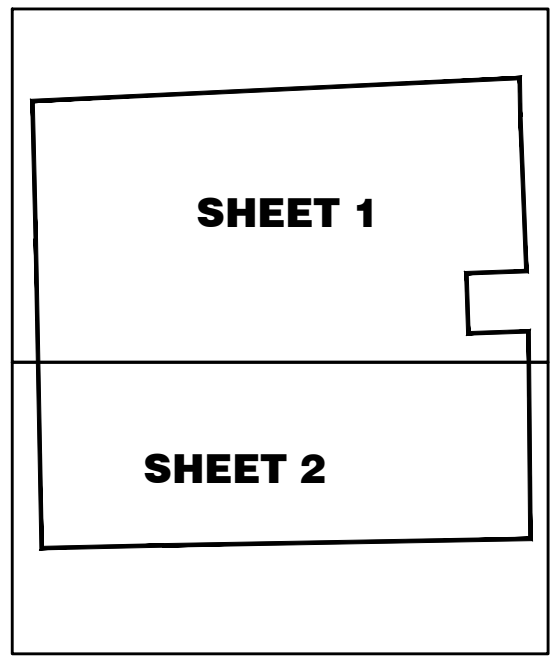
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Contact: Robert Howman

SURVEYOR:
Bowman Consulting Group, Ltd.
1200 West Magnolia Blvd., Suite 300
Fort Worth, TX 76104



LOCATION MAP
NOT TO SCALE



SHEET KEY MAP

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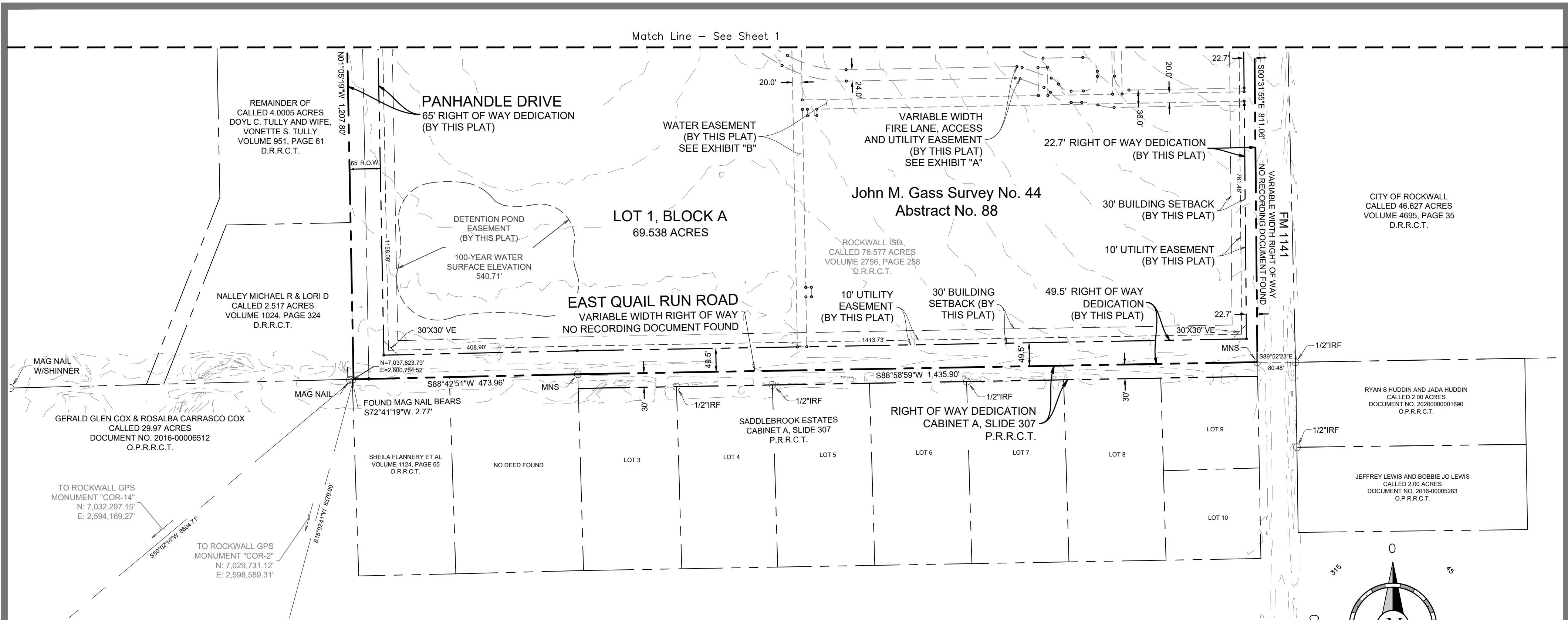
FINAL PLAT

ROCKWALL I.S.D. ADDITION

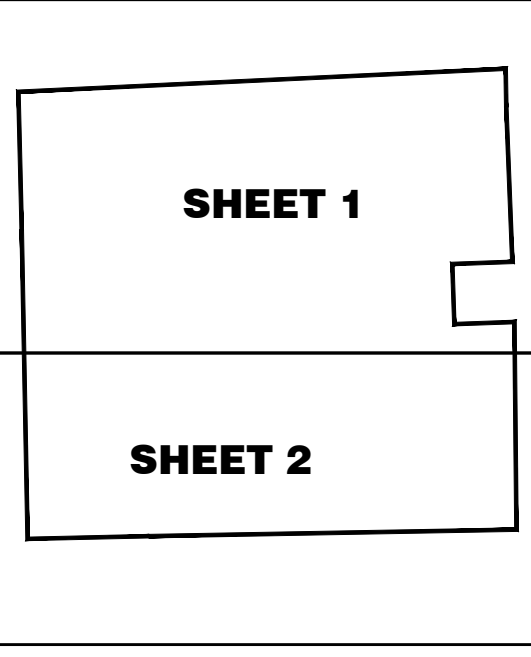
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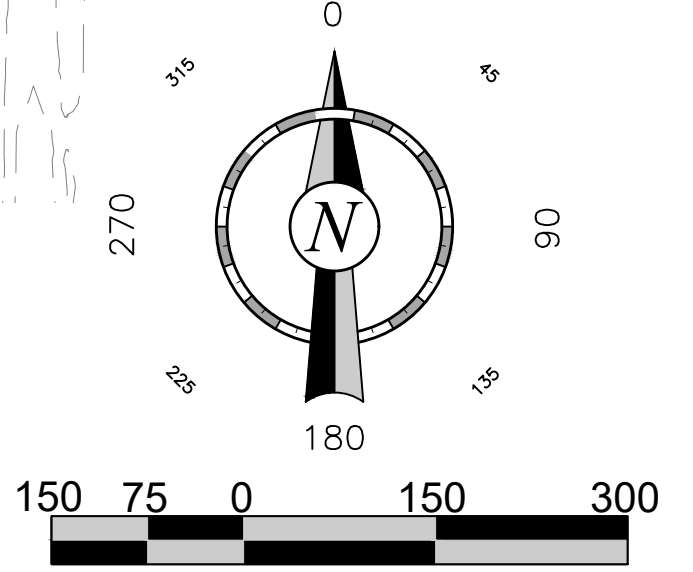


LOCATION MAP
NOT TO SCALE



SHEET KEY MAP

Curve Table					
Curve #	Chord Bearing	Chord Distance	Arc Length	Radius	Delta
C1	S78°01'54"E	296.49'	299.59'	600.08'	28°36'17"
C2	S77°11'02"E	279.26'	281.85'	600.09'	26°54'37"
C3	S83°29'06"E	202.79'	203.67'	632.59'	18°26'48"
C4	S26°43'30"W	565.15'	588.45'	600.09'	56°11'02"



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FINAL PLAT

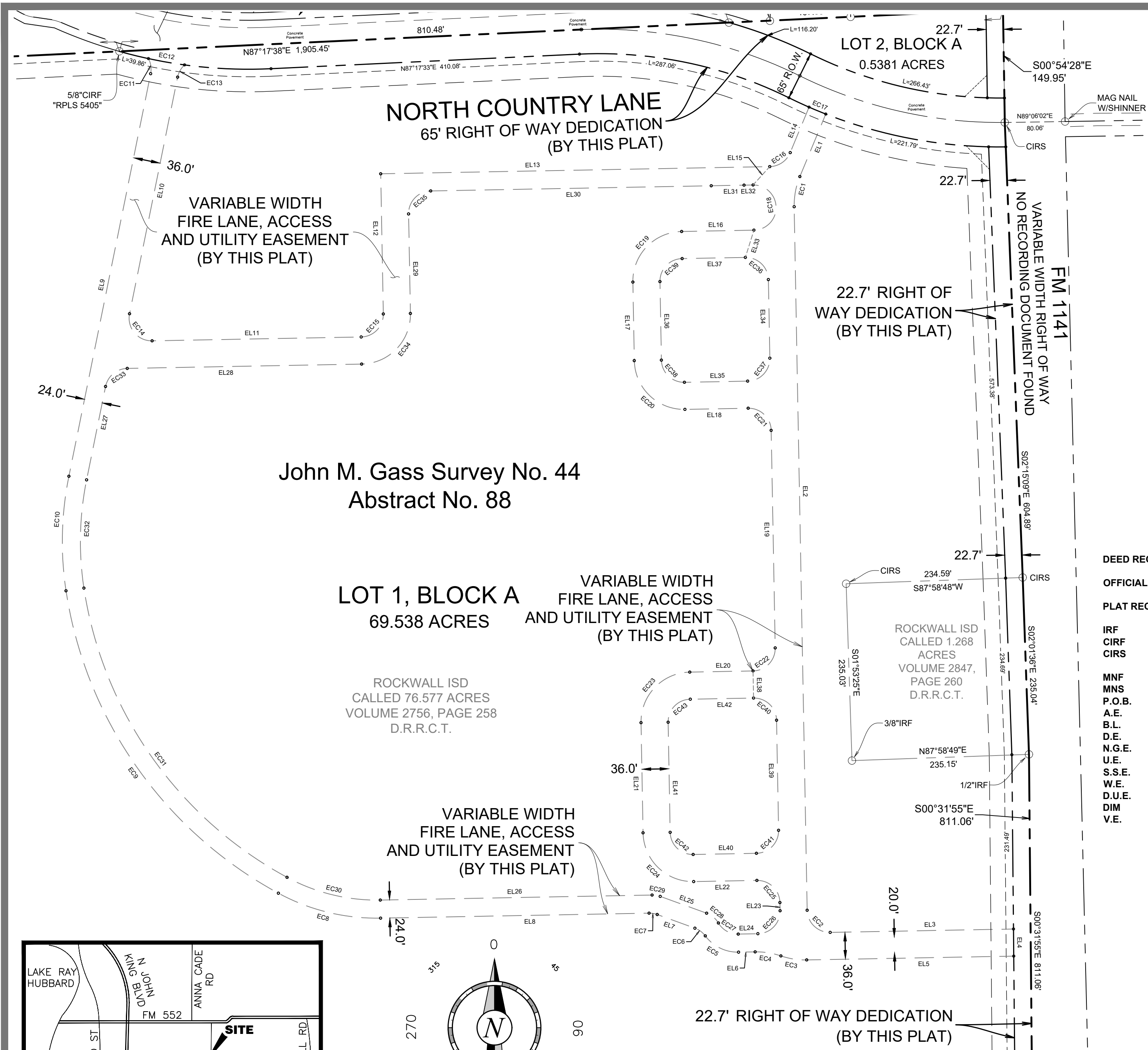
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Bowman

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TBPELS #10120600

Bowman Job No.: 10305 Drawn By: RAH Sheet: 2 of 6



John M. Gass Survey No. 44
Abstract No. 88

LOT 1, BLOCK A
69.538 ACRES

ROCKWALL ISD
CALLED 76.577 ACRES
VOLUME 2756, PAGE 258
D.R.R.C.T.

LOT 2, BLOCK A
0.5381 ACRES

ROCKWALL ISD
CALLED 1.268
ACRES
VOLUME 2847,
PAGE 260
D.R.R.C.T.

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801 East Washington St.
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LEGEND

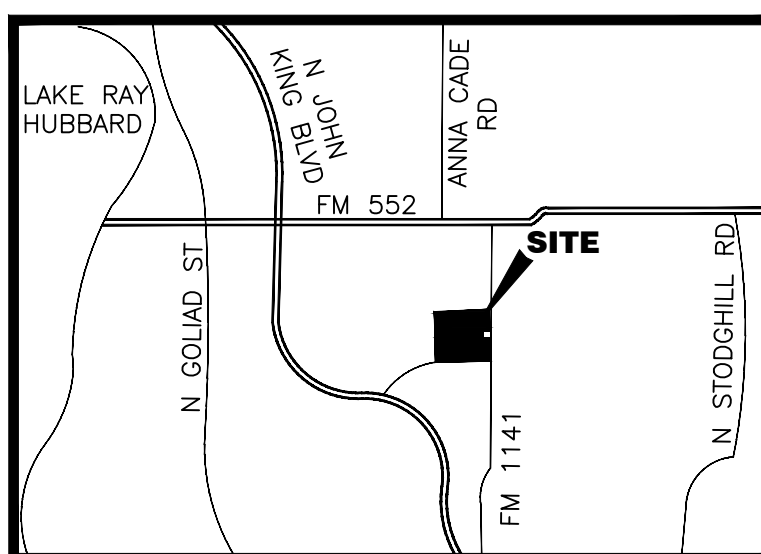
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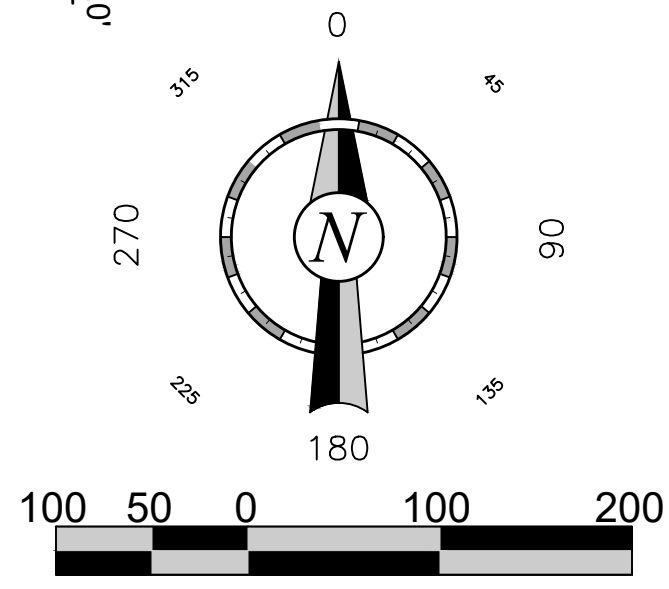
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- P.O.B. POINT OF BEGINNING
- A.E. ACCESS EASEMENT
- B.L. BUILDING LINE
- D.E. DRAINAGE EASEMENT
- N.G.E. NATURAL GAS EASEMENT
- U.E. UTILITY EASEMENT
- S.S.E. SANITARY SEWER EASEMENT
- W.E. WATER LINE EASEMENT
- D.U.E. DRAINAGE AND UTILITY EASEMENT
- DIM DIMENSION
- V.E. VISIBILITY EASEMENT

- PROPOSED ROW LINE
- EXISTING LOT LINE
- PROPOSED CENTERLINE
- BUILDING SETBACK LINE
- PROPOSED EASEMENT LINE AS NOTED
- PROPOSED FIRE LANE EASEMENT
- PREVIOUS TRACT LINE
- BOUNDARY LINE



LOCATION MAP
NOT TO SCALE



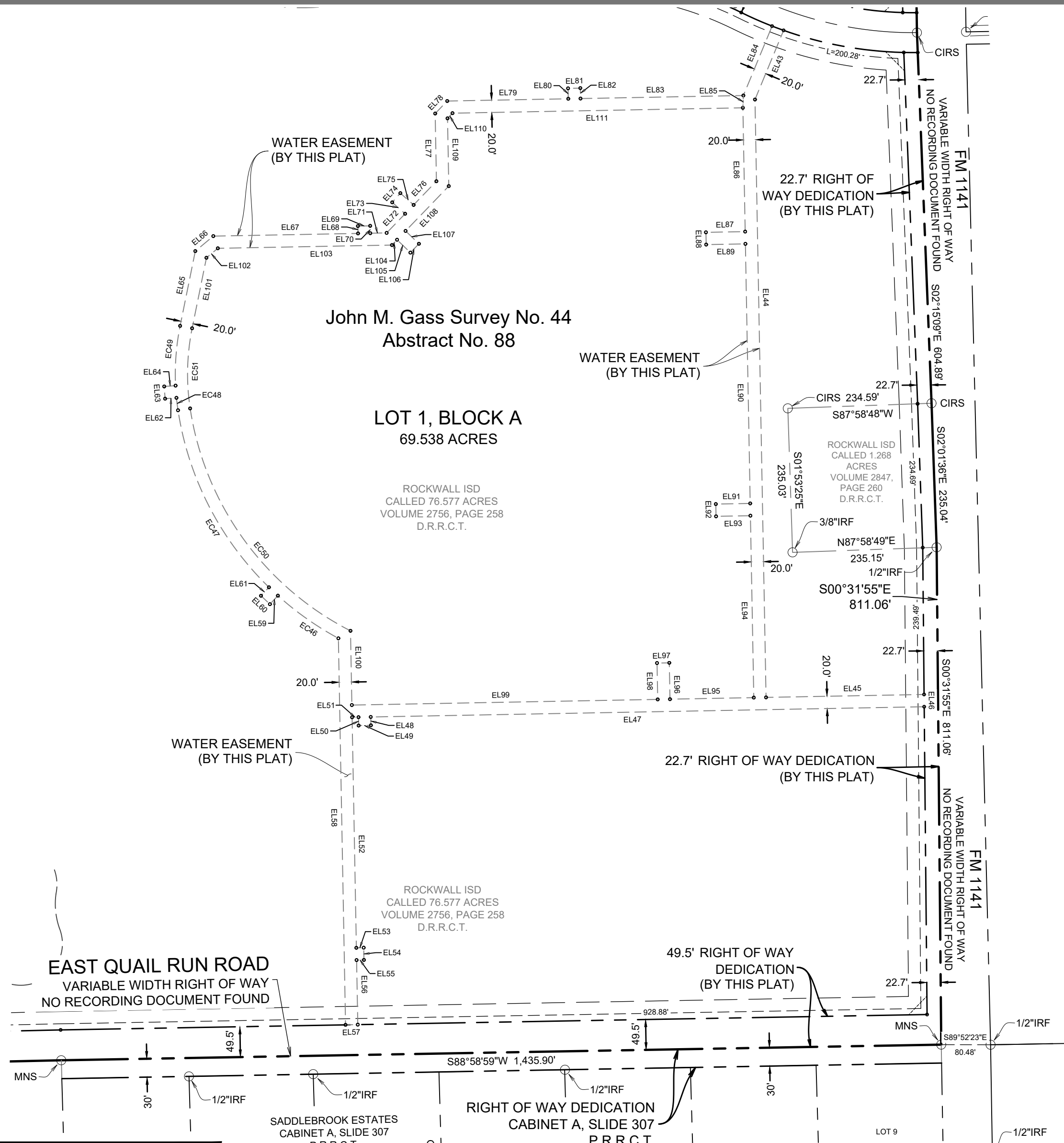
SCALE: 1" = 100'

EXHIBIT "A"

FINAL PLAT
**ROCKWALL I.S.D.
ADDITION**
LOTS 1 AND 2, BLOCK A
BEING 76.536 ACRES
SITUATED WITHIN THE
JOHN M. GASS SURVEY NO. 44, ABSTRACT NUMBER 88
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
Case No: P2022-028

Bowman

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1200 West Magnolia Blvd., Suite 300 Phone: (214) 484-8586
Fort Worth, TX 76104 www.bowman.com
TBPELS #10120600



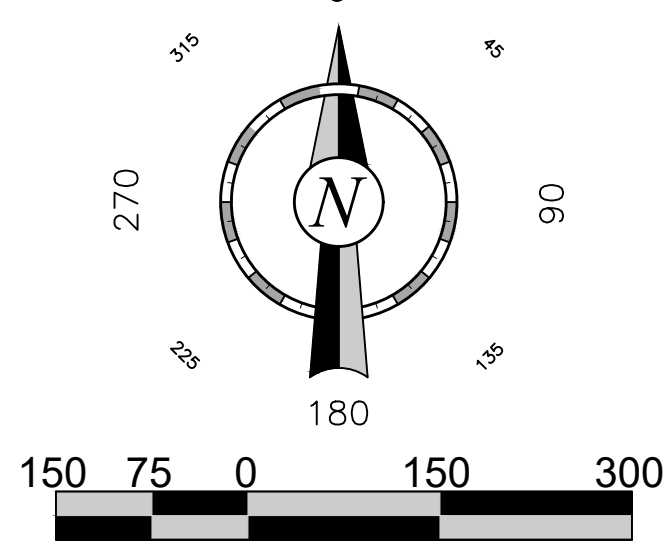
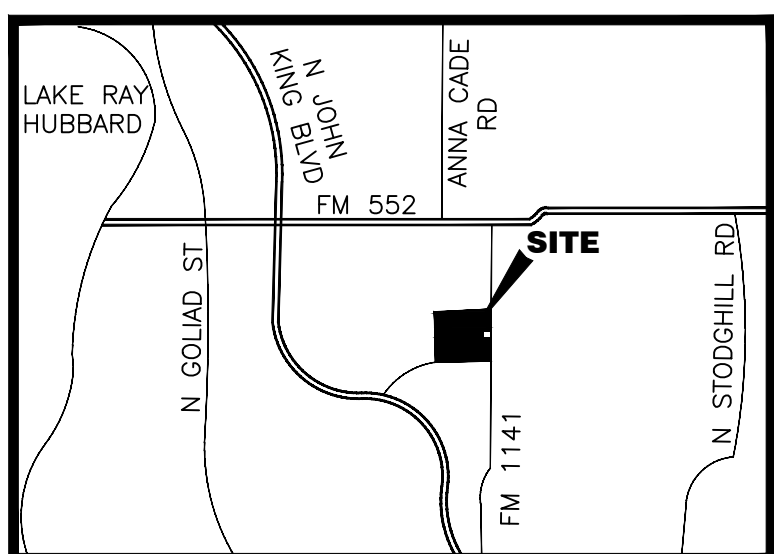
OWNER:
 Rockwall ISD
 801 East Washington St.
 Rockwall Texas, 75087
 (469) 698-7031
 Contact: William Salee

ENGINEER:
 Glenn Engineering Corp.
 105 Decker Court, Suite 910
 Irving, Texas 75062
 TBPE FIRM NO. F-303
 (972) 989-2174 Cell
 (972) 717-5151 Office
 Contact: Robert Howman

SURVEYOR:
 Bowman Consulting Group, Ltd.
 1200 West Magnolia Blvd., Suite 300
 Fort Worth, TX 76104

LEGEND

DEED RECORDS, ROCKWALL COUNTY, TEXAS		PROPOSED ROW LINE	---
OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS		EXISTING LOT LINE	---
PLAT RECORDS ROCKWALL COUNTY, TEXAS		PROPOSED CENTERLINE	---
IRF	IRON ROD FOUND	BUILDING SETBACK LINE	---
CIRF	CAPPED IRON ROD FOUND AS NOTED	PROPOSED EASEMENT LINE AS NOTED	---
CIRS	1/2" CAPPED IRON ROD STAMPED "BOWMAN PROP COR"	PROPOSED FIRE LANE EASEMENT	---
MNF	MAG NAIL FOUND	PREVIOUS TRACT LINE	---
MNS	MAG NAIL SET	BOUNDARY LINE	---
P.O.B.	POINT OF BEGINNING		
A.E.	ACCESS EASEMENT		
B.L.	BUILDING LINE		
D.E.	DRAINAGE EASEMENT		
N.G.E.	NATURAL GAS EASEMENT		
U.E.	UTILITY EASEMENT		
S.S.E.	SANITARY SEWER EASEMENT		
W.E.	WATER LINE EASEMENT		
D.U.E.	DRAINAGE AND UTILITY EASEMENT		
DIM	DIMENSION		
V.E.	VISIBILITY EASEMENT		



FINAL PLAT

ROCKWALL I.S.D. ADDITION

LOTS 1 AND 2, BLOCK A
 BEING 76.536 ACRES
 SITUATED WITHIN THE
 JOHN M. GASS SURVEY NO. 44, ABSTRACT NUMBER 88
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
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EXHIBIT "B"

Line Table		
Line #	Length	Direction
EL1	89.90'	S22°28'33"W
EL2	934.58'	S1°03'39"E
EL3	243.44'	N88°56'21"E
EL4	36.00'	S0°31'55"E
EL5	274.99'	S88°56'21"W
EL6	21.97'	S88°56'21"W
EL7	53.27'	N70°03'39"W
EL8	356.57'	S88°56'21"W
EL9	545.64'	N11°28'40"E
EL10	320.73'	S11°28'40"W
EL11	277.63'	N88°56'21"E
EL12	186.21'	N1°03'39"W
EL13	516.67'	N88°56'21"E
EL14	65.44'	N22°28'33"E
EL15	32.96'	S42°11'56"W
EL16	96.00'	S88°56'21"W
EL17	104.37'	S1°03'39"E
EL18	84.00'	N88°56'21"E
EL19	289.01'	S1°03'39"E
EL20	84.00'	S88°56'21"W

Line Table		
Line #	Length	Direction
EL21	146.29'	S1°03'39"E
EL22	84.00'	N88°56'21"E
EL23	10.85'	S1°03'39"E
EL24	26.09'	S88°56'21"W
EL25	65.54'	N70°03'39"W
EL26	361.02'	S88°56'21"W
EL27	126.56'	N11°28'40"E
EL28	311.27'	N88°56'21"E
EL29	132.21'	N1°03'39"W
EL30	372.50'	N88°56'21"E
EL31	43.59'	N88°56'21"E
EL32	12.00'	N88°56'21"E
EL33	37.95'	S17°22'25"W
EL34	104.37'	S1°03'39"E
EL35	84.00'	S88°56'21"W
EL36	104.37'	N1°03'39"W
EL37	84.00'	N88°56'21"E
EL38	36.00'	S1°03'39"E
EL39	146.29'	S1°03'39"E
EL40	84.00'	S88°56'21"W

Line Table		
Line #	Length	Direction
EL41	146.29'	N1°03'39"W
EL42	84.00'	N88°56'21"E
EL43	122.04'	S22°28'33"W
EL44	975.16'	S1°03'39"E
EL45	257.87'	N88°56'21"E
EL46	20.00'	S0°31'55"E
EL47	903.09'	S88°56'21"W
EL48	13.59'	S1°03'39"E
EL49	20.00'	S88°56'21"W
EL50	13.59'	N1°03'39"W
EL51	10.42'	S88°56'21"W
EL52	375.96'	S1°03'39"E
EL53	12.00'	N88°56'21"E
EL54	20.00'	S1°03'39"E
EL55	12.00'	S88°56'21"W
EL56	105.28'	S1°03'39"E
EL57	20.00'	S88°58'59"W
EL58	630.46'	N1°03'39"W
EL59	19.01'	S43°06'14"W
EL60	20.00'	N46°53'46"W

Curve Table					
Curve #	Chord Bearing	Chord Distance	Arc Length	Radius	Delta
EC1	S10°42'26"W	40.79'	41.08'	100.00'	23°32'15"
EC2	S46°03'39"E	42.43'	47.12'	30.00'	90°00'00"
EC3	N81°05'11"W	34.64'	34.82'	100.00'	19°56'54"
EC4	N81°05'11"W	34.64'	34.82'	100.00'	19°56'54"
EC5	N63°56'27"W	49.23'	51.12'	54.00'	54°14'24"
EC6	N53°26'27"W	17.16'	17.40'	30.00'	33°14'24"
EC7	N80°33'39"W	10.93'	11.00'	30.00'	21°00'00"
EC8	N76°17'12"W	139.75'	141.31'	274.00'	29°32'54"
EC9	N35°04'05"W	490.75'	508.62'	551.00'	52°53'20"
EC10	N1°25'38"E	152.18'	152.97'	436.00'	20°06'05"
EC11	N8°16'15"W	20.27'	20.68'	30.00'	39°29'50"
EC12	S80°04'36"E	48.68'	48.69'	632.59'	4°24'36"
EC13	S29°36'27"W	18.67'	18.99'	30.00'	36°15'34"
EC14	S39°47'29"E	46.81'	53.69'	30.00'	102°32'19"
EC15	N43°56'21"E	42.43'	47.12'	30.00'	90°00'00"
EC16	N55°42'27"E	32.88'	34.80'	30.00'	66°27'48"
EC17	S67°29'18"E	24.00'	24.00'	632.59'	2°10'26"
EC18	S1°03'37"E	60.00'	94.25'	30.00'	180°00'04"
EC19	S43°56'21"W	93.34'	103.67'	66.00'	90°00'00"
EC20	S46°03'39"E	93.34'	103.67'	66.00'	90°00'00"

Curve Table					
Curve #	Chord Bearing	Chord Distance	Arc Length	Radius	Delta
EC21	S46°03'39"E	42.43'	47.12'	30.00'	90°00'00"
EC22	S43°56'21"W	42.43'	47.12'	30.00'	90°00'00"
EC23	S43°56'21"W	93.34'	103.67'	66.00'	90°00'00"
EC24	S46°03'39"E	93.34'	103.67'	66.00'	90°00'00"
EC25	S46°03'39"E	42.43'	47.12'	30.00'	90°00'00"
EC26	S43°56'21"W	42.43'	47.12'	30.00'	90°00'00"
EC27	N60°46'47"W	30.25'	31.71'	30.00'	60°33'43"
EC28	N50°16'47"W	20.31'	20.71'	30.00'	39°33'43"
EC29	N80°33'39"W	10.93'	11.00'	30.00'	21°00'00"
EC30	N76°17'12"W	127.50'	128.93'	250.00'	29°32'54"
EC31	N35°04'05"W	469.38'	486.47'	527.00'	52°53'20"
EC32	N1°25'38"E	143.80'	144.54'	412.00'	20°06'05"
EC33	N50°12'31"E	37.54'	40.56'	30.00'	77°27'41"
EC34	N43°56'21"E	93.34'	103.67'	66.00'	90°00'00"
EC35	N43°56'21"E	42.43'	47.12'	30.00'	90°00'00"
EC36	S46°03'39"E	42.43'	47.12'	30.00'	90°00'00"
EC37	S43°56'21"W	42.43'	47.12'	30.00'	90°00'00"
EC38	N46°03'39"W	42.43'	47.12'	30.00'	90°00'00"
EC39	N43°56'21"E	42.43'	47.12'	30.00'	90°00'00"
EC40	S46°03'39"E	42.43'	47.12'	30.00'	90°00'00"

Line Table		
Line #	Length	Direction
EL61	19.01'	N43°06'14"E
EL62	18.54'	S85°47'38"W
EL63	20.00'	N4°12'22"W
EL64	18.54'	N85°47'38"E
EL65	124.37'	N11°28'40"E
EL66	38.23'	N50°12'31"E
EL67	236.20'	N88°56'21"E
EL68	12.00'	N1°03'39"W
EL69	20.00'	N88°56'21"E
EL70	12.00'	S1°03'39"E
EL71	26.70'	N88°56'21"E
EL72	43.33'	N43°56'21"E
EL73	28.06'	N48°25'58"W
EL74	20.00'	N41°34'02"E
EL75	28.89'	S48°25'58"E
EL76	53.64'	N43°56'21"E
EL77	110.48'	N1°03'39"W
EL78	28.28'	N43°56'21"E
EL79	197.54'	N88°56'21"E
EL80	17.00'	N1°03'39"W

Line Table		
Line #	Length	Direction
EL81	20.00'	N88°56'21"E
EL82	17.00'	S1°03'39"E
EL83	265.72'	N88°56'21"E
EL84	122.54'	N22°28'33"E
EL85	20.03'	S2°17'21"W
EL86	201.94'	S1°03'39"E
EL87	64.00'	S88°56'21"W
EL88	20.00'	S1°03'39"E
EL89	64.00'	N88°56'21"E
EL90	423.35'	S1°03'39"E
EL91	56.10'	S88°56'21"W
EL92	20.00'	S1°03'39"E
EL93	56.10'	N88°56'21"E
EL94	296.73'	S1°03'39"E
EL95	136.77'	S88°56'21"W
EL96	59.29'	N1°03'39"W
EL97	20.00'	S88°56'21"W
EL98	59.29'	S1°03'39"E
EL99	499.06'	S88°56'21"W
EL100	121.08'	N1°03'39"W

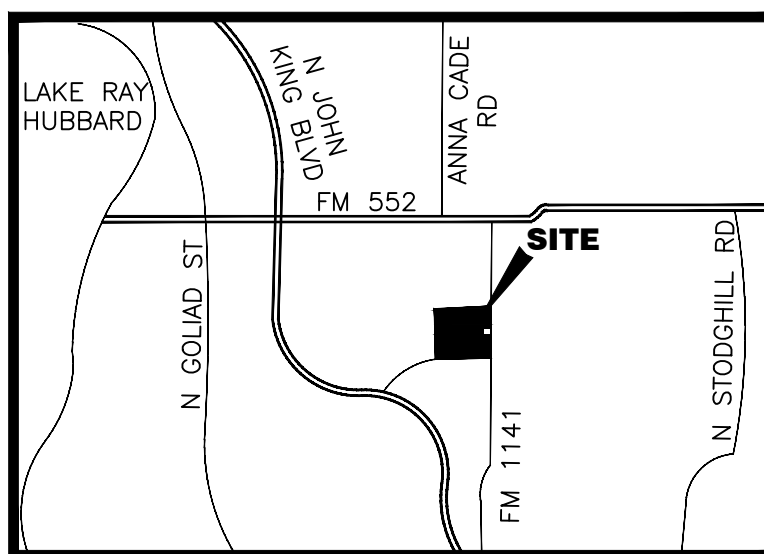
Line Table		
Line #	Length	Direction
EL101	117.34'	N11°28'40"E
EL102	24.17'	N50°12'31"E
EL103	284.16'	N88°56'21"E
EL104	12.00'	N43°56'21"E
EL105	30.21'	S46°03'39"E
EL106	20.00'	N43°56'21"E
EL107	30.21'	N46°03'39"W
EL108	101.56'	N43°56'21"E
EL109	110.48'	N1°03'39"W
EL110	11.72'	N43°56'21"E
EL111	473.81'	N88°56'21"E

Curve Table					
Curve #	Chord Bearing	Chord Distance	Arc Length	Radius	Delta
EC41	S43°56'21"W	42.43'	47.12'	30.00'	90°00'00"
EC42	N46°03'39"W	42.43'	47.12'	30.00'	90°00'00"
EC43	N43°56'21"E	42.43'	47.12'	30.00'	90°00'00"
EC46	N54°49'25"W	120.71'	120.99'	509.50'	13°36'21"
EC47	N27°11'51"W	324.58'	330.34'	509.50'	37°08'53"
EC48	N7°08'28"W	20.41'	20.41'	394.50'	2°57'53"
EC49	N4°21'43"E	97.74'	97.99'	394.50'	14°13'54"
EC50	N35°48'15"W	447.20'	464.43'	489.50'	54°21'41"
EC51	N1°25'38"E	130.71'	131.39'	374.50'	20°06'05"

OWNER:
 Rockwall ISD
 801 East Washington St.
 Rockwall Texas, 75087
 (469) 698-7031
 Contact: William Salee

ENGINEER:
 Glenn Engineering Corp.
 105 Decker Court, Suite 910
 Irving, Texas 75062
 TBPE FIRM NO. F-303
 (972) 989-2174 Cell
 (972) 717-5151 Office
 Contact: Robert Howman

SURVEYOR:
 Bowman Consulting Group, Ltd.
 1200 West Magnolia Blvd., Suite 300
 Fort Worth, TX 76104



LOCATION MAP
 NOT TO SCALE

FINAL PLAT

ROCKWALL I.S.D.
ADDITION

LOTS 1 AND 2, BLOCK A
 BEING 76.536 ACRES
 SITUATED WITHIN THE
 JOHN M. GASS SURVEY NO. 44, ABSTRACT NUMBER 88
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
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PLAT PERIMETER LEGAL DESCRIPTION

STATE OF TEXAS §
 COUNTY OF ROCKWALL §

WHEREAS, Rockwall Independent School District being the owner of a 69.538 acre tract of land situated within the John M Gass Survey No. 44, Abstract No. 88, City of Rockwall, Rockwall County, Texas, and being all of a called 76.577 acre tract of land as described in the deed to Rockwall ISD recorded in Volume 2756, Page 258 of the Deed Records of Rockwall County, Texas (hereafter referred to as the ISD Tract). Said 69.538 acre tract of land being more particularly describes by metes and bounds as follows:

BEGINNING at a 1/2-inch capped iron rod stamped "BOWMAN PROP COR" set at the northeast corner of said ISD Tract, being on the west right of way line of FM 1141, a variable width right of way, as evidenced by the plat designated as "Dalton Ranch" recorded in Cabinet G, Slide 59 of the Plat Records of Rockwall County, Texas;

THENCE SOUTH 00 degrees 54 minutes 28 seconds EAST, 149.95 feet with the west right of way line of said FM 1141 to a 1/2-inch capped iron rod stamped "BOWMAN PROP COR" set;

THENCE SOUTH 02 degrees 15 minutes 09 seconds EAST, 604.89 feet with the west right of way line of said FM 1141 to a 1/2-inch capped iron rod stamped "BOWMAN PROP COR" set at the northeast corner of a called 1.268 acre tract of land as described in the deed to Rockwall ISD recorded in Volume 2847, Page 260 of said Deed Records;

THENCE SOUTH 02 degrees 01 minute 36 seconds EAST, 235.04 feet with the with the west right of way line of said FM 1141 to a 1/2-inch iron rod found at the southeast corner of said called 1.268 acre tract of land;

THENCE SOUTH 00 degrees 31 minutes 55 seconds EAST, 811.06 feet with the west right of way line of said FM 1141 to a MAG nail with shiner set at the southeast corner of said ISD Tract, being the northeast corner of a 30-foot right of way dedication for East Quail Run Road as dedicated on the plat designated as "Saddlebrook Estates" recorded in Cabinet A, Slide 307 of said Plat Records;

THENCE SOUTH 88 degrees 58 minutes 59 seconds WEST, 1,435.90 feet with the south line of said ISD Tract, being the north line of said right of way dedication and the approximate centerline of said East Quail Run Road to a MAG nail with shiner set at the northwest corner of said right of way dedication;

THENCE SOUTH 88 degrees 42 minutes 51 seconds WEST, 473.96 feet with the south line of said ISD Tract and the approximate centerline of said East Quail Run Road to the southwest corner of said ISD Tract from which a found MAG nail bears SOUTH 72 degrees 41 minutes 19 seconds WEST, 2.77 feet;

THENCE NORTH 01 degree 05 minutes 19 seconds WEST, 1,207.80 feet with the west line of said ISD Tract and being the east line of a called 2.517 acre tract of land as described in the deed to Michael R and Lori D Nalley recorded in Volume 1024, Page 324 of said Deed Records, the east line of the remainder of a called 4.0005 acre tract of land as described in the deed to Doyl C. Tully and wife, Vonette S. Tully recorded in Volume 951, Page 61 of said Deed Records and being the east line of Block B of the plat designated as "Replat of Stoney Hollow Addition" recorded in Cabinet F, Slide 81 of said Plat Records to a 1/2-inch capped iron rod stamped "BOWMAN PROP COR" set;

THENCE NORTH 01 degree 22 minutes 01 second WEST, 539.00 feet with the west line of said ISD Tract and being the east line of said Block B to a 1/2-inch capped iron rod stamped "BOWMAN PROP COR" set at the northwest corner of said ISD Tract and being the southwest corner of said Dalton Ranch;

THENCE NORTH 87 degrees 17 minutes 38 seconds EAST, 1,905.45 feet with the north line of said ISD Tract and being the south line of said Dalton Ranch to the POINT OF BEGINNING containing 69.538 acres.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS

COUNTY OF ROCKWALL

I (we) the undersigned owner(s) of the land shown on this plat, and designated herein as the **ROCKWALL I.S.D. ADDITION** a subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I (we) further certify that all other parties who have a mortgage or lien interest in the **ROCKWALL I.S.D. ADDITION** subdivision have been notified and signed this plat. I (we) understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I (we) also understand the following:

- No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
- Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
- The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
- The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
- The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
- No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or
 Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or
 Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.
- Property owner shall be responsible for maintaining, repairing, and replacing all systems in the detention and drainage easements.

I (we) further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I (we), my (our) successors and assigns hereby waive any claim, damage, or cause of action that I (we) may have as a result of the dedication of exactions made herein.

Rockwall Independent School District

Rockwall Independent School District - Dr. John Villarreal
 Superintendent

STATE OF TEXAS COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared Dr. John Villarreal known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, **2022**.

Notary Public in and for the State of Texas My Commission Expires

PLAT NOTES:

- The Basis of Bearings for this plat is GRID NORTH as established by GPS observation utilizing the Texas Coordinate System of 1983, North Central Zone. To obtain a grid distance, multiply the ground distance by 0.999853886.
- NOTICE: Selling a portion of this addition by metes and bounds is a violation of City ordinance and state law and is subject to fines and withholding of utilities and building permits.
- All corners are 1/2" iron rods set with a plastic cap stamped "BOWMAN PROP COR" unless otherwise noted.
- Lot, block and ROW corners will be set after substantial completion of the infrastructure.
- According to Map No. 48397C0035L and 48397C0030L, both dated 09/26/2008 of the National Flood Insurance Program Map, Flood Insurance Rate Map of Rockwall County, Texas, Federal Emergency Management Agency, Federal Insurance Administration, Panel 30 and 35 of 145, this property is within Zone X unshaded, based on scaled imaging.

GENERAL NOTES:

- It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83 54.
- Site is zoned Planned Development 94 (PD-94) District for Neighborhood Services (NS) District land uses.

CERTIFICATE OF SURVEYOR

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

I, THE UNDERSIGNED, A LSLs & REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECT AND WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND.

Preliminary, this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document. Released to the City for review. 2022-12

 ROBERT A. HANSEN
 LSLs & REGISTERED PROFESSIONAL
 LAND SURVEYOR, NO. 6439
 RHANSEN@BOWMAN.COM
 DATE:

**STATE OF TEXAS
 COUNTY OF
 ROCKWALL**

Before me, the undersigned authority, on this day personally appeared Dr. John Villarreal known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, **2022**.


Notary Public in and for the State of Texas My Commission Expires

<p align="center">RECOMMENDED FOR FINAL APPROVAL:</p> <p align="center">_____</p> <p align="center"><i>Planning & Zoning Commission, Chairman Date</i></p>		
<p>APPROVED: I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _____, 2022.</p> <p>This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.</p> <p>WITNESS OUR HANDS, this _____ day of _____, 2022.</p>		
_____	_____	_____
<i>Mayor, City of Rockwall</i>	<i>City Secretary</i>	<i>City Engineer</i>

OWNER:
 Rockwall ISD
 801 East Washington St.
 Rockwall Texas, 75087
 (469) 698-7031
 Contact: William Salee

ENGINEER:
 Glenn Engineering Corp.
 105 Decker Court, Suite 910
 Irving, Texas 75062
 TBPE FIRM NO. F-303
 (972) 989-2174 Cell
 (972) 717-5151 Office
 Contact: Robert Howman

SURVEYOR:
 Bowman Consulting Group, Ltd.
 1200 West Magnolia Blvd., Suite 300
 Fort Worth, TX 76104

FINAL PLAT ROCKWALL I.S.D. ADDITION LOTS 1 AND 2, BLOCK A BEING 76.536 ACRES SITUATED WITHIN THE JOHN M. GASS SURVEY NO. 44, ABSTRACT NUMBER 88 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS Case No: P2022-028		
 <p align="center">© 2021 Bowman Consulting Group, Ltd. 1200 West Magnolia Blvd., Suite 300 Phone: (214) 484-8888 Fort Worth, TX 76104 www.bowman.com TBPELS #10120600</p>		
Bowman Job No.: 10305	Drawn By: RAP	Sheet: 6 of 6



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: December 27, 2022
APPLICANT: Robert Howman; *Glenn Engineering*
CASE NUMBER: P2022-059; *Replat for Lots 2 & 3, Block A, Rockwall-CCA Addition*

SUMMARY

Consider a by Robert Howman of Glenn Engineering Corp. on behalf of William Salee of the Rockwall Independent School District (RISD) for the approval of a Replat for Lots 2 & 3, Block A, Rockwall – CCA Addition being a 173.00-acre tract of land identified as Tract 7-1 of the W. H. Baird Survey, Abstract No. 25 and Lot 1, Block A, Rockwall CCA Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 95 (PD-95) for limited Neighborhood Services (NS) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, addressed as 2301 John King Boulevard, and take any action necessary.

PLAT INFORMATION

- The applicant is requesting the approval of a Replat for a 173.00-acre parcel of land (*i.e. Lot 1, Block A, Rockwall – CCA Addition*) for the purpose of establishing two (2) parcels of land (*i.e. Lots 2 & 3, Block A, Rockwall – CCA Addition*) and the fire lanes and utility easements necessary to develop a *Public Secondary School* on the subject property.
- On August 30, 1999, the subject property was annex by the City Council through *Ordinance No. 99-33 [Case No. A1999-001]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. The subject property has remained vacant since annexation. On May 2, 2022, the City Council approved a zoning change through *Ordinance No. 22-25 [Case No. Z2022-015]* changing the subject property from an Agricultural (AG) District to Planned Development District 94 (PD-94) for limited Neighborhood Services (NS) District land uses. On July 5, 2022, the City Council approved a *Preliminary Plat and Infrastructure Variances [Case No. P2022-028]* for the subject property. On July 12, 2022, the Planning and Zoning Commission approved a Site Plan [*Case No. SP2022-017*] for the construction of a *Public Secondary School* on the subject property.
- The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional approval of this Replat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the Replat for Lot 2 & 3, Block A, Rockwall – CCA Addition staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat; and,

- (2) Any construction resulting from the approval of this Replat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 12/16/2022

PROJECT NUMBER: P2022-059
PROJECT NAME: Replat for Lots 2 & 3, Block A, Rockwall CCA Addition
SITE ADDRESS/LOCATIONS: 2301 S JOHN KING BLVD

CASE MANAGER: Bethany Ross
CASE MANAGER PHONE: (972) 772-6488
CASE MANAGER EMAIL: bross@rockwall.com

CASE CAPTION: Discuss and consider a request by Robert Howman of Glenn Engineering Corp. on behalf of William Salee of the Rockwall Independent School District (RISD) for the approval of a Replat for Lots 2 & 3, Block A, Rockwall – CCA Addition being a 173.00-acre tract of land identified as Tract 7-1 of the W. H. Baird Survey, Abstract No. 25 and Lot 1, Block A, Rockwall CCA Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 95 (PD-95) for limited Neighborhood Services (NS) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, addressed as 2301 John King Boulevard, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Bethany Ross	12/16/2022	Approved w/ Comments

12/16/2022: P2022-059: Replat for Lots 2 & 3, Block A, Rockwall CCA
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Replat for Lots 2 & 3, Block A, Rockwall – CCA Addition being a 173.00-acre tract of land identified as Tract 7-1 of the W. H. Baird Survey, Abstract No. 25 and Lot 1, Block A, Rockwall CCA Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 95 (PD-95) for limited Neighborhood Services (NS) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, and addressed as 2301 John King Boulevard.

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com.

M.3 For reference, include the case number (P2022-059) in the lower right-hand corner of all pages on future submittals.

M.4 Change lots 1R & 2, Block A to Lots 2 & 3, Block A.

M.5 Please correct the Title Block to the following:

Final Plat
Rockwall CCA Addition
Lots 2 & 3, Block A
Being a Replat of Lot 1, Block A
110.38 Acres
Situated within the W.H. Baird Survey, Abstract Number 25
City of Rockwall, Rockwall County, Texas

M.6 Please add the following to the General Notes: "Property owner shall be responsible for maintaining, repairing, and replacing all systems within the drainage and detention easements." (Subsection 7.d.9, of Chapter 38, of the Municipal Code of Ordinances)

I.7 Staff has identified the aforementioned items necessary to continue the submittal process. Please make all revisions and corrections and return to staff as soon as possible for a subsequent review prior to approval.

I.8 The projected meeting dates for this case are as follows:

Planning and Zoning Commission: December 27, 2022

City Council: January 3, 2023

I.9 Please note that once the Replat has been approved by the Planning and Zoning Commission and City Council, the case will be considered to be conditionally approved pending all of staff's comments from all City Departments and any applicable conditions of approval contained in staff's case memo are addressed prior to the subdivision plat being filed.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	12/16/2022	Needs Review

12/16/2022: - Visibility easements required at driveway connections to public roadways.
- Remove edge of pavement for future Stableglen.
- Remove edge of pavement and pavement for John King.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	12/14/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	12/15/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	12/13/2022	Approved

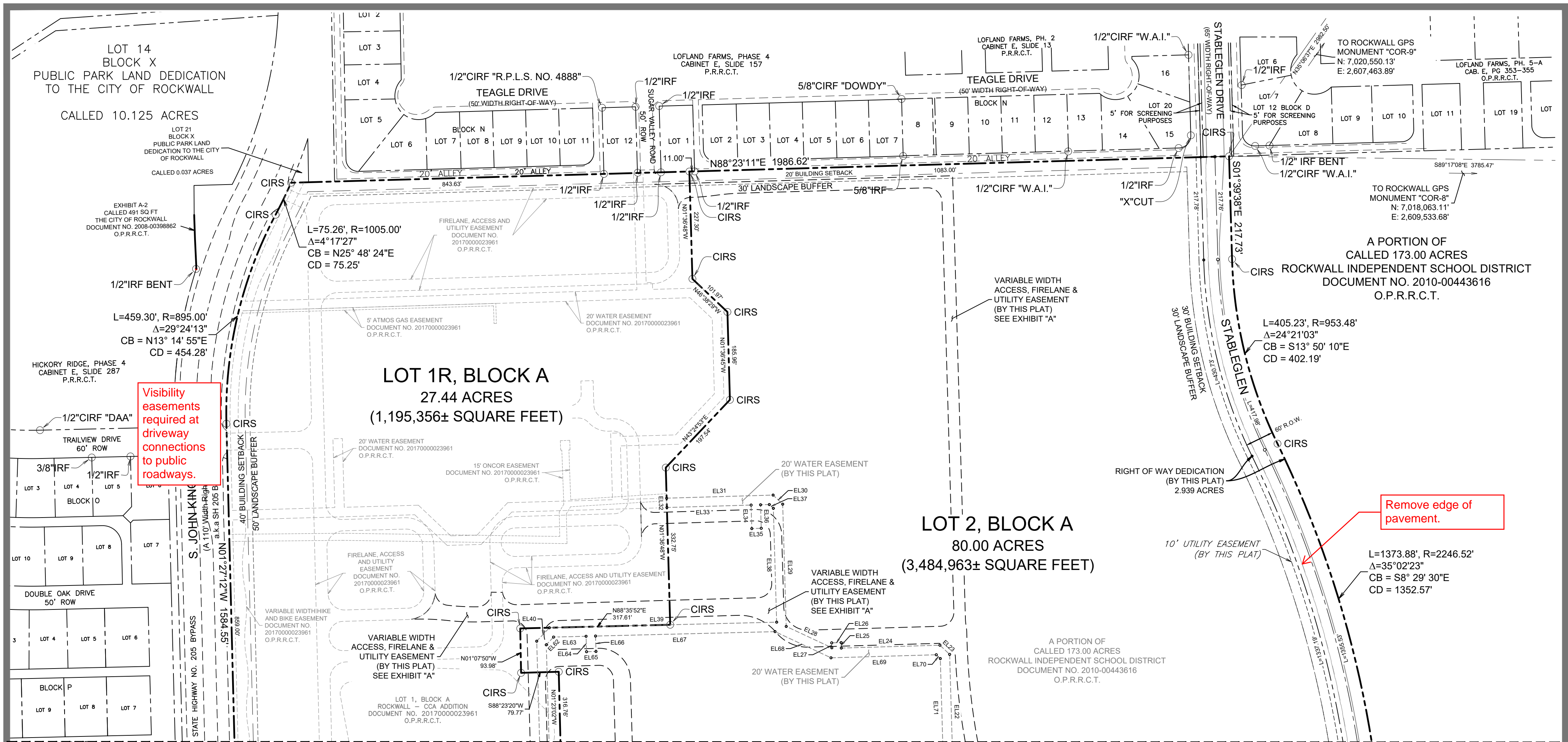
No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	12/13/2022	Approved

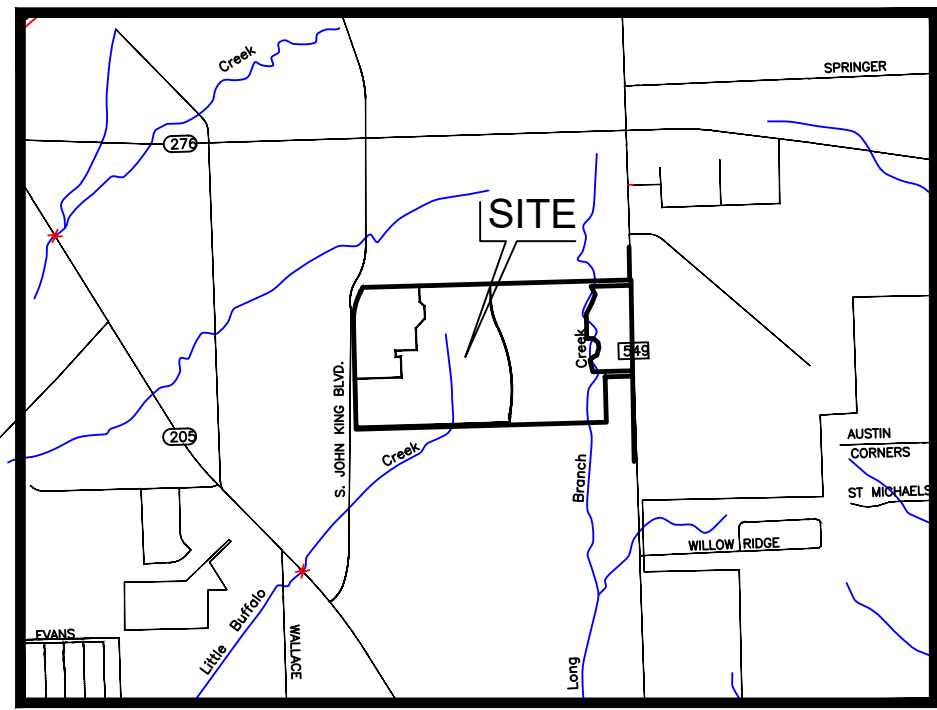
No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Bethany Ross	12/16/2022	N/A

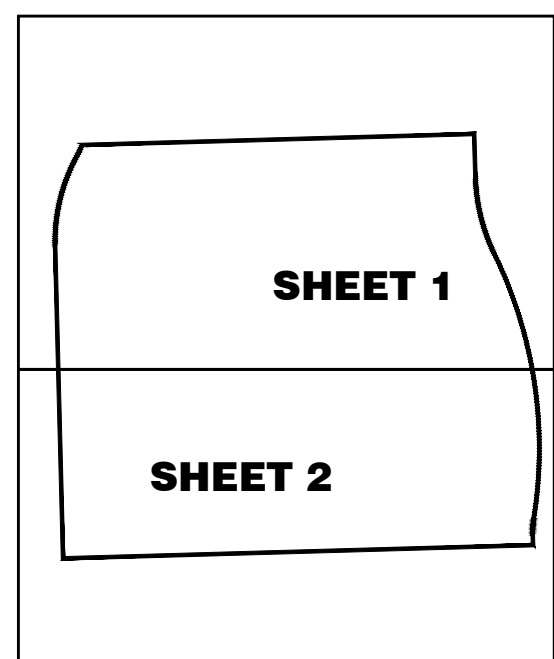
No Comments



Match Line - See Sheet 2



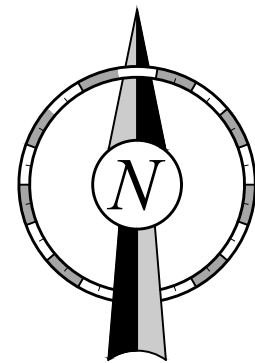
LOCATION MAP NOT TO SCALE



SHEET KEY MAP

OWNER:
Rockwall ISD
801 East Washington St.
Rockwall Texas, 75087
(469) 698-7031
Contact: William Salee

ENGINEER:
Glenn Engineering Corp.
105 Decker Court, Suite 910
Irving, Texas 75062
TBPE FIRM NO. F-303
(972) 989-2174 Cell
(972) 717-5151 Office
Contact: Robert Howman



SCALE: 1" = 150'

- LEGEND
- DEED RECORDS, ROCKWALL COUNTY, TEXAS
 - OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS
 - PLAT RECORDS ROCKWALL COUNTY, TEXAS
 - IRF IRON ROD FOUND
 - CIRF CAPPED IRON ROD FOUND AS NOTED
 - CIRS 1/2" CAPPED IRON ROD STAMPED "BOWMAN PROP COR"
 - MNF MAG NAIL FOUND
 - MNS MAG NAIL SET
 - P.O.B. POINT OF BEGINNING

SURVEYOR:
Bowman Consulting Group, Ltd.
1200 West Magnolia Blvd., Suite 300
Fort Worth, TX 76104

FINAL PLAT

ROCKWALL - CCA ADDITION

LOT 1R & LOT 2, BLOCK A

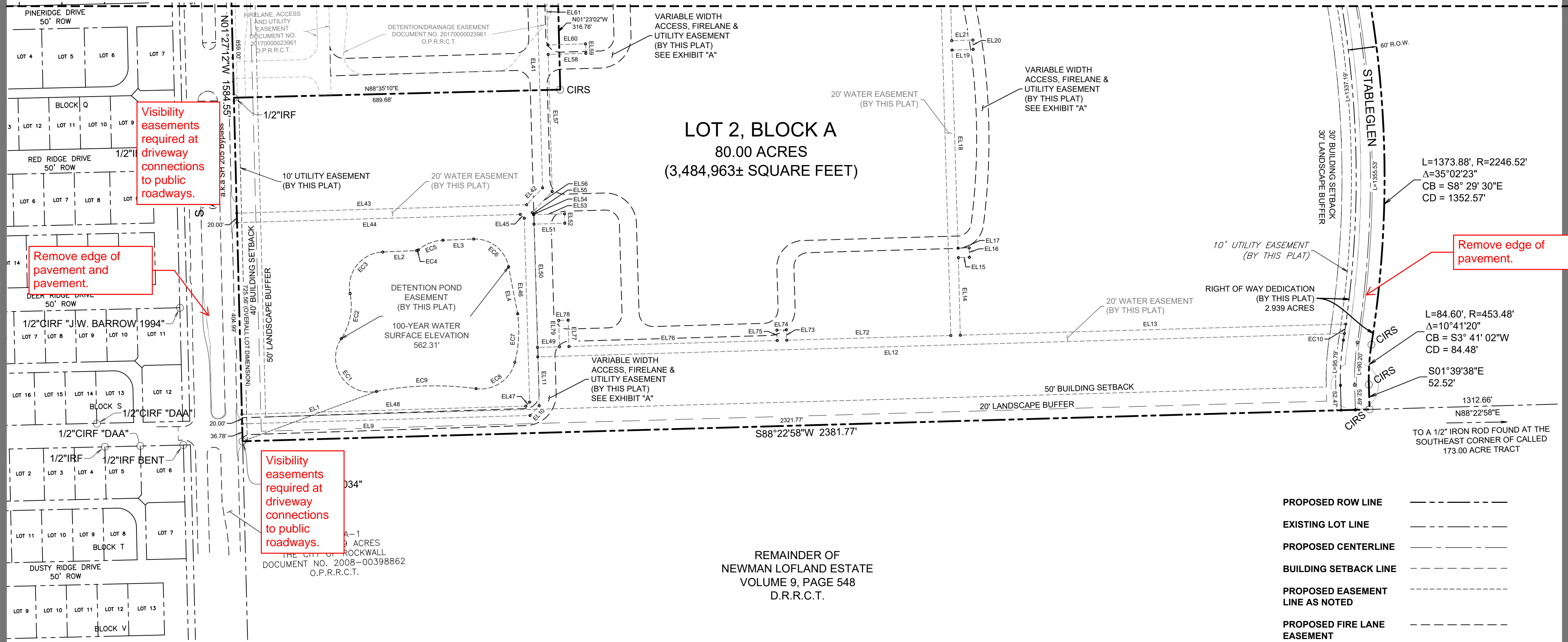
BEING 110.38 ACRES
SITUATED WITHIN THE
W.H. BAIRD SURVEY, ABSTRACT NUMBER 25
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
Case No: P2022-029

Bowman

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Phone: (214) 484-8586
www.bowman.com
TBPELS #10120600

Bowman Job No.: 210146 Drawn By: RAH Sheet: 1 of 5

Match Line - See Sheet 1



Visibility easements required at driveway connections to public roadways.

Remove edge of pavement and pavement.

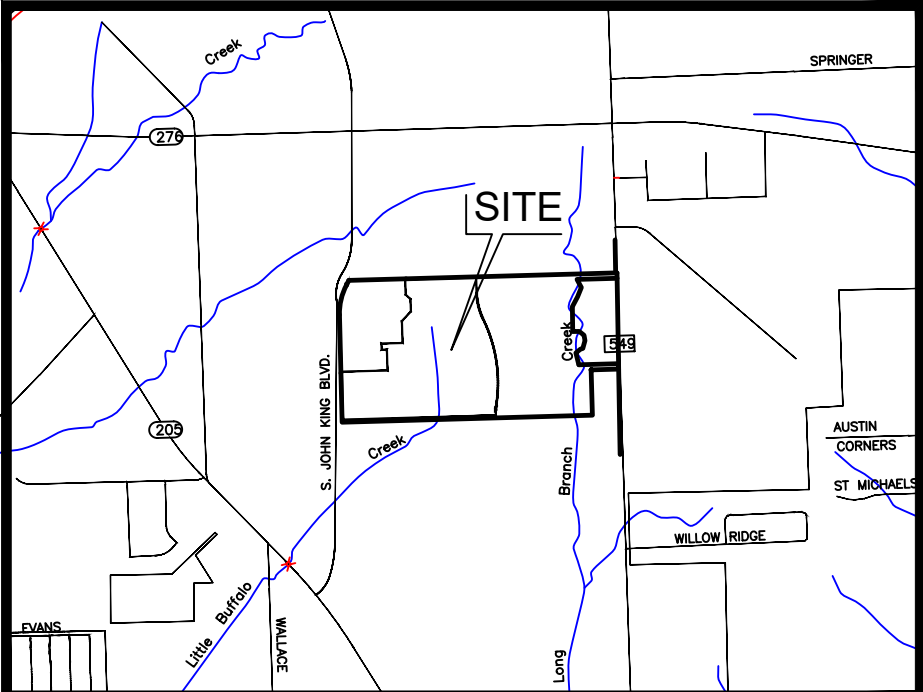
Visibility easements required at driveway connections to public roadways.

Remove edge of pavement.

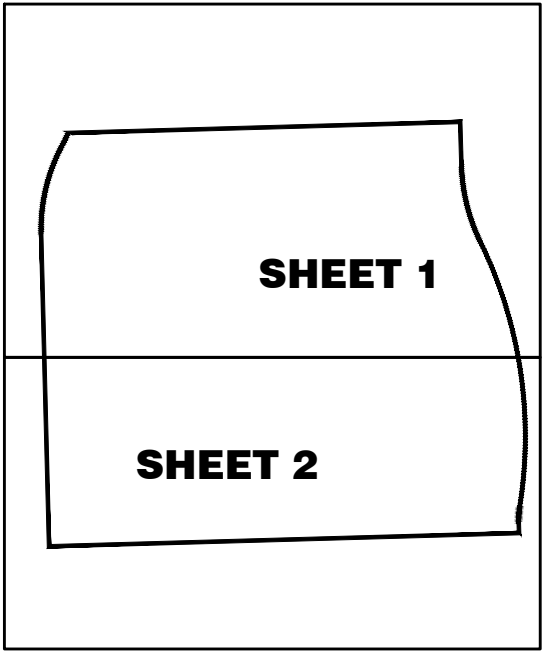
LOT 2, BLOCK A
80.00 ACRES
(3,484,963± SQUARE FEET)

REMAINDER OF
NEWMAN LOFLAND ESTATE
VOLUME 9, PAGE 548
D.R.R.C.T.

- PROPOSED ROW LINE -----
- EXISTING LOT LINE -----
- PROPOSED CENTERLINE -----
- BUILDING SETBACK LINE -----
- PROPOSED EASEMENT LINE AS NOTED -----
- PROPOSED FIRE LANE EASEMENT -----
- PREVIOUS TRACT LINE -----
- BOUNDARY LINE -----



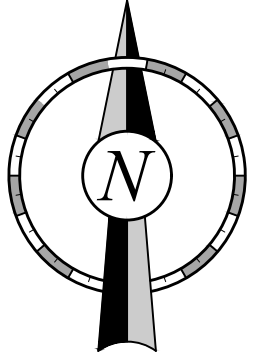
LOCATION MAP
NOT TO SCALE



SHEET KEY MAP

OWNER:
Rockwall ISD
801 East Washington St.
Rockwall Texas, 75087
(469) 698-7031
Contact: William Salee

ENGINEER:
Glenn Engineering Corp.
105 Decker Court, Suite 910
Irving, Texas 75062
TBPE FIRM NO. F-303
(972) 989-2174 Cell
(972) 717-5151 Office
Contact: Robert Howman



SCALE: 1" = 150'

- LEGEND**
- DEED RECORDS, ROCKWALL COUNTY, TEXAS
 - OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS
 - PLAT RECORDS ROCKWALL COUNTY, TEXAS

- IRF IRON ROD FOUND
- CIRF CAPPED IRON ROD FOUND AS NOTED
- CIRS 1/2" CAPPED IRON ROD STAMPED "BOWMAN PROP COR"
- MNF MAG NAIL FOUND
- MNS MAG NAIL SET
- P.O.B. POINT OF BEGINNING

SURVEYOR:
Bowman Consulting Group, Ltd.
1200 West Magnolia Blvd., Suite 300
Fort Worth, TX 76104

FINAL PLAT
ROCKWALL - CCA ADDITION
LOT 1R & LOT 2, BLOCK A
BEING 110.38 ACRES
SITUATED WITHIN THE
W.H. BAIRD SURVEY, ABSTRACT NUMBER 25
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
Case No: P2022-029

Bowman

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1200 West Magnolia Blvd., Suite 300 Fort Worth, TX 76104
Phone: (214) 484-8886
www.bowman.com
TBPELS #10120600



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 2301 S. John King, Rockwall, TX

SUBDIVISION Rockwall CCA Addition

LOT 1R & 2 BLOCK A

GENERAL LOCATION Rockwall 9th Grade Center - South site - at the Gene Burton Academy

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD for NS Uses

CURRENT USE Public School

PROPOSED ZONING

PROPOSED USE

ACREAGE 107.44 acres

LOTS [CURRENT]

2

LOTS [PROPOSED]

2

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Rockwall Independent School District

APPLICANT Glenn Engineering Corporation

CONTACT PERSON William Salee - Executive Director of Operations

CONTACT PERSON Robert Howman

ADDRESS 1191 T.L. Townsend Drive

ADDRESS 4500 Fuller Drive, Ste 220

CITY, STATE & ZIP Rockwall, Texas 75087

CITY, STATE & ZIP Irving, Texas 75038

PHONE 469-698-7031

PHONE 972.717.5151

E-MAIL will.salee@rockwallisd.org

E-MAIL rahowman@glennengineering.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED WILLIAM SALEE [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

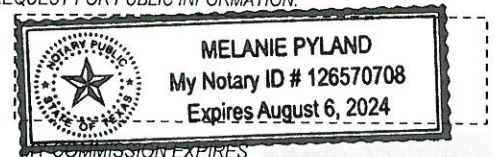
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 2,448.00, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE NINTH DAY OF DECEMBER, 20 20 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

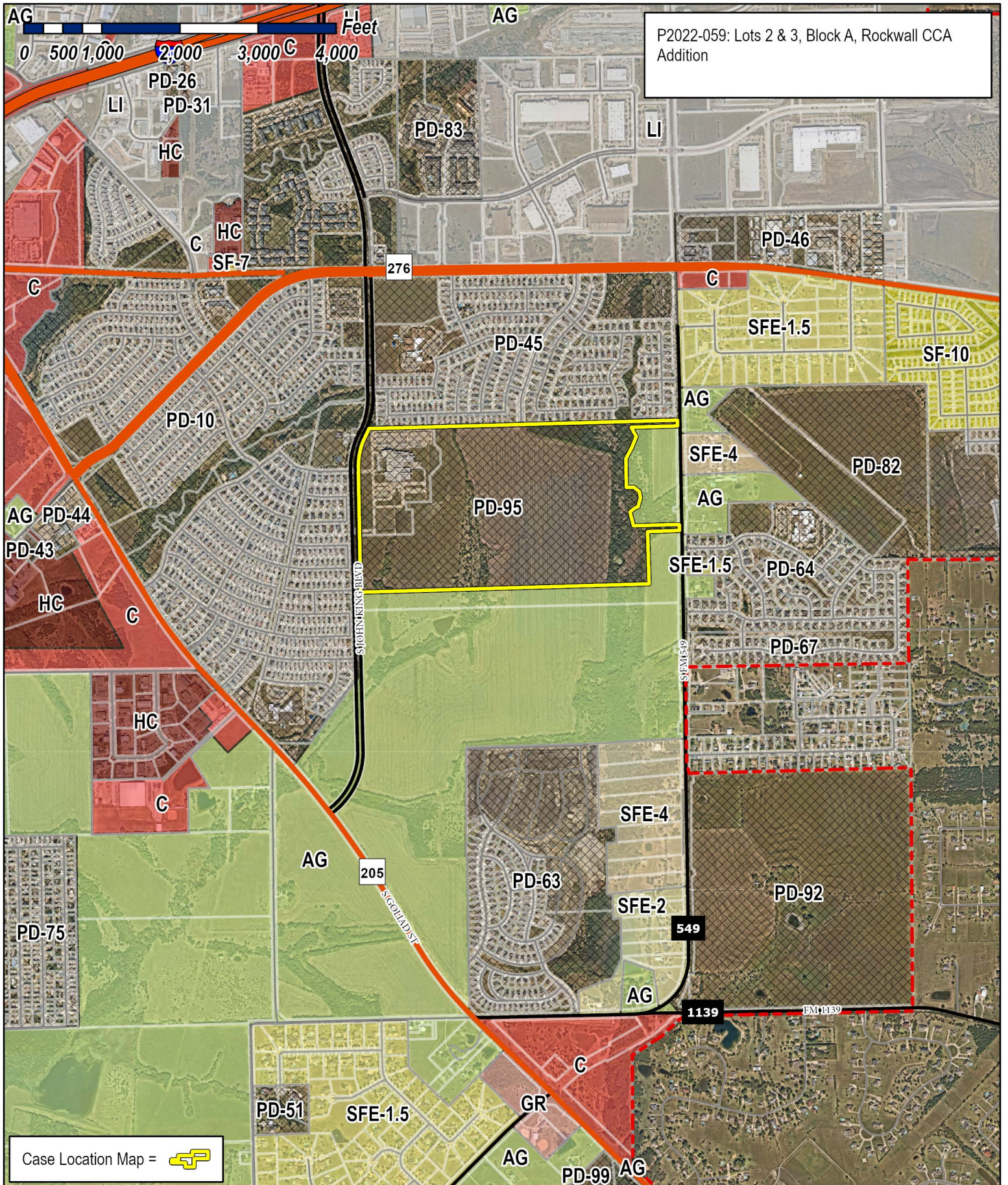
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 8th DAY OF December, 20 20

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Melanie Pyland



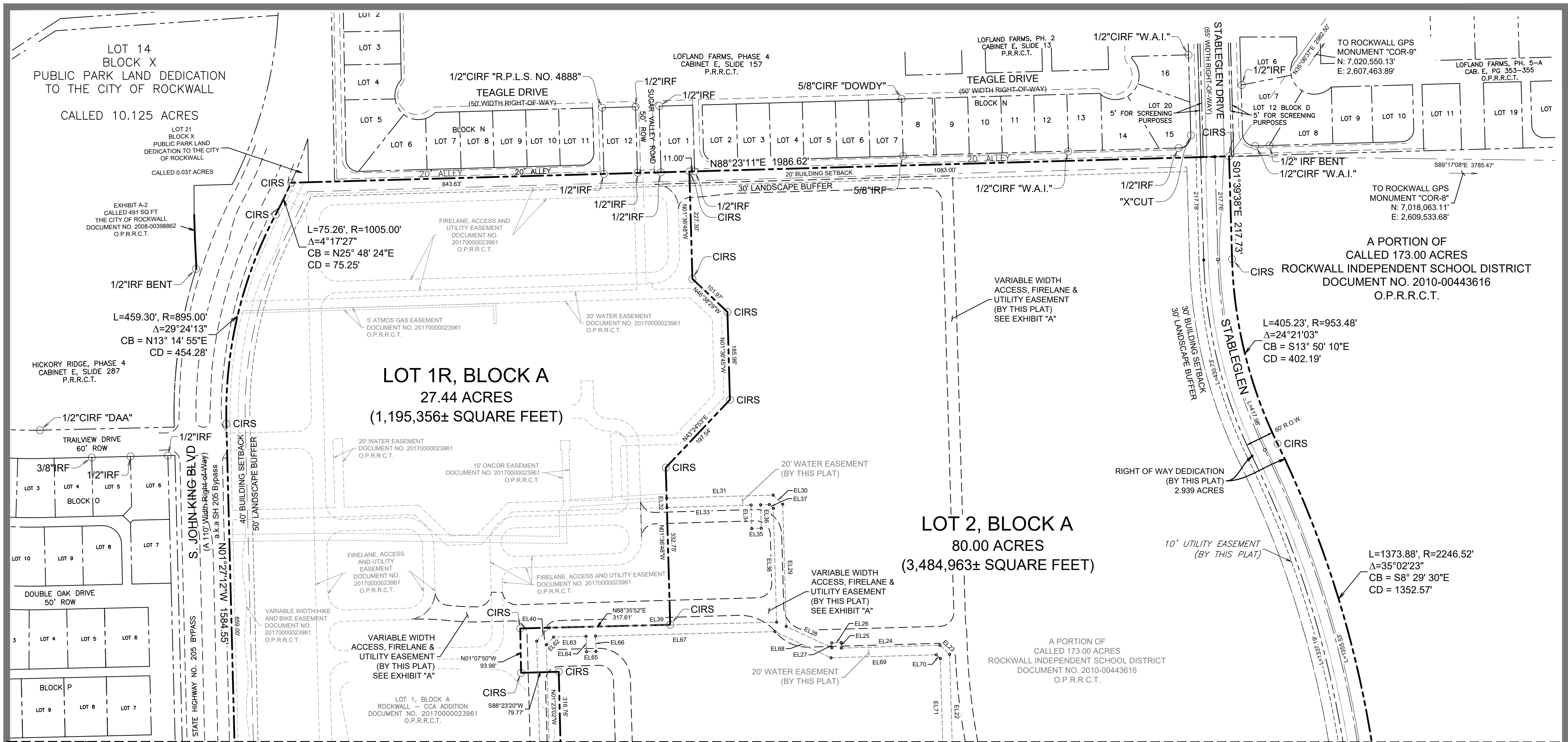


City of Rockwall

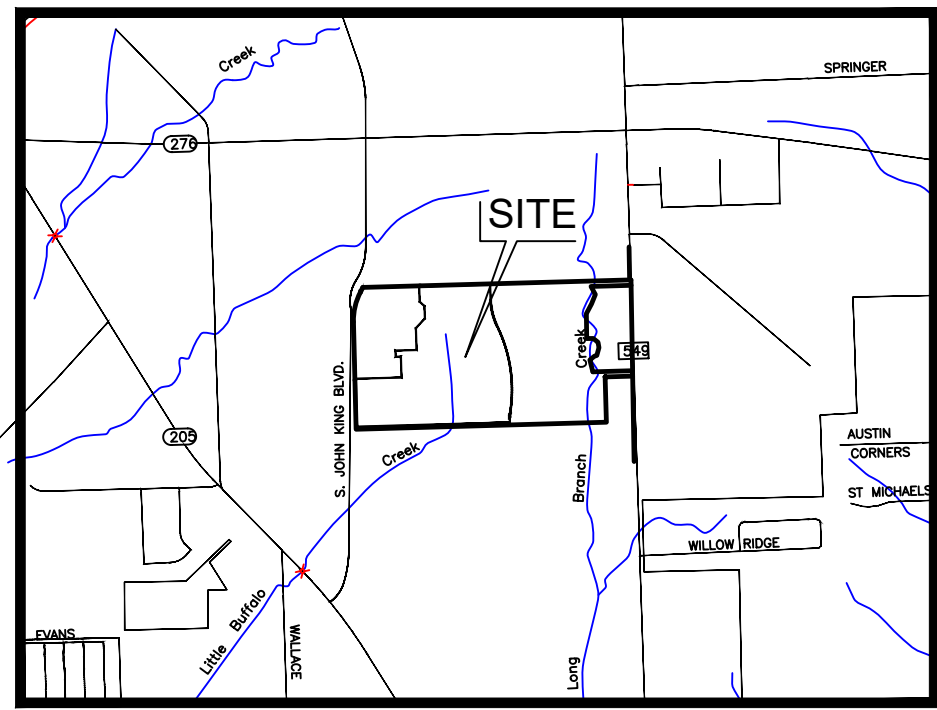
Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

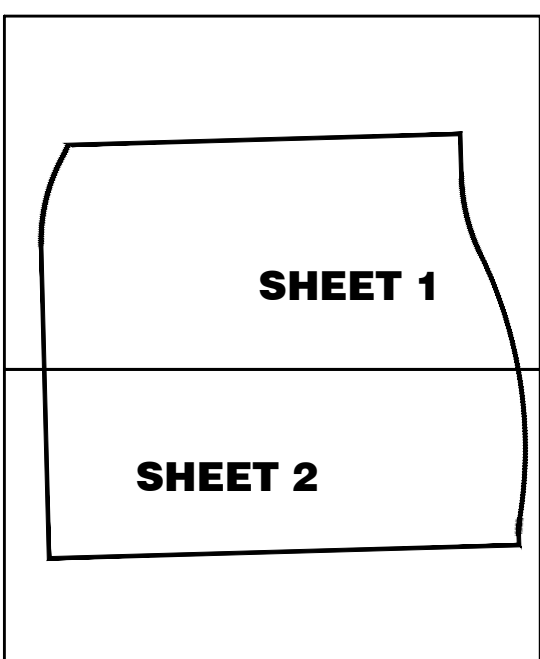




Match Line - See Sheet 2



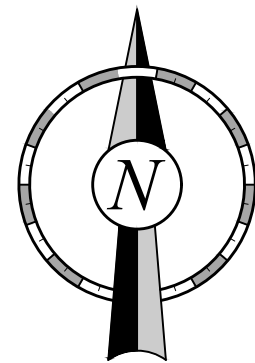
LOCATION MAP
NOT TO SCALE



SHEET KEY MAP

OWNER:
Rockwall ISD
801 East Washington St.
Rockwall Texas, 75087
(469) 698-7031
Contact: William Salee

ENGINEER:
Glenn Engineering Corp.
105 Decker Court, Suite 910
Irving, Texas 75062
TBPE FIRM NO. F-303
(972) 989-2174 Cell
(972) 717-5151 Office
Contact: Robert Howman



SCALE: 1" = 150'

LEGEND

- DEED RECORDS, ROCKWALL COUNTY, TEXAS
- OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS
- PLAT RECORDS ROCKWALL COUNTY, TEXAS

- IRF IRON ROD FOUND
- CIRF CAPPED IRON ROD FOUND AS NOTED
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- MNS MAG NAIL SET
- P.O.B. POINT OF BEGINNING

SURVEYOR:
Bowman Consulting Group, Ltd.
1200 West Magnolia Blvd., Suite 300
Fort Worth, TX 76104

FINAL PLAT

ROCKWALL - CCA ADDITION

LOT 1R & LOT 2, BLOCK A

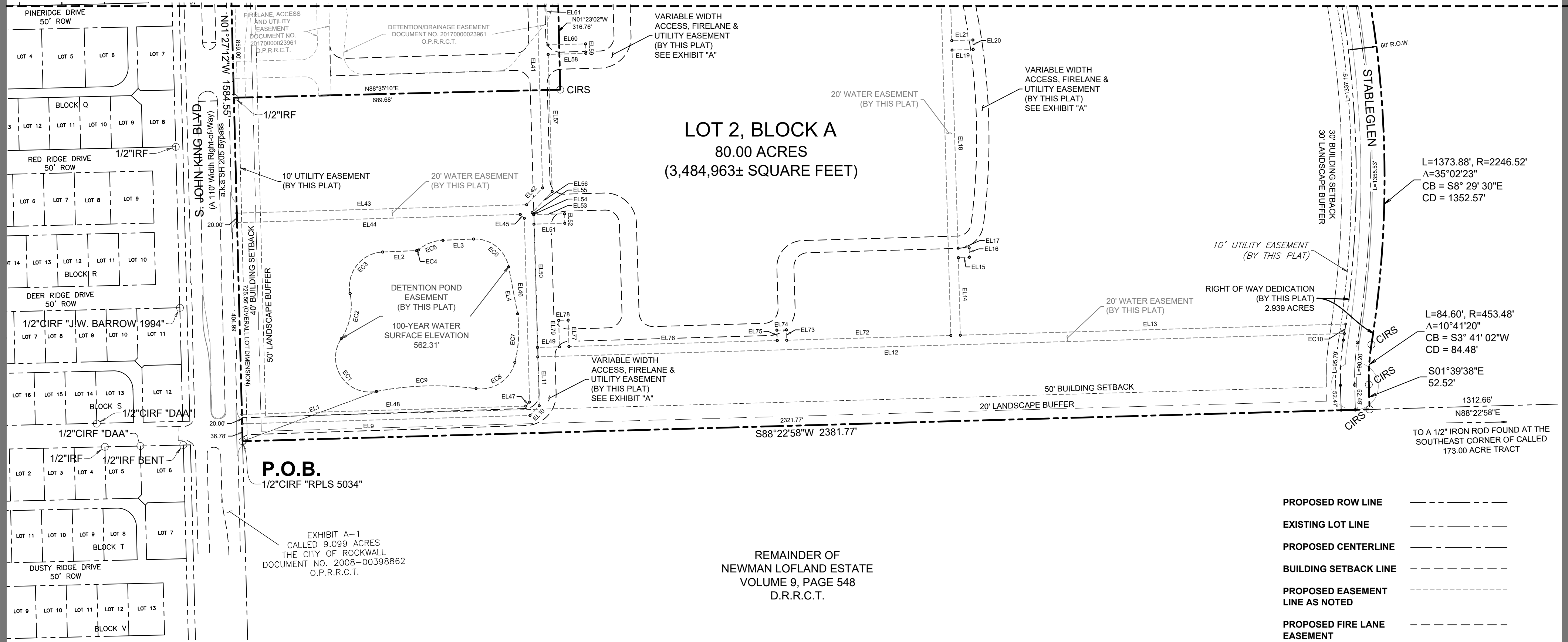
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Case No: P2022-029

Bowman

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1200 West Magnolia Blvd., Suite 300 Fort Worth, TX 76104
Phone: (214) 484-8886
www.bowman.com
TBPELS #10120600

Bowman Job No.: 210146 Drawn By: RAH Sheet: 1 of 5

Match Line - See Sheet 1



L=1373.88', R=2246.52'
 $\Delta=35^{\circ}02'23''$
 CB = $S8^{\circ}29'30''E$
 CD = 1352.57'

L=84.60', R=453.48'
 $\Delta=10^{\circ}41'20''$
 CB = $S3^{\circ}41'02''W$
 CD = 84.48'

$S01^{\circ}39'38''E$
 52.52'

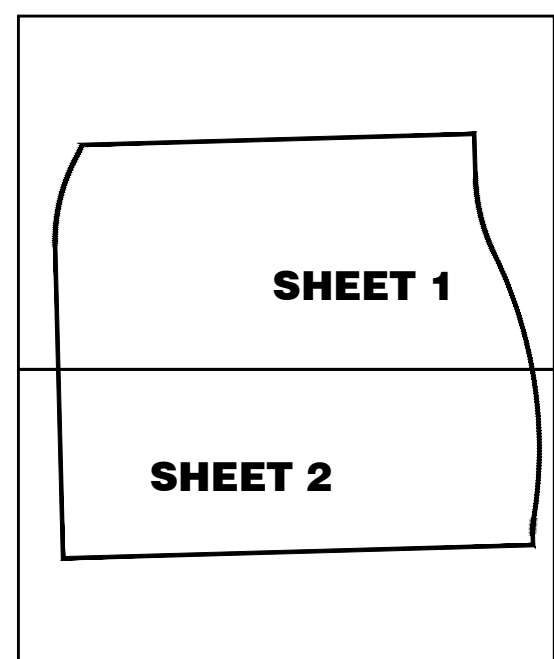
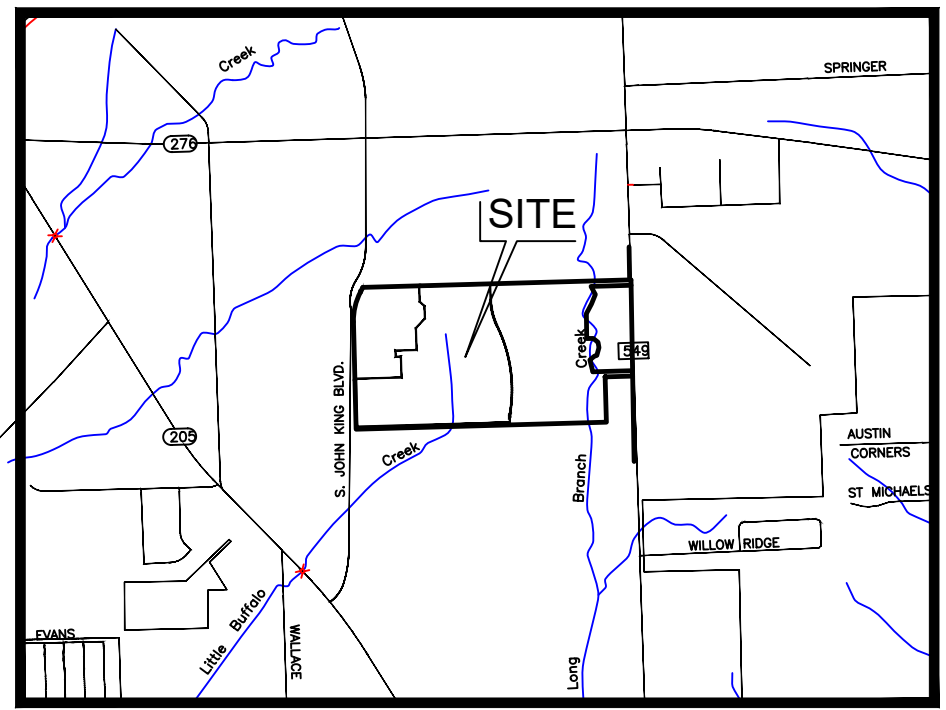
1312.66'
 $N88^{\circ}22'58''E$
 TO A 1/2" IRON ROD FOUND AT THE
 SOUTHEAST CORNER OF CALLED
 173.00 ACRE TRACT

- PROPOSED ROW LINE -----
- EXISTING LOT LINE -----
- PROPOSED CENTERLINE -----
- BUILDING SETBACK LINE -----
- PROPOSED EASEMENT LINE AS NOTED -----
- PROPOSED FIRE LANE EASEMENT -----
- PREVIOUS TRACT LINE -----
- BOUNDARY LINE -----

REMAINDER OF
 NEWMAN LOFLAND ESTATE
 VOLUME 9, PAGE 548
 D.R.R.C.T.

EXHIBIT A-1
 CALLED 9.099 ACRES
 THE CITY OF ROCKWALL
 DOCUMENT NO. 2008-00398862
 O.P.R.R.C.T.

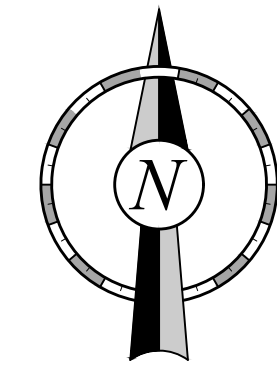
P.O.B.
 1/2" CIRF "RPLS 5034"



SHEET KEY MAP

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 105 Decker Court, Suite 910
 Irving, Texas 75062
 TBPE FIRM NO. F-303
 (972) 989-2174 Cell
 (972) 717-5151 Office
 Contact: Robert Howman



SCALE: 1" = 150'

- LEGEND**
- DEED RECORDS, ROCKWALL COUNTY, TEXAS
 - OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS
 - PLAT RECORDS ROCKWALL COUNTY, TEXAS

- IRF IRON ROD FOUND
- CIRF CAPPED IRON ROD FOUND AS NOTED
- CIRS 1/2" CAPPED IRON ROD STAMPED "BOWMAN PROP COR"
- MNF MAG NAIL FOUND
- MNS MAG NAIL SET
- P.O.B. POINT OF BEGINNING

SURVEYOR:
 Bowman Consulting Group, Ltd.
 1200 West Magnolia Blvd., Suite 300
 Fort Worth, TX 76104

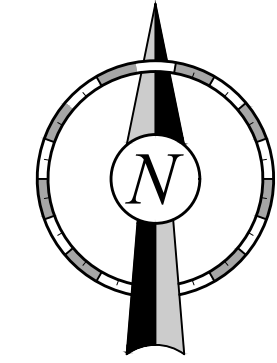
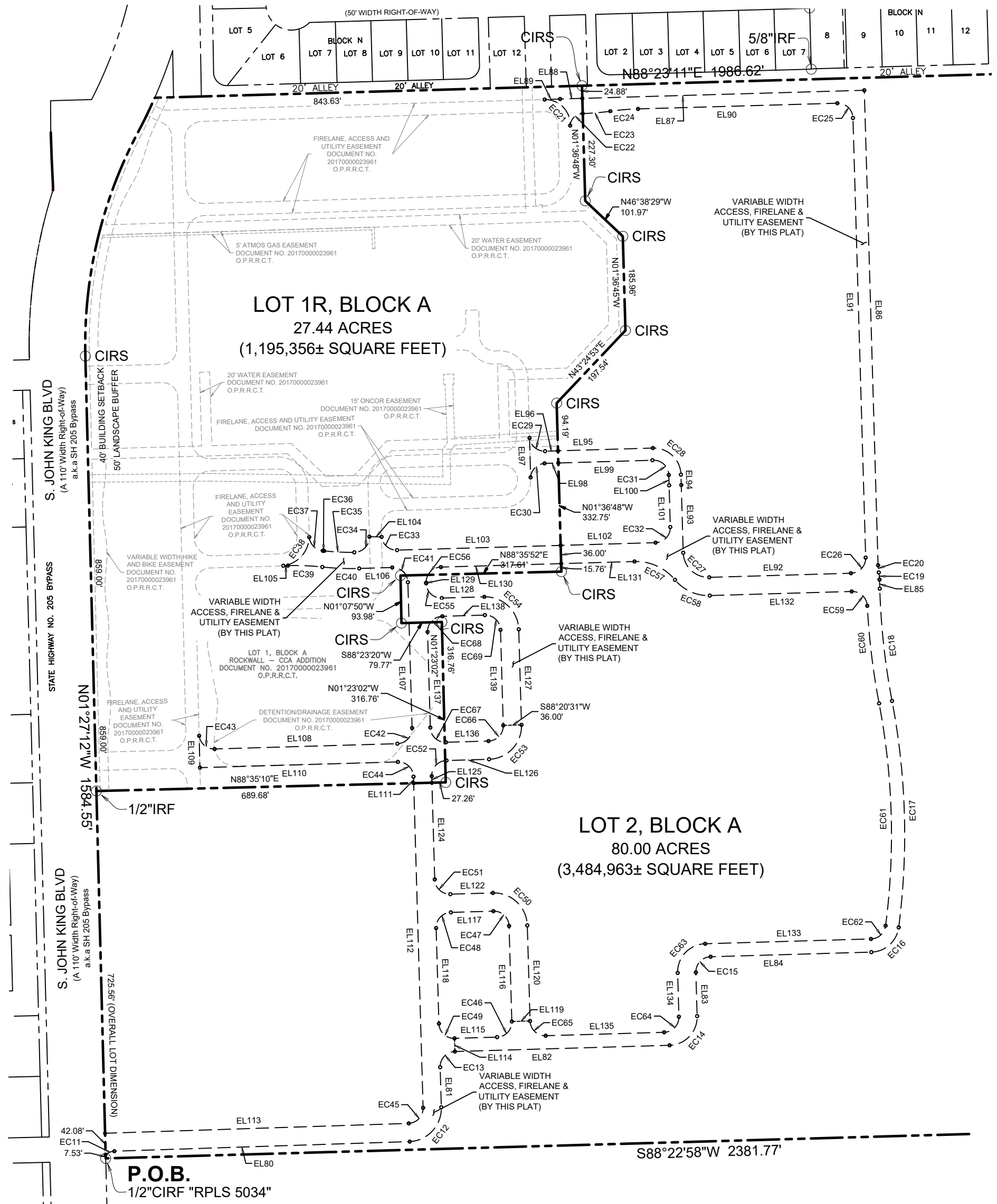
FINAL PLAT
**ROCKWALL - CCA
 ADDITION**

LOT 1R & LOT 2, BLOCK A

BEING 110.38 ACRES
 SITUATED WITHIN THE
 W.H. BAIRD SURVEY, ABSTRACT NUMBER 25
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
 Case No: P2022-029

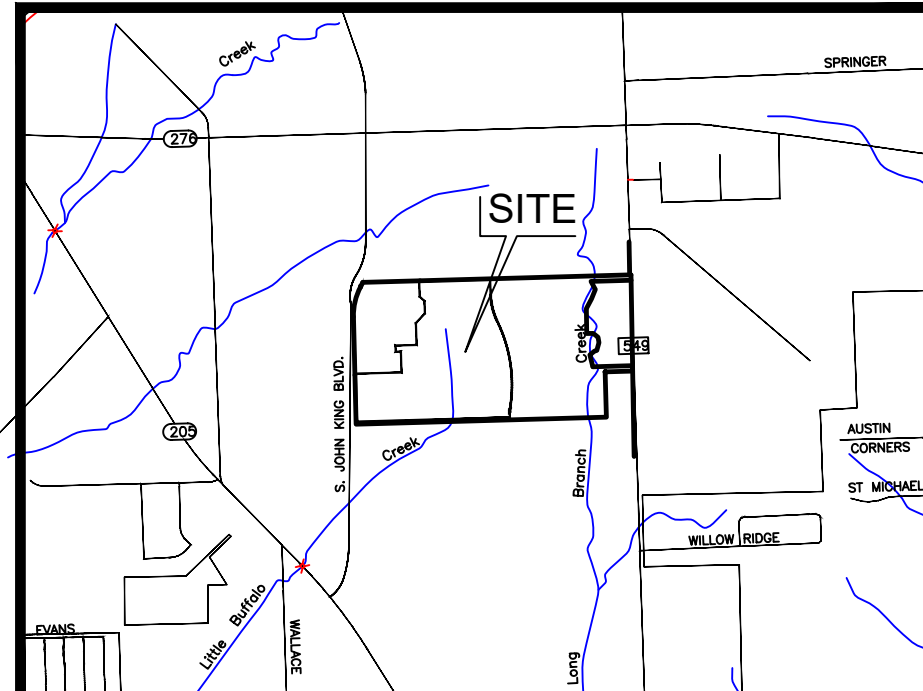
Bowman

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 1200 West Magnolia Blvd., Suite 300 Fort Worth, TX 76104
 Phone: (214) 484-8886
 www.bowman.com
 TBPELS #10120600



SCALE: 1" = 200'

**LOCATION MAP
NOT TO SCALE**



OWNER:
Rockwall ISD
801 East Washington St.
Rockwall Texas, 75087
(469) 698-7031
Contact: William Salee

ENGINEER:
Glenn Engineering Corp.
105 Decker Court, Suite 910
Irving, Texas 75062
TBPE FIRM NO. F-303
(972) 989-2174 Cell
(972) 717-5151 Office
Contact: Robert Howman

PROPOSED ROW LINE	----
EXISTING LOT LINE	----
PROPOSED CENTERLINE	----
BUILDING SETBACK LINE	----
PROPOSED EASEMENT LINE AS NOTED	----
PROPOSED FIRE LANE EASEMENT	----
PREVIOUS TRACT LINE	----
BOUNDARY LINE	----

LEGEND

DEED RECORDS, ROCKWALL COUNTY, TEXAS
OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS
PLAT RECORDS ROCKWALL COUNTY, TEXAS

IRF
CIRF
CIRS
MNF
MNS
P.O.B.

IRON ROD FOUND
CAPPED IRON ROD FOUND AS NOTED
1/2" CAPPED IRON ROD STAMPED "BOWMAN PROP COR"
MAG NAIL FOUND
MAG NAIL SET
POINT OF BEGINNING

SURVEYOR:
Bowman Consulting Group, Ltd.
1200 West Magnolia Blvd., Suite 300
Fort Worth, TX 76104

EXHIBIT "A"

FINAL PLAT

ROCKWALL - CCA ADDITION

LOT 1R & LOT 2, BLOCK A

BEING 110.38 ACRES
SITUATED WITHIN THE
W.H. BAIRD SURVEY, ABSTRACT NUMBER 25
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
Case No: P2022-029

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TBPELS #10120600
Phone: (214) 484-8586
www.bowman.com

Bowman Job No.: 210146 Drawn By: RAH Sheet: 3 of 5

Line Table		
Line #	Length	Direction
EL1	301.76'	N69°35'45"E
EL2	71.64'	N87°37'10"E
EL3	64.94'	N87°45'49"E
EL4	101.03'	S10°53'26"E
EL9	608.38'	S88°20'04"W
EL10	28.28'	S43°20'18"W
EL11	103.11'	S1°39'29"E
EL12	1704.75'	S88°20'31"W
EL13	814.77'	S88°20'31"W
EL14	163.80'	N1°23'35"W
EL15	23.34'	N88°20'31"E
EL16	20.00'	N1°39'29"W
EL17	23.46'	S88°20'31"W
EL18	418.42'	N1°44'46"W
EL19	44.66'	N88°20'31"E
EL20	20.00'	N1°39'29"W
EL21	44.66'	S88°20'31"W
EL22	250.05'	N1°39'29"W
EL23	28.28'	N46°39'29"W
EL24	208.90'	S88°20'31"W

Line Table		
Line #	Length	Direction
EL25	11.60'	N1°39'29"W
EL26	20.00'	S88°20'31"W
EL27	10.41'	S1°39'29"E
EL28	106.60'	N64°56'45"W
EL29	258.92'	N1°39'29"W
EL30	27.95'	N46°39'29"W
EL31	225.44'	S88°20'31"W
EL32	19.77'	N1°36'48"W
EL33	178.37'	N88°20'31"E
EL34	49.78'	S1°39'29"E
EL35	20.00'	N88°20'31"E
EL36	49.78'	N1°39'29"W
EL37	11.71'	S46°39'29"E
EL38	240.99'	S1°39'29"E
EL39	481.22'	S88°35'52"W
EL40	39.15'	S43°20'31"W
EL41	589.05'	S1°39'29"E
EL42	48.99'	S43°20'31"W
EL43	612.64'	S88°20'31"W
EL44	598.57'	S88°20'31"W

Line Table		
Line #	Length	Direction
EL45	11.72'	N46°39'29"W
EL46	388.34'	N1°39'29"W
EL47	11.72'	N43°20'18"E
EL48	600.02'	N88°20'04"E
EL49	46.41'	S88°20'31"W
EL50	260.40'	N1°39'29"W
EL51	65.24'	N88°20'31"E
EL52	20.00'	N1°39'29"W
EL53	65.24'	S88°20'31"W
EL54	1.40'	N1°39'29"W
EL55	4.14'	N46°39'29"W
EL56	61.42'	N43°20'31"E
EL57	289.59'	N1°39'29"W
EL58	79.49'	N88°20'31"E
EL59	20.00'	N1°39'29"W
EL60	79.49'	S88°20'31"W
EL61	279.46'	N1°39'29"W
EL62	22.53'	N43°20'31"E
EL63	68.84'	N88°35'52"E
EL64	32.73'	S1°39'29"E

Line Table		
Line #	Length	Direction
EL127	188.80'	N1°39'29"W
EL128	84.00'	S88°20'31"W
EL129	1.20'	N1°39'29"W
EL130	237.49'	N88°20'31"E
EL131	144.80'	N88°20'31"E
EL132	280.09'	N88°20'31"E
EL133	327.35'	S88°20'31"W
EL134	86.41'	S1°39'29"E
EL135	233.87'	S88°20'31"W
EL136	84.00'	S88°20'31"W
EL137	188.80'	N1°39'29"W
EL138	84.00'	N88°20'31"E
EL139	188.80'	S1°39'29"E

Curve Table					
Curve #	Chord Bearing	Chord Distance	Arc Length	Radius	Delta
EC1	N33°45'28"W	133.91'	170.39'	72.62'	134°25'49"
EC2	N11°05'40"E	97.17'	99.68'	127.69'	44°43'34"
EC3	N38°10'31"E	111.51'	126.65'	73.38'	98°53'17"
EC4	N69°23'21"E	3.90'	3.98'	5.62'	40°34'04"
EC5	N68°26'04"E	55.86'	56.93'	84.38'	38°39'30"
EC6	S51°33'48"E	94.35'	102.76'	72.38'	81°20'44"
EC7	S3°16'40"W	102.48'	103.09'	273.78'	21°34'28"
EC8	S55°53'58"W	99.22'	108.62'	74.38'	83°40'08"
EC9	S88°22'49"W	210.32'	211.26'	647.04'	18°42'24"
EC10	N8°23'29"E	20.31'	20.31'	2186.52'	0°31'56"
EC11	N68°54'17"E	18.47'	18.77'	30.00'	35°51'19"
EC12	N42°35'14"E	92.10'	101.93'	66.00'	88°29'25"
EC13	N43°20'31"E	42.43'	47.12'	30.00'	90°00'00"
EC14	N43°20'31"E	79.20'	87.96'	56.00'	90°00'00"
EC15	N43°20'31"E	42.43'	47.12'	30.00'	90°00'00"
EC16	N47°52'49"E	72.68'	79.09'	56.00'	80°55'23"
EC17	N1°40'36"W	447.29'	449.17'	1414.73'	18°11'28"
EC18	N6°14'19"W	223.07'	223.30'	1410.06'	9°04'25"
EC19	N5°42'46"W	14.14'	14.15'	100.00'	8°06'35"
EC20	N5°42'46"W	14.14'	14.15'	100.00'	8°06'35"

Curve Table					
Curve #	Chord Bearing	Chord Distance	Arc Length	Radius	Delta
EC21	S44°31'56"E	71.96'	80.69'	49.23'	93°54'20"
EC22	N46°20'04"E	34.34'	37.67'	25.50'	84°37'50"
EC23	N85°12'53"E	54.65'	54.68'	500.00'	6°15'57"
EC24	N85°13'18"E	54.77'	54.80'	500.00'	6°16'46"
EC25	S46°38'54"E	42.42'	47.11'	30.00'	89°58'50"
EC26	S43°20'31"W	42.43'	47.12'	30.00'	90°00'00"
EC27	N46°39'29"W	70.71'	78.54'	50.00'	90°00'00"
EC28	N46°39'29"W	76.37'	84.82'	54.00'	90°00'00"
EC29	N49°30'25"W	40.27'	44.14'	30.00'	84°18'08"
EC30	N44°49'33"E	38.96'	42.40'	30.00'	80°58'38"
EC31	S48°03'19"E	43.50'	48.63'	30.06'	92°42'04"
EC32	S43°20'31"W	42.43'	47.12'	30.00'	90°00'00"
EC33	N49°32'27"W	40.24'	44.11'	30.00'	84°14'04"
EC34	S44°00'44"W	42.90'	47.68'	30.27'	90°15'34"
EC35	N87°13'38"W	59.65'	59.69'	500.00'	6°50'23"
EC36	N83°56'52"W	2.61'	2.61'	532.00'	0°16'52"
EC37	N44°47'59"W	37.99'	41.14'	30.00'	78°34'39"
EC38	S42°04'52"W	76.23'	82.88'	59.00'	80°29'23"
EC39	S87°42'33"E	68.05'	68.10'	500.00'	7°48'14"
EC40	S87°43'57"E	72.84'	72.90'	532.00'	7°51'03"

Line Table		
Line #	Length	Direction
EL65	20.00'	N88°20'31"E
EL66	32.64'	N1°39'29"W
EL67	380.17'	N88°35'52"E
EL68	130.76'	S64°56'45"E
EL69	222.99'	N88°20'31"E
EL70	11.72'	S46°39'29"E
EL71	863.98'	S1°39'29"E
EL72	346.81'	S88°20'31"W
EL73	21.90'	N2°07'12"W
EL74	20.00'	S88°20'31"W
EL75	21.90'	S2°07'12"E
EL76	440.30'	S88°20'31"W
EL77	55.78'	N1°39'29"W
EL78	20.00'	S88°20'31"W
EL79	55.78'	S1°39'29"E
EL80	583.31'	N88°08'03"E
EL81	79.19'	N1°39'29"W
EL82	423.87'	N88°20'31"E
EL83	86.41'	N1°39'29"W
EL84	317.36'	N88°20'31"E

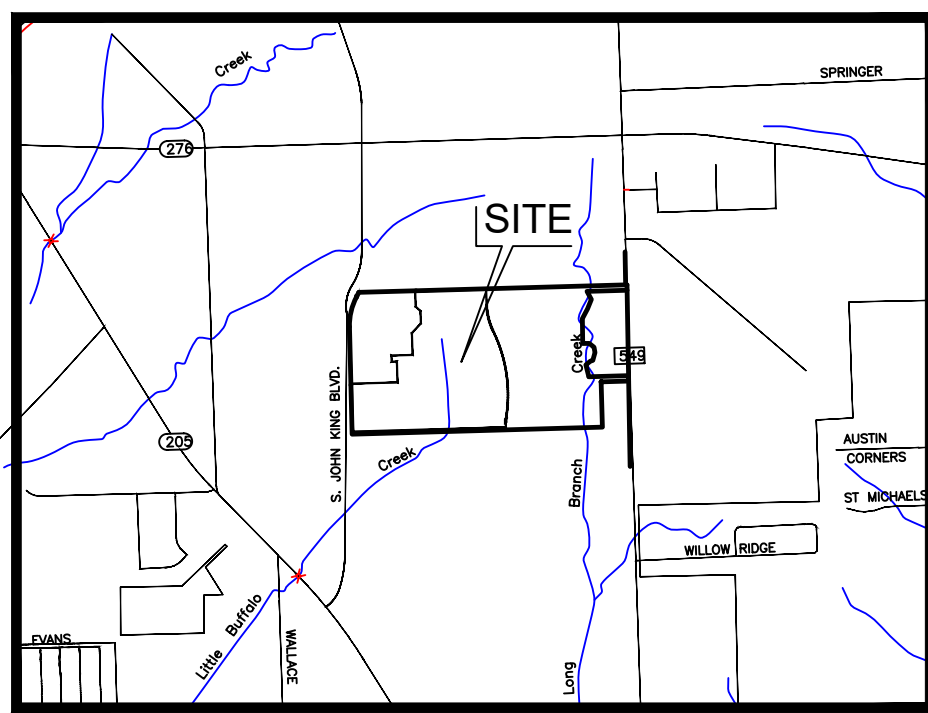
Line Table		
Line #	Length	Direction
EL85	17.94'	N1°39'29"W
EL86	938.24'	N1°39'29"W
EL87	556.75'	S88°21'41"W
EL88	43.98'	S88°23'15"W
EL89	30.51'	S87°48'53"W
EL90	393.52'	N88°21'41"E
EL91	868.36'	S1°39'29"E
EL92	279.68'	S88°20'31"W
EL93	133.82'	N1°39'29"W
EL94	20.51'	N1°39'29"W
EL95	187.23'	S88°20'31"W
EL96	25.55'	S88°20'31"W
EL97	77.89'	S1°34'37"E
EL98	27.25'	N88°19'51"E
EL99	185.75'	N88°19'51"E
EL100	20.51'	S1°39'29"E
EL101	82.28'	S1°39'29"E
EL102	187.37'	S88°20'31"W
EL103	322.99'	S88°20'31"W
EL104	24.02'	N89°06'21"W

Line Table		
Line #	Length	Direction
EL105	9.02'	N88°23'20"E
EL106	65.18'	N88°20'31"E
EL107	288.00'	S1°39'29"E
EL108	360.70'	S88°20'31"W
EL109	62.91'	S1°22'51"E
EL110	390.85'	N88°20'31"E
EL111	12.88'	S1°39'29"E
EL112	641.11'	S1°39'29"E
EL113	599.62'	S88°08'06"W
EL114	26.00'	N1°39'29"W
EL115	84.00'	N88°20'31"E
EL116	188.80'	N1°39'29"W
EL117	84.00'	S88°20'31"W
EL118	188.80'	S1°39'29"E
EL119	36.00'	N88°20'31"E
EL120	188.80'	N1°39'29"W
EL122	84.00'	S88°20'31"W
EL124	190.97'	N1°39'29"W
EL125	13.03'	N1°39'29"W
EL126	84.00'	N88°20'31"E

Curve Table					
Curve #	Chord Bearing	Chord Distance	Arc Length	Radius	Delta
EC41	S46°39'29"E	42.43'	47.12'	30.00'	90°00'00"
EC42	S43°20'31"W	42.43'	47.12'	30.00'	90°00'00"
EC43	N49°37'04"W	40.18'	44.02'	30.00'	84°04'49"
EC44	S46°39'29"E	42.43'	47.12'	30.00'	90°00'00"
EC45	S42°35'14"W	41.86'	46.33'	30.00'	88°29'25"
EC46	N43°20'31"E	42.43'	47.12'	30.00'	90°00'00"
EC47	N46°39'29"W	42.43'	47.12'	30.00'	90°00'00"
EC48	S43°20'31"W	42.43'	47.12'	30.00'	90°00'00"
EC49	S46°39'29"E	42.43'	47.12'	30.00'	90°00'00"
EC50	N46°39'29"W	93.34'	103.67'	66.00'	90°00'00"
EC51	N46°39'29"W	42.43'	47.12'	30.00'	90°00'00"
EC52	N43°20'31"E	42.43'	47.12'	30.00'	90°00'00"
EC53	N43°20'31"E	93.34'	103.67'	66.00'	90°00'00"
EC54	N46°39'29"W	93.34'	103.67'	66.00'	90°00'00"
EC55	N46°39'29"W	42.43'	47.12'	30.00'	90°00'00"
EC56	N43°20'31"E	42.43'	47.12'	30.00'	90°00'00"
EC57	S65°38'58"E	87.70'	90.79'	100.00'	52°01'02"
EC58	S65°38'58"E	75.42'	78.08'	86.00'	52°01'02"
EC59	S47°20'33"E	41.92'	46.41'	30.00'	88°37'51"
EC60	S6°54'05"E	194.05'	194.20'	1436.00'	7°44'55"

Curve Table					
Curve #	Chord Bearing	Chord Distance	Arc Length	Radius	Delta
EC61	S1°40'31"E	439.07'	440.92'	1388.00'	18°12'03"
EC62	S47°53'01"W	38.93'	42.37'	30.00'	80°55'00"
EC63	S43°20'31"W	79.20'	87.96'	56.00'	90°00'00"
EC64	S43°20'31"W	42.43'	47.12'	30.00'	90°00'00"
EC65	N46°39'29"W	42.43'	47.12'	30.00'	90°00'00"
EC66	S43°20'31"W	42.43'	47.12'	30.00'	90°00'00"
EC67	N46°39'29"W	42.43'	47.12'	30.00'	90°00'00"
EC68	N43°20'31"E	42.43'	47.12'	30.00'	89°59'59"
EC69	S46°39'29"E	42.43'	47.12'	30.00'	90°00'00"

**LOCATION MAP
NOT TO SCALE**



OWNER:
Rockwall ISD
801 East Washington St.
Rockwall Texas, 75087
(469) 698-7031
Contact: William Salee

ENGINEER:
Glenn Engineering Corp.
105 Decker Court, Suite 910
Irving, Texas 75062
TBPE FIRM NO. F-303
(972) 989-2174 Cell
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Contact: Robert Howman

LEGEND

DEED RECORDS, ROCKWALL COUNTY, TEXAS
OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS
PLAT RECORDS ROCKWALL COUNTY, TEXAS

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IRON ROD FOUND
CAPPED IRON ROD FOUND AS NOTED
1/2" CAPPED IRON ROD STAMPED "BOWMAN PROP COR"
MAG NAIL FOUND
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POINT OF BEGINNING

PROPOSED ROW LINE -----

EXISTING LOT LINE -----

PROPOSED CENTERLINE -----

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PROPOSED EASEMENT
LINE AS NOTED -----

PROPOSED FIRE LANE
EASEMENT -----

PREVIOUS TRACT LINE -----

BOUNDARY LINE -----

SURVEYOR:
Bowman Consulting Group, Ltd.
1200 West Magnolia Blvd., Suite 300
Fort Worth, TX 76104

FINAL PLAT

**ROCKWALL - CCA
ADDITION**

LOT 1R & LOT 2, BLOCK A

BEING 110.38 ACRES
SITUATED WITHIN THE
W.H. BAIRD SURVEY, ABSTRACT NUMBER 25
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
Case No: P2022-029

Bowman

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Phone: (214) 484-8886
www.bowman.com

Bowman Job No.: 210146 Drawn By: RAH Sheet: 4 of 5

PLAT PERIMETER LEGAL DESCRIPTION

STATE OF TEXAS §
COUNTY OF ROCKWALL §

WHEREAS, Rockwall Independent School District being the owner of a 110.38 acre tract of land situated within the W.H. Baird Survey, Abstract No. 25, City of Rockwall, Rockwall County, Texas, and being a portion of a called 173.00 acre tract of land as described in the deed to Rockwall Independent School District recorded under Document No. 2010-00443616 of the Official Public Records of Rockwall County, Texas (hereafter referred to as the ISD Tract), and being all of Lot 1, Block A of the plat titled "Rockwall - CCA Addition" recorded under Document No. 2017000023961 of said Official Public Records. Said 110.38 acre tract of land being more particularly describes by metes and bounds as follows:

BEGINNING at a 1/2-inch capped iron rod stamped "RPLS 5034" found at the southwest corner of said Lot 1, being on the east right of way line of S. John King Boulevard, a 110-foot right of way, as described in the deed to the City of Rockwall recorded under Document No. 2008-00398862 of said Official Public Records;

THENCE the following three (3) calls coincident with the east right of way line of said S. John King Boulevard:
1. NORTH 01 degree 27 minutes 12 seconds WEST, 1584.55 feet to a 1/2-inch capped iron rod stamped "BOWMAN PROP COR" set (hereafter referred to as CIRS) at the beginning of a tangent curve;
2. northerly, coincident with said tangent curve, concave to the east, having a radius of 895.00 feet and a chord bearing and distance of NORTH 13 degrees 14 minutes 55 seconds EAST, 454.28 feet, an arc length of 459.30 feet to a CIRS at the beginning of a non-tangent curve;
3. northerly, coincident with said non-tangent curve, concave to the west, having a radius of 1005.00 feet and a chord bearing and distance of NORTH 25 degrees 48 minutes 24 seconds EAST, 75.25 feet, an arc length of 75.26 feet to a CIRS at the northwest corner of said Lot 1;

THENCE NORTH 88 degrees 23 minutes 11 seconds EAST, 1986.62 feet with the north line of said Lot 1 and the north line of said ISD Tract to a CIRS;

THENCE the following five (5) calls through the interior of said ISD Tract:
1. SOUTH 01 degree 39 minutes 38 seconds EAST, 217.73 feet to a tangent curve;
2. southerly, coincident with said tangent curve, concave to the EAST, having a radius of 953.48 feet and a chord bearing and distance of SOUTH 13 degrees 50 minutes 10 seconds EAST, 402.19 feet, an arc length of 405.23 feet to the point of reverse curve;
3. southerly, coincident with said reverse curve, concave to the west, having a radius of 2246.52 feet and a chord bearing and distance of SOUTH 08 degrees 29 minutes 30 seconds EAST, 1352.57 feet, an arc length of 1373.88 feet to the point of reverse curve;
4. southerly, coincident with said reverse curve, concave to the east, having a radius of 453.48 feet and a chord bearing and distance of SOUTH 03 degrees 41 minutes 02 seconds WEST, 84.48 feet, an arc length of 84.60 feet;
5. SOUTH 01 degree 39 minutes 38 seconds EAST, 52.52 feet to a CIRS set on the south line of said called 173.00 acre tract of land;

THENCE SOUTH 88 degrees 22 minutes 58 seconds WEST, 2381.77 feet with the south line of said ISD Tract to the POINT OF BEGINNING containing 110.38 acres.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS

COUNTY OF ROCKWALL

I (we) the undersigned owner(s) of the land shown on this plat, and designated herein as the **ROCKWALL - CCA ADDITION, LOT 1R & LOT 2, BLOCK A**, a subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I (we) further certify that all other parties who have a mortgage or lien interest in the **ROCKWALL - CCA ADDITION, LOT 1R & LOT 2, BLOCK A** subdivision have been notified and signed this plat. I (we) understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I (we) also understand the following;

- No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
- Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
- The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
- The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
- The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
- No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or
Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or
Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.
- Property owner shall be responsible for maintaining, repairing, and replacing all systems in the detention and drainage easements.

I (we) further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I (we), my (our) successors and assigns hereby waive any claim, damage, or cause of action that I (we) may have as a result of the dedication of exactions made herein.

Rockwall Independent School District

Rockwall Independent School District - Dr. John Villarreal
Superintendent

STATE OF TEXAS COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared Dr. John Villarreal known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, **2022**.

Notary Public in and for the State of Texas My Commission Expires

PLAT NOTES:

- The Basis of Bearings for this plat is GRID NORTH as established by GPS observation utilizing the Texas Coordinate System of 1983, North Central Zone. To obtain a grid distance, multiply the ground distance by 0.999853886.
- NOTICE: Selling a portion of this addition by metes and bounds is a violation of City ordinance and state law and is subject to fines and withholding of utilities and building permits.
- All corners are 1/2" iron rods set with a plastic cap stamped "BOWMAN PROP COR" unless otherwise noted.
- Lot, block and ROW corners will be set after substantial completion of the infrastructure.

GENERAL NOTES:

- It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83 54.
- Site is zoned Planned Development 95 (PD-95) District for Neighborhood Services (NS) District land uses

CERTIFICATE OF SURVEYOR

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

I, THE UNDERSIGNED, A LSL & REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECT AND WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND.

Preliminary, this document shall not be recorded for any purpose and shall not be used or relied upon as a final survey document. Released to the City for review. 2022-10

ROBERT A. HANSEN
LSL & REGISTERED PROFESSIONAL
LAND SURVEYOR, NO. 6439
RHANSEN@BOWMAN.COM
DATE:

**STATE OF TEXAS
COUNTY OF
ROCKWALL**

Before me, the undersigned authority, on this day personally appeared Robert A. Hansen known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, **2022**.

Notary Public in and for the State of Texas My Commission Expires

RECOMMENDED FOR FINAL APPROVAL:

Planning & Zoning Commission, Chairman Date

APPROVED:
I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _____, **2022**.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this _____ day of _____, **2022**.

Mayor, City of Rockwall City Secretary City Engineer

OWNER:
Rockwall ISD
801 East Washington St.
Rockwall Texas, 75087
(469) 698-7031
Contact: William Salee

ENGINEER:
Glenn Engineering Corp.
105 Decker Court, Suite 910
Irving, Texas 75062
TBPE FIRM NO. F-303
(972) 989-2174 Cell
(972) 717-5151 Office
Contact: Robert Howman

SURVEYOR:
Bowman Consulting Group, Ltd.
1200 West Magnolia Blvd., Suite 300
Fort Worth, TX 76104

FINAL PLAT

**ROCKWALL - CCA
ADDITION**

LOT 1R & LOT 2, BLOCK A

BEING 110.38 ACRES
SITUATED WITHIN THE
W.H. BAIRD SURVEY , ABSTRACT NUMBER 25
CITY OF ROCKWALL , ROCKWALL COUNTY, TEXAS
Case No: P2022-029

Bowman

© 2021 Bowman Consulting Group, Ltd.
1200 West Magnolia Blvd., Suite 300 Phone: (214) 484-8866
Fort Worth, TX 76104 www.bowman.com
TBPELS #10120600

Bowman Job No.: 210146 Drawn By: RAH Sheet: 5 of 5



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: December 27, 2022
APPLICANT: Daniel Stewart; DEC
CASE NUMBER: P2022-060; *Replat for Lots 4 & 5, Block B, Town Place Marriott Addition*

SUMMARY

Consider a request by Daniel Stewart of DEC on behalf of Randall Noe for the approval of a Replat for Lots 4 & 5, Block B, Town Place Marriott Addition being a 4.333-acre parcel of land identified as Lot 3, Block B, Town Place Marriott Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, located at the northeast corner of the intersection of the IH-30 Frontage Road and Greencrest Boulevard, and take any action necessary

PLAT INFORMATION

- The applicant is requesting the approval of a Replat for a 4.33-acre parcel of land (*i.e. Lot 3, Block B, Town Place Marriott Addition*) for the purpose of creating two (2) parcels of land (*i.e. Lots 4 & 5, Block B, Town Place Marriott Addition*) and establishing the fire lanes and utility easements necessary to develop a *general retail store* on the subject property.
- On September 5, 1960, the subject property was annexed by *Ordinance No. 60-02 [Case No. A1960-002]*. According to the City's *Historic Zoning Maps*, between annexation and January 3, 1972 the subject property was rezoned from an Agricultural (AG) District to a Commercial (C) District. On August 31, 2022, the Planning and Zoning Commission approved a Site Plan [*Case No. SP2022-039*] for an 11, 896 SF *general retail store* to be built on the subject property.
- The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional approval of this Replat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the Replat for *Lots 4 & 5, Block B, Town Place Marriott Addition* staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat; and,
- (2) Any construction resulting from the approval of this Replat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 12/16/2022

PROJECT NUMBER: P2022-060
PROJECT NAME: Final Plat for Lots 4 & 5, Block B. Towne Place Marriot Addition
SITE ADDRESS/LOCATIONS: 904 E INTERSTATE 30

CASE MANAGER: Bethany Ross
CASE MANAGER PHONE: (972) 772-6488
CASE MANAGER EMAIL: bross@rockwall.com

CASE CAPTION: Discuss and consider a request by Daniel Stewart of DEC on behalf of Randall Noe for the approval of a Replat for Lots 4 & 5, Block B, Town Place Marriott Addition being a 4.333-acre parcel of land identified as Lot 3, Block B, Town Place Marriott Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, located at the northeast corner of the intersection of the IH-30 Frontage Road and Greencrest Boulevard, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Bethany Ross	12/16/2022	Approved w/ Comments

12/16/2022: P2022-060: Replat for Lots 4 & 5, Block B, Town Place Marriott Addition
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request by Daniel Stewart of DEC on behalf of Randall Noe for the approval of a Replat for Lots 4 & 5, Block B, Town Place Marriott Addition being a 4.333-acre parcel of land identified as Lot 3, Block B, Town Place Marriott Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, located at the northeast corner of the intersection of the IH-30 Frontage Road and Greencrest Boulevard, and take any action necessary.

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com.

M.3 For reference, include the case number (P2022-059) in the lower right-hand corner of all pages on future submittals.

M.4 Change lots 3A & 3B, Block B to Lots 4 & 5, Block B.

M.5 Please correct the Title Block to the following:

Final Plat
Town Place Marriot Addition
Lots 4 & 5, Block B
Being a Replat of Lot 3, Block B
4.33 Acres (188,759 SF)
Of Town Place Marriott Addition
Situated within the J.D. McFarland Survey, Abstract No. 145
City of Rockwall, Rockwall County, Texas

I.6 Staff has identified the aforementioned items necessary to continue the submittal process. Please make all revisions and corrections and return to staff as soon as possible for a subsequent review prior to approval.

I.7 The projected meeting dates for this case are as follows:

Planning and Zoning Commission: December 27, 2022

City Council: January 3, 2023

I.8 Please note that once the Replat has been approved by the Planning and Zoning Commission and City Council, the case will be considered to be conditionally approved pending all of staff's comments from all City Departments and any applicable conditions of approval contained in staff's case memo are addressed prior to the subdivision plat being filed.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	12/16/2022	Needs Review

12/16/2022: - 100-year WSEL of detention pond must be called out on plat and FFE based on that elevation.

- Detention and drainage easement may change with approval of engineering plans.

- Spelling error note 7. "of" instead of "off"

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	12/14/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	12/15/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	12/13/2022	Approved w/ Comments

12/13/2022: Address for Lot 3A is 904 E INTERSTATE 30, ROCKWALL, TX 75087

Address for Lot 3B is 906 E INTERSTATE 30, ROCKWALL, TX 75087

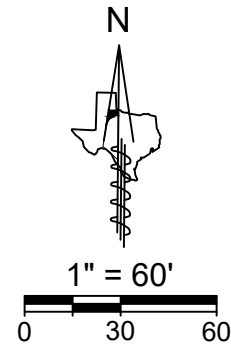
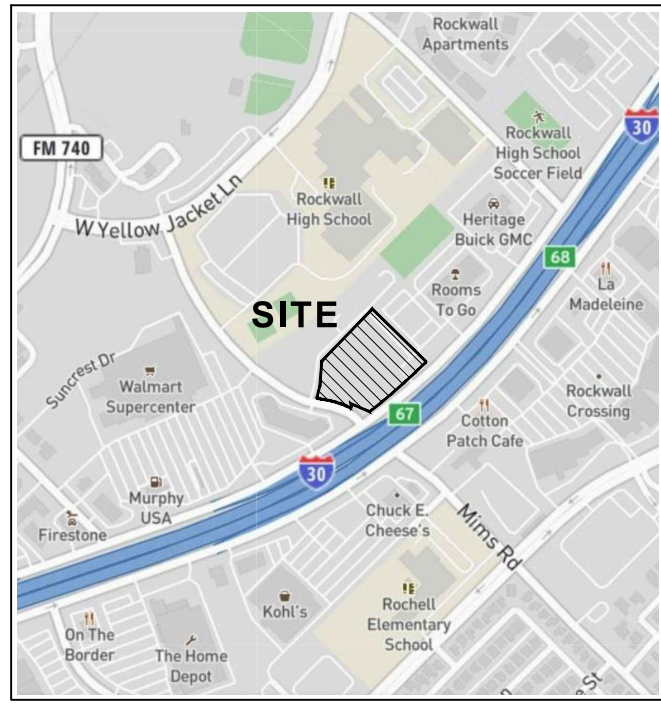
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	12/15/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Bethany Ross	12/16/2022	N/A

No Comments

VICINITY MAP
NOT TO SCALE

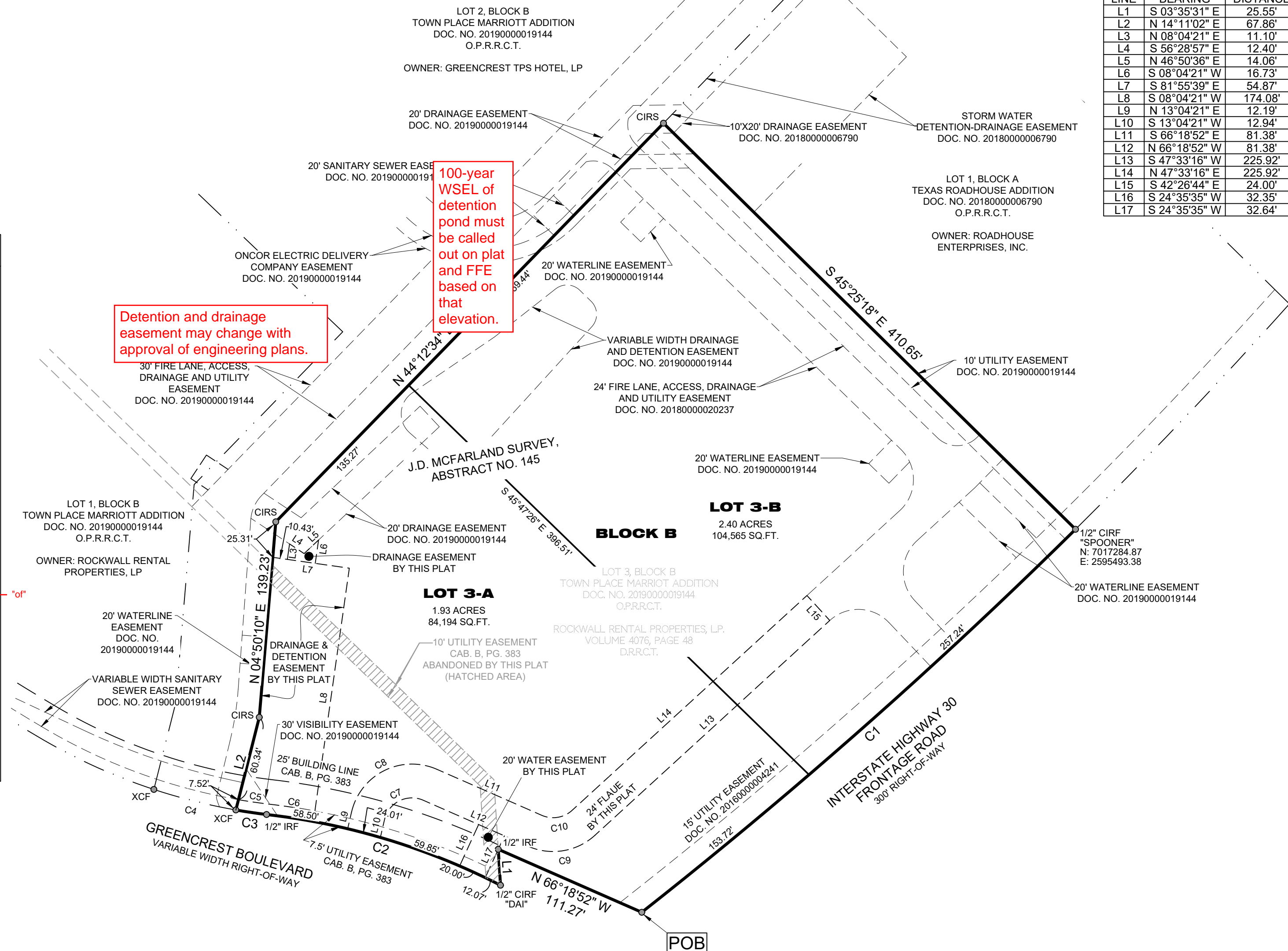


CURVE TABLE					
CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	410.95'	3669.86'	6°24'58"	S 48°33'37" W	410.74'
C2	174.44'	485.00'	20°36'27"	N 73°10'49" W	173.50'
C3	22.04'	415.00'	3°02'37"	N 81°36'37" W	22.04'
C4	60.05'	415.00'	8°17'27"	N 75°56'35" W	60.00'
C5	21.06'	407.50'	2°57'42"	N 81°38'53" W	21.06'
C6	33.81'	492.50'	3°56'00"	N 81°30'52" W	33.80'
C7	35.12'	20.00'	100°36'47"	S 63°22'44" W	30.78'
C8	77.27'	44.00'	100°36'47"	N 63°22'44" E	67.71'
C9	50.79'	44.00'	66°07'52"	S 80°37'12" W	48.01'
C10	23.08'	20.00'	66°07'52"	N 80°37'12" E	21.82'

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S 03°35'31" E	25.55'
L2	N 14°11'02" E	67.86'
L3	N 08°04'21" E	11.10'
L4	S 56°28'57" E	12.40'
L5	N 46°50'36" E	14.06'
L6	S 08°04'21" W	16.73'
L7	S 81°55'39" E	54.87'
L8	S 08°04'21" W	174.08'
L9	N 13°04'21" E	12.19'
L10	S 13°04'21" W	12.94'
L11	S 66°18'52" E	81.38'
L12	N 66°18'52" W	81.38'
L13	S 47°33'16" W	225.92'
L14	N 47°33'16" E	225.92'
L15	S 42°26'44" E	24.00'
L16	S 24°35'35" W	32.35'
L17	S 24°35'35" W	32.64'

GENERAL NOTES

- The purpose of this plat is to create two lots from an existing lot of record and to dedicate easements for site development.
- This property is located in **Non-Shaded Zone "X"** as scaled from the F.E.M.A. Flood Insurance Rate Map dated September 26th, 2008 and is located in Community Number 480547 as shown on Map Number 48397C0040L. The location of the Flood Zone is approximate, no vertical datum was collected at the time of the survey. For the exact Flood Zone designation, please contact 1-(877) FEMA MAP.
- The grid coordinates shown on this plat are based on GPS observations utilizing the AllTerra RTKNET Cooperative network. NAD 83(2011) State Plane Coordinate System (Texas North Central Zone - 4202).
- Selling a portion of this addition by metes and bounds is a violation of City Ordinance and State Law, and is subject to fines and/or withholding of utilities and building permits.
- All interior property corners are marked with a 1/2-inch iron rod with a green plastic cap stamped "EAGLE SURVEYING" unless noted otherwise.
- The bearings shown on this plat are based on GPS observations utilizing the AllTerra RTKNET Cooperative network. NAD 83(2011).
- Property owner is responsible for repair, replacement, and maintenance of all detention and drainage systems in easements on-site.
- It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.



100-year WSEL of detention pond must be called out on plat and FFE based on that elevation.

Detention and drainage easement may change with approval of engineering plans.

LEGEND

- POB = POINT OF BEGINNING
- CIRS = CAPPED IRON ROD SET
- CIRF = CAPPED IRON ROD FOUND
- DOC. NO. = DOCUMENT NUMBER
- D.R.R.C.T. = DEED RECORDS, ROCKWALL COUNTY, TEXAS
- O.P.R.R.C.T. = OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS
- FLAUE = FIRE LANE, ACCESS & UTILITY EASEMENT
- = SUBJECT BOUNDARY
- - - = ADJOINER BOUNDARY
- - - - = EASEMENT

REPLAT
LOT 3-A & 3-B, BLOCK B
TOWN PLACE MARRIOTT
ADDITION
4.33 ACRES (188,759 SF)

BEING A REPLAT OF LOT 3, BLOCK B
OF TOWN PLACE MARRIOTT ADDITION,
RECORDED IN DOCUMENT NUMBER 20190000019144, O.P.R.R.C.T.,
SITUATED IN THE J.D. MCFARLAND SURVEY, ABSTRACT NO. 145
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

Project	2206.067-03		EAGLE SURVEYING, LLC	222 S. Elm Street, Suite: 200 Denton, TX 76201 (940) 222-3009 TX Firm #10194177
Date	12/12/2022		SURVEYOR	Eagle Surveying, LLC Contact: Brad Eubanks 222 S. Elm Street, Suite: 200 Denton, TX 76201 (940) 222-3009
Drafter	EN		ENGINEER	Development Engineering Consultants, LLC Contact: Daniel Stewart, P.E. 5300 Town & Country Boulevard, Suite 150 Frisco, TX 75034 (469) 850-0060

OWNER
Rockwall Rental Properties, L.P.
P.O. BOX B
Terrell, TX 75160



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	940 E. INTERSTATE 30			
SUBDIVISION	TOWN PLACE MARRIOT ADDITION	LOT	3	BLOCK B
GENERAL LOCATION	NWC IH-30 & GREENCREST BLVD.			

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	COMMERCIAL	CURRENT USE	UNDEVELOPED		
PROPOSED ZONING	COMMERCIAL	PROPOSED USE	COMMERCIAL		
ACREAGE	4.33 (1.933 AC)	LOTS [CURRENT]	1	LOTS [PROPOSED]	2

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	Randall Noe	<input type="checkbox"/> APPLICANT	DEC
CONTACT PERSON	Randall Noe	CONTACT PERSON	DANIEL STEWART
ADDRESS	PO BOX 818	ADDRESS	5300 TOWN & COUNTRY BLVD. SUITE 150
CITY, STATE & ZIP	Rockwall Tx 75087	CITY, STATE & ZIP	FRISCO, TX 75034
PHONE		PHONE	469-850-0060
E-MAIL	Randall@randallnoe.com	E-MAIL	DSTEWART@DEC-EN.COM

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE _____ DAY OF _____, 20____.

OWNER'S SIGNATURE

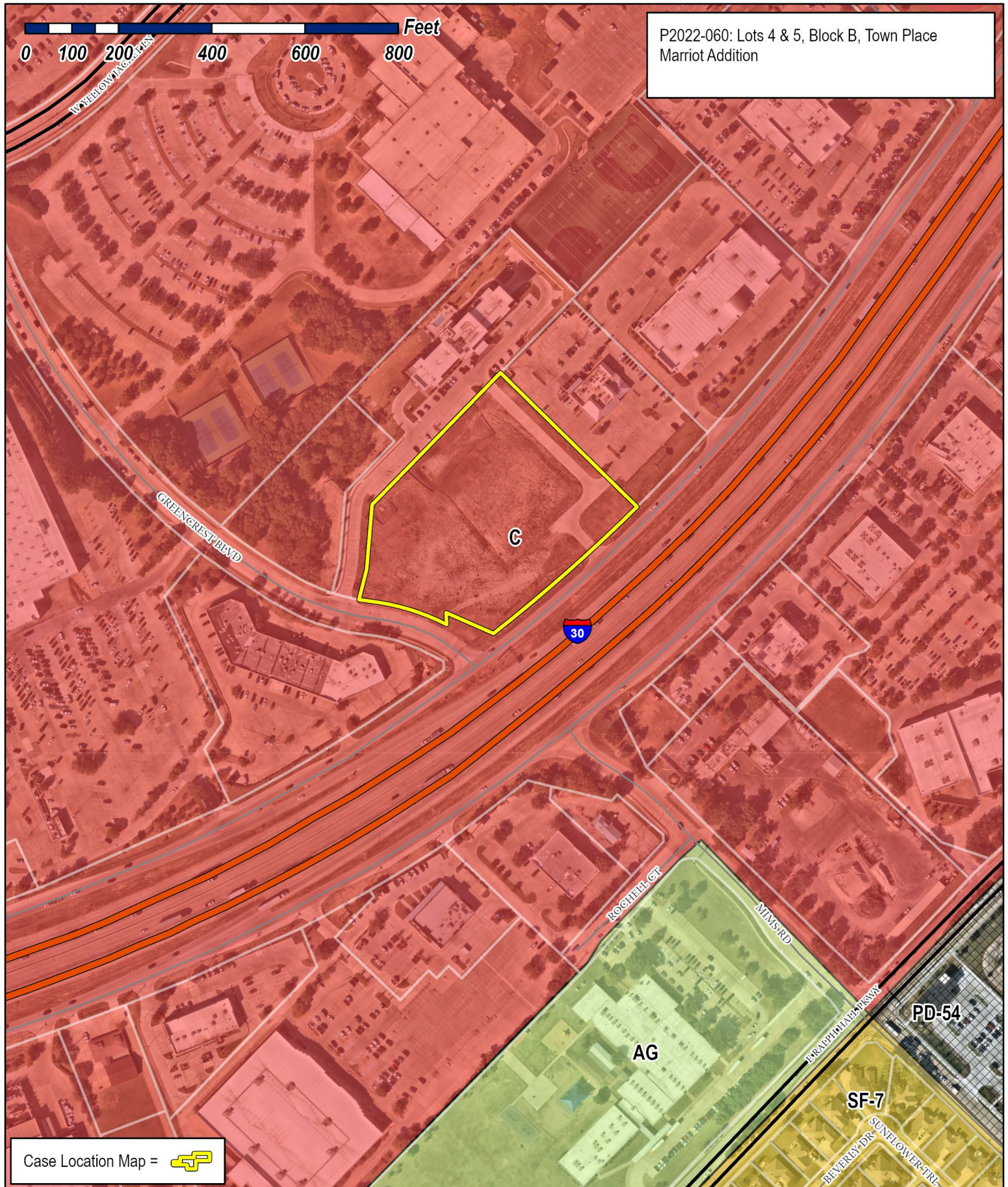
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES



P2022-060: Lots 4 & 5, Block B, Town Place Marriot Addition



Case Location Map =



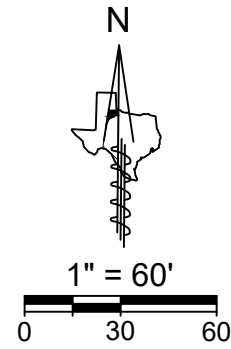
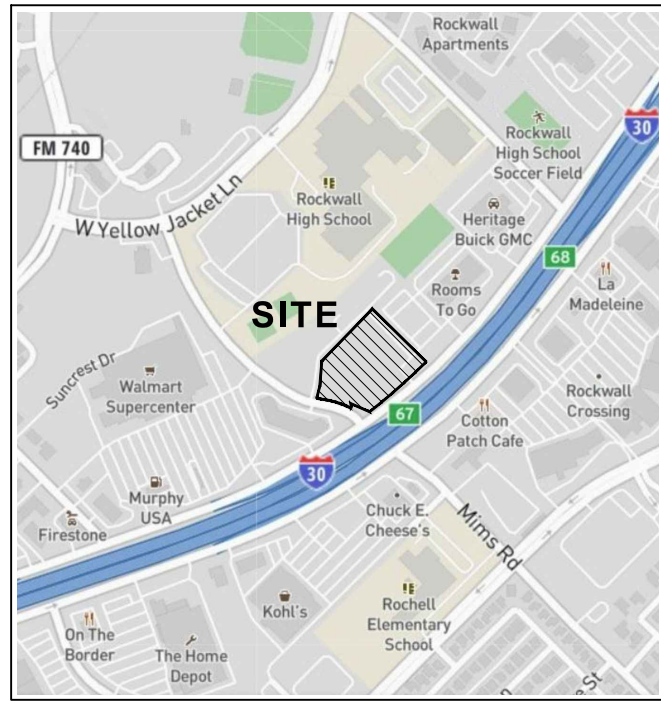
City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



VICINITY MAP
NOT TO SCALE

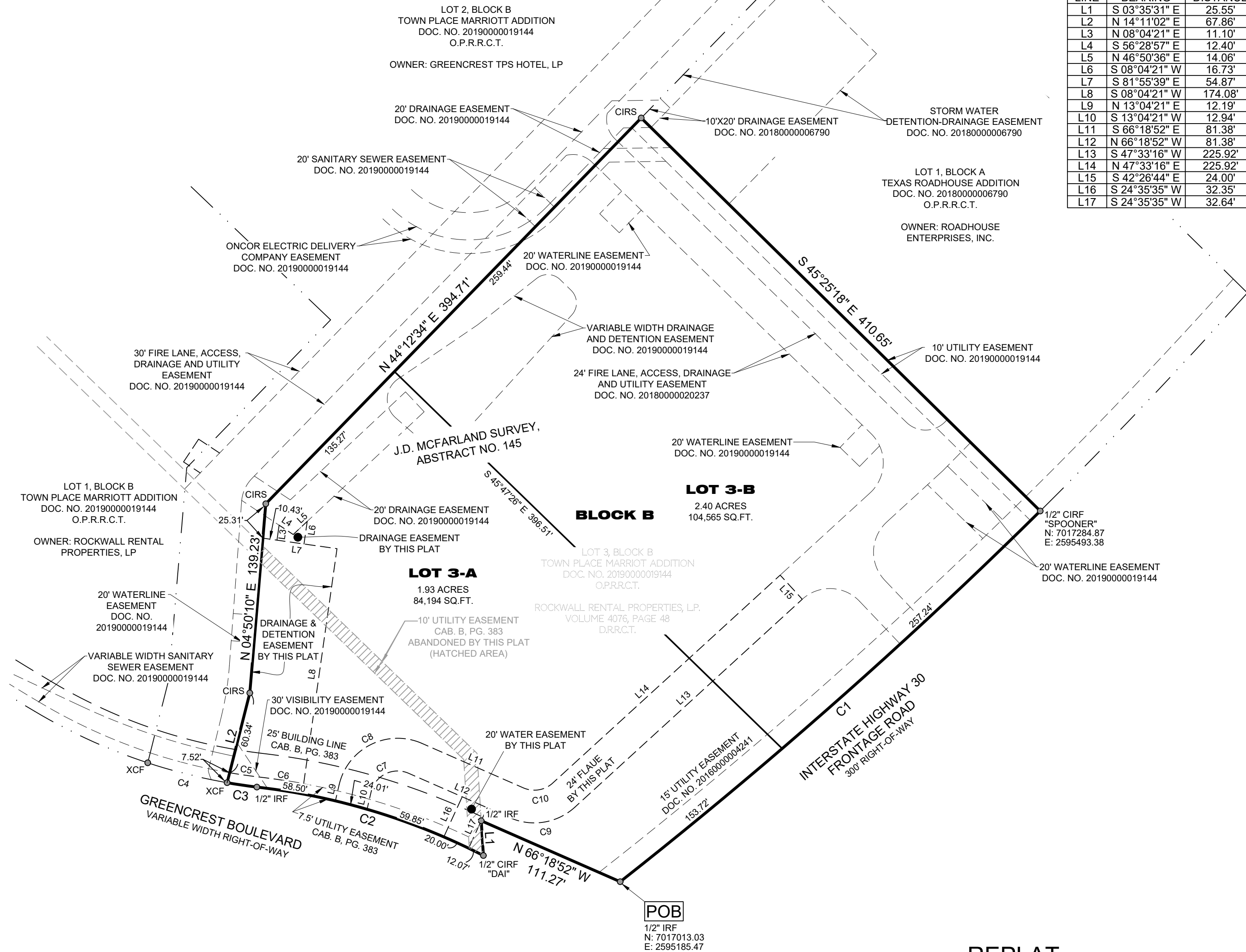


CURVE TABLE					
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C8	77.27'	44.00'	100°36'47"	N 63°22'44" E	67.71'
C9	50.79'	44.00'	66°07'52"	S 80°37'12" W	48.01'
C10	23.08'	20.00'	66°07'52"	N 80°37'12" E	21.82'

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S 03°35'31" E	25.55'
L2	N 14°11'02" E	67.86'
L3	N 08°04'21" E	11.10'
L4	S 56°28'57" E	12.40'
L5	N 46°50'36" E	14.06'
L6	S 08°04'21" W	16.73'
L7	S 81°55'39" E	54.87'
L8	S 08°04'21" W	174.08'
L9	N 13°04'21" E	12.19'
L10	S 13°04'21" W	12.94'
L11	S 66°18'52" E	81.38'
L12	N 66°18'52" W	81.38'
L13	S 47°33'16" W	225.92'
L14	N 47°33'16" E	225.92'
L15	S 42°26'44" E	24.00'
L16	S 24°35'35" W	32.35'
L17	S 24°35'35" W	32.64'

GENERAL NOTES

- The purpose of this plat is to create two lots from an existing lot of record and to dedicate easements for site development.
- This property is located in **Non-Shaded Zone "X"** as scaled from the F.E.M.A. Flood Insurance Rate Map dated September 26th, 2008 and is located in Community Number 480547 as shown on Map Number 48397C0040L. The location of the Flood Zone is approximate, no vertical datum was collected at the time of the survey. For the exact Flood Zone designation, please contact 1-(877) FEMA MAP.
- The grid coordinates shown on this plat are based on GPS observations utilizing the AllTerra RTKNET Cooperative network. NAD 83(2011) State Plane Coordinate System (Texas North Central Zone - 4202).
- Selling a portion of this addition by metes and bounds is a violation of City Ordinance and State Law, and is subject to fines and/or withholding of utilities and building permits.
- All interior property corners are marked with a 1/2-inch iron rod with a green plastic cap stamped "EAGLE SURVEYING" unless noted otherwise.
- The bearings shown on this plat are based on GPS observations utilizing the AllTerra RTKNET Cooperative network. NAD 83(2011).
- Property owner is responsible for repair, replacement, and maintenance of all detention and drainage systems in easements on-site.
- It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.



LEGEND

- POB = POINT OF BEGINNING
- CIRS = CAPPED IRON ROD SET
- CIRF = CAPPED IRON ROD FOUND
- DOC. NO. = DOCUMENT NUMBER
- D.R.R.C.T. = DEED RECORDS, ROCKWALL COUNTY, TEXAS
- O.P.R.R.C.T. = OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS
- FLAUE = FIRE LANE, ACCESS & UTILITY EASEMENT
- = SUBJECT BOUNDARY
- - - = ADJOINER BOUNDARY
- - - - = EASEMENT

REPLAT
LOT 3-A & 3-B, BLOCK B
TOWN PLACE MARRIOTT
ADDITION
4.33 ACRES (188,759 SF)

BEING A REPLAT OF LOT 3, BLOCK B
OF TOWN PLACE MARRIOTT ADDITION,
RECORDED IN DOCUMENT NUMBER 20190000019144, O.P.R.R.C.T.,
SITUATED IN THE J.D. MCFARLAND SURVEY, ABSTRACT NO. 145
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

Project 2206.067-03	 <p>EAGLE SURVEYING, LLC 222 S. Elm Street, Suite: 200 Denton, TX 76201 (940) 222-3009 TX Firm #10194177</p>
Date 12/12/2022	
Drafter EN	

<p>SURVEYOR Eagle Surveying, LLC Contact: Brad Eubanks 222 S. Elm Street, Suite: 200 Denton, TX 76201 (940) 222-3009</p>	<p>ENGINEER Development Engineering Consultants, LLC Contact: Daniel Stewart, P.E. 5300 Town & Country Boulevard, Suite 150 Frisco, TX 75034 (469) 850-0060</p>
---	--

OWNER
Rockwall Rental Properties, L.P.
P.O. BOX B
Terrell, TX 75160

OWNER'S CERTIFICATE & DEDICATION

STATE OF TEXAS §
 COUNTY OF ROCKWALL §

WHEREAS ROCKWALL RENTAL PROPERTIES, L.P. is the sole owner of a 4.33 acre tract of land situated in the J.D. MCFARLAND SURVEY, ABSTRACT NO. 145, in the City of Rockwall, Rockwall County, Texas, and being all of Lot 3, Block B of Town Place Marriott Addition, a subdivision of record in Document Number 20190000019144, of the Official Public Records of Rockwall County, Texas, conveyed to Rockwall Rental Properties, L.P. by Warranty recorded in Volume 4076, Page 48, of the Deed Records of Rockwall County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING, at a 1/2" iron rod found at the intersection of the northeast right-of-way line of Greencrest Boulevard and the northwest right-of-way line of Interstate Highway 30 (300' right-of-way), being the southeast corner of said Lot 3;

THENCE, along the northeast right-of-way line of said Greencrest Boulevard, being the common southwest line of said Lot 3, the following four (4) bearings and distances:

- N66°18'52"W, a distance of 111.27 feet to a 1/2" iron rod found;
- S03°35'31"E, a distance of 25.55 feet to a 1/2" iron rod with yellow plastic cap stamped "DAI" found at the beginning of a non-tangent curve to the left;
- In a northwesterly direction, along said non-tangent curve to the left, having a radius of 485.00 feet, a chord bearing of N73°10'49"W, a chord length of 173.50 feet, a delta angle of 20°36'27", an arc length of 174.44 feet to a 1/2" iron rod found at the end of said non-tangent curve to the left and the beginning of a reverse curve to the right;
- In a northwesterly direction, along said reverse curve to the right, having a radius of 415.00 feet, a chord bearing of N81°36'37"W, a chord length of 22.04 feet, a delta angle of 03°02'37", an arc length of 22.04 feet to an X-cut in concrete found at the end of said reverse curve to the right, being a southerly corner of Lot 2, Block B of said Town Place Marriott Addition, and the southwest corner of said Lot 3;

THENCE, along the southeast line of said Lot 2, being the common northwest line of said Lot 3, the following three (3) bearings and distances:

- N14°11'02"E, a distance of 67.86 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" set;
- N04°50'10"E, a distance of 139.23 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" set;
- N44°12'34"E, a distance of 394.71 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" set at the west corner of Lot 1, Block A of Texas Roadhouse Addition, a subdivision of record in Document Number 20180000006790, of the Official Public Records of Rockwall County, Texas and the north corner of said Lot 3;

THENCE, S45°25'18"E, along the southwest line of said Lot 1, being the common northeast line of said Lot 3, a distance of 410.65 feet to a 1/2" iron rod with orange plastic cap stamped "SPOONER" found in the northwest right-of-way line of said Interstate Highway 30, being the south corner of said Lot 1 and the east corner of said Lot 3, at the beginning of a non-tangent curve to the right;

THENCE, in a southwesterly direction and along said non-tangent curve to the right, having a radius of 3669.86 feet, a chord bearing of S48°33'37"W, a chord length of 410.74 feet, a delta angle of 06°24'58", an arc length of 410.95 feet to the **POINT OF BEGINNING**, containing 4.33 acres or 188,759 square feet, more or less;

NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT, **ROCKWALL RENTAL PROPERTIES, L.P.**, the undersigned owner of the land shown on this plat, and designated herein as **TOWN PLACE MARRIOTT ADDITION**, a subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in the **TOWN PLACE MARRIOTT ADDITION**, subdivision have been notified and signed this plat. I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I also understand the following;

- No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
- Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
- The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
- The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
- The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
- No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I, my successors and assigns hereby waive any claim, damage, or cause of action that we may have as a result of the dedication of exactions made herein.

OWNER: ROCKWALL RENTAL PROPERTIES, L.P.

BY: _____
 Signature Date

BY: _____
 Printed Name & Title

STATE OF TEXAS §
 COUNTY OF _____ §

BEFORE ME, the undersigned authority, on this day personally appeared _____, _____ of ROCKWALL RENTAL PROPERTIES, L.P., known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that she executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF THE OFFICE this _____ day of _____, 2022.

 Notary Public in and for the State of Texas

CERTIFICATE OF SURVEYOR

NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, **MATTHEW RAABE**, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

PRELIMINARY
 this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document
 Matthew Raabe _____ Date _____
 Registered Professional Land Surveyor #6402

CERTIFICATE OF APPROVAL

 Chairman Date _____
 Planning & Zoning Commission

APPROVED:

I hereby certify that the above and foregoing plat of **TOWN PLACE MARRIOTT ADDITION**, an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _____, 2022.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, Texas, within one hundred eighty (180) days from the said date of final approval.

WITNESS OUR HANDS, this _____ day of _____, 2022.

 Mayor, City of Rockwall City Secretary, City of Rockwall

 City Engineer

**REPLAT
 LOT 3-A & 3-B, BLOCK B
 TOWN PLACE MARRIOTT
 ADDITION
 4.33 ACRES (188,759 SF)**

BEING A REPLAT OF LOT 3, BLOCK B
 OF TOWN PLACE MARRIOTT ADDITION,
 RECORDED IN DOCUMENT NUMBER 20190000019144, O.P.R.C.T.,
 SITUATED IN THE J.D. MCFARLAND SURVEY, ABSTRACT NO. 145
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

CASE NO.
 P _____
 PAGE 2 OF 2

Project	2206.067-03	 EAGLE SURVEYING, LLC 222 S. Elm Street, Suite: 200 Denton, TX 76201 (940) 222-3009 TX Firm #10194177
Date	12/12/2022	
Drafter	EN	

<p>SURVEYOR Eagle Surveying, LLC Contact: Brad Eubanks 222 S. Elm Street, Suite: 200 Denton, TX 76201 (940) 222-3009</p>	<p>ENGINEER Development Engineering Consultants, LLC Contact: Daniel Stewart, P.E. 5300 Town & Country Boulevard, Suite 150 Frisco, TX 75034 (469) 850-0060</p>
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OWNER
 Rockwall Rental Properties, L.P.
 P.O. BOX B
 Terrell, TX 75160

Lot Report
2022

Mon Dec 12 13:01:59

Lot File: Z:\OFFICE\PROJECTS\2022\2206- June 2022\2206.067 E I30 AND
GREENCREST BLVD\LOT\2206.067.lot
CRD File: Z:\OFFICE\COORD\2206.067.CRD

Lot: OVERALL BOUN, Block: B, Type: LOT

PNT#	Bearing	Distance	Northing	Easting	Station
111			7017013.03	2595185.47	0.00
	N 66°18'52" W	111.27			
106			7017057.73	2595083.57	111.27
	S 03°35'31" E	25.55			
107			7017032.23	2595085.17	136.82
	Radius: 485.00	Length: 174.44	Chord: 173.50	Delta: 20°36'27"	
	Chord BRG: N 73°10'49" W	Rad-In: S 27°07'24" W	Rad-Out: S 06°30'58" W		
	Radius Pt: R2 7016600.56,2594864.06	Tangent: 88.17	Dir: Left		
	Tangent-In: N 62°52'36" W	Tangent-Out: N 83°29'02" W	Non Tangential-In		
	Non Tangential-Out				
110			7017082.43	2594919.10	311.26
	Radius: 415.00	Length: 22.04	Chord: 22.04	Delta: 3°02'37"	
	Chord BRG: N 81°36'37" W	Rad-In: N 06°52'04" E	Rad-Out: N 09°54'41" E		
	Radius Pt: R3 7017494.45,2594968.72	Tangent: 11.03	Dir: Right		
	Tangent-In: N 83°07'56" W	Tangent-Out: N 80°05'19" W	Non Tangential-In		
	Non Tangential-Out				
109			7017085.65	2594897.29	333.30
	N 14°11'02" E	67.86			
S1			7017151.43	2594913.92	401.16
	N 04°50'10" E	139.23			
S2			7017290.17	2594925.66	540.39
	N 44°12'34" E	394.71			
S3			7017573.10	2595200.88	935.10
	S 45°25'18" E	410.65			
105			7017284.87	2595493.38	1345.75
	Radius: 3669.86	Length: 410.95	Chord: 410.74	Delta: 6°24'58"	
	Chord BRG: S 48°33'37" W	Rad-In: N 44°38'52" W	Rad-Out: N 38°13'54" W		
	Radius Pt: R1 7019895.75,2592914.40	Tangent: 205.69	Dir: Right		
	Tangent-In: S 45°21'08" W	Tangent-Out: S 51°46'06" W	Non Tangential-In		
	Non Tangential-Out				
111			7017013.03	2595185.47	1756.71
	Closure Error Distance>	0.0033	Error Bearing>	S 56°34'19" W	
	Closure Precision>	1 in 525962.8	Total Distance>	1756.71	
	Area: 188759 Sq. Feet,	4.3333	Acres		

Block B Total Area: 188759 Sq. Feet, 4.3333 Acres



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
FROM: Bethany Ross, *Planner*
DATE: December 27, 2022
SUBJECT: SP2022-062; *Amended Site Plan for Advantage Storage*

The applicant, Bob Pruet of Urban Structure, is requesting the approval of an Amended Site Plan to update the building elevations for a previously approved *Mini-Warehouse Facility* [Case No. SP2022-044]. The subject property is a 7.154-acre parcel of land (i.e. *Tract 3 of the J. M. Allen Survey, Abstract No. 2*), zoned Planned Development 10 (PD-10) District for Commercial (C) District land uses, and situated within the SH-205 Overlay (SH-205 OV) District and the SH-276 Overlay (SH-276 OV) District. The subject property is generally located at the southeast corner of the intersection of John King Boulevard and Discovery Boulevard. On September 13, 2022, the Planning and Zoning Commission approved a site plan [Case No. SP2022-044] allowing the construction of a *Mini-Warehouse Facility* (i.e. *Advantage Storage*) on the subject property. According to the applicant, the approved building elevations reflected the wrong material percentages, which prompted the applicant to resubmit the proposed revised building elevations. The proposed building elevations submitted by the applicant indicate the following updates to the material percentages: [1] a decreased use of stone on the west elevation (i.e. from 40% to 39%), and south elevation (i.e. from 27% to 20%) of *Building A* [2] a decreased use of brick on the north elevation (i.e. from 67% to 42%) and east elevation (i.e. from 71% to 63%) of *Building A* [3] a decreased use of stone on the north elevation (i.e. from 44% to 13%), and south elevation (i.e. from 39% to 18%) of *Building B*, [4] a decreased use of brick on the north elevation (i.e. from 87% to 53%) and east elevation (i.e. from 99% to 81%) of *Building B*, [5] a decreased use of stone on the north elevation (i.e. from 5% to 1%) and west elevation (i.e. from 3% to 0%), of *Building C* [6] a decreased use of brick on the south elevation (i.e. from 93% to 88%) of *Building C*, [7] a decreased use of stone on the south elevation (i.e. from 54% to 50%) of *Building D*, and [8] a decreased use of brick on the north elevation (i.e. from 97% to 70%), south elevation (i.e. from 44% to 41%), and east elevation (i.e. from 79% to 74%) of *Building D*.

The decreased use of stone and brick bring the proposed building further out of compliance with the *Materials and Masonry Composition* requirements stipulated by the *General Overlay District Standards* and increase the variances already approved for the building. According to Subsection 06.02(C)(1), Article 05, of the *General Overlay District Development Standards* of the Unified Development Code (UDC), "(e)ach exterior wall of a building's façade shall consist of a minimum of 90% *Primary Materials* and/or a maximum of 10% *Secondary Materials* -- excluding doors and windows." In this case, the applicant is requesting less than 90% *Primary Materials* and more than 10% *Secondary Materials*. That being said, a variance to the *Masonry and Materials Composition* requirements was approved as part of the previous site plan (Case No. SP2022-044), and if the proposed amended site plan is approved the variance would be amended for the new material percentages. The Architectural Review Board (ARB) will review the elevations at the December 27, 2022 Architecture Review Board meeting and be asked to provide a recommendation to the Planning and Zoning Commission. Should the Planning and Zoning Commission have any questions concerning the applicant's request, staff and the applicant will be available at the December 27, 2022 Planning and Zoning Commission meeting.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	N/A		
SUBDIVISION	N/A	LOT	BLOCK
GENERAL LOCATION	NE Quadrant of John King Blvd & US Hwy 276		

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	PD-10 & John King/US 276 overlays	CURRENT USE	Vacant	
PROPOSED ZONING	No change	PROPOSED USE	Self-Storage	
ACREAGE	3.682	LOTS [CURRENT]	0	LOTS [PROPOSED]
				1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> OWNER	The Cambridge Companies, Inc.	<input checked="" type="checkbox"/> APPLICANT	BACA
CONTACT PERSON	James J. Melino	CONTACT PERSON	David Baca
ADDRESS	8750 N Central Expy, Ste. 1735	ADDRESS	100 N. Travis St, No. 500
CITY, STATE & ZIP	Dallas, TX 75231	CITY, STATE & ZIP	Sherman, Texas 75090
PHONE	972.832.8933	PHONE	903.893.5800
E-MAIL	rjones@advantagestorage.net	E-MAIL	david@baca.team

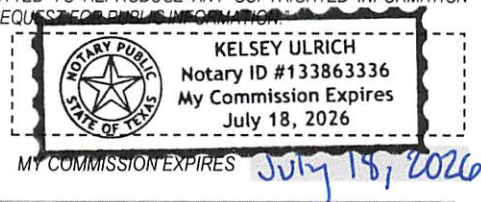
NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED JAMES J. MELINO [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

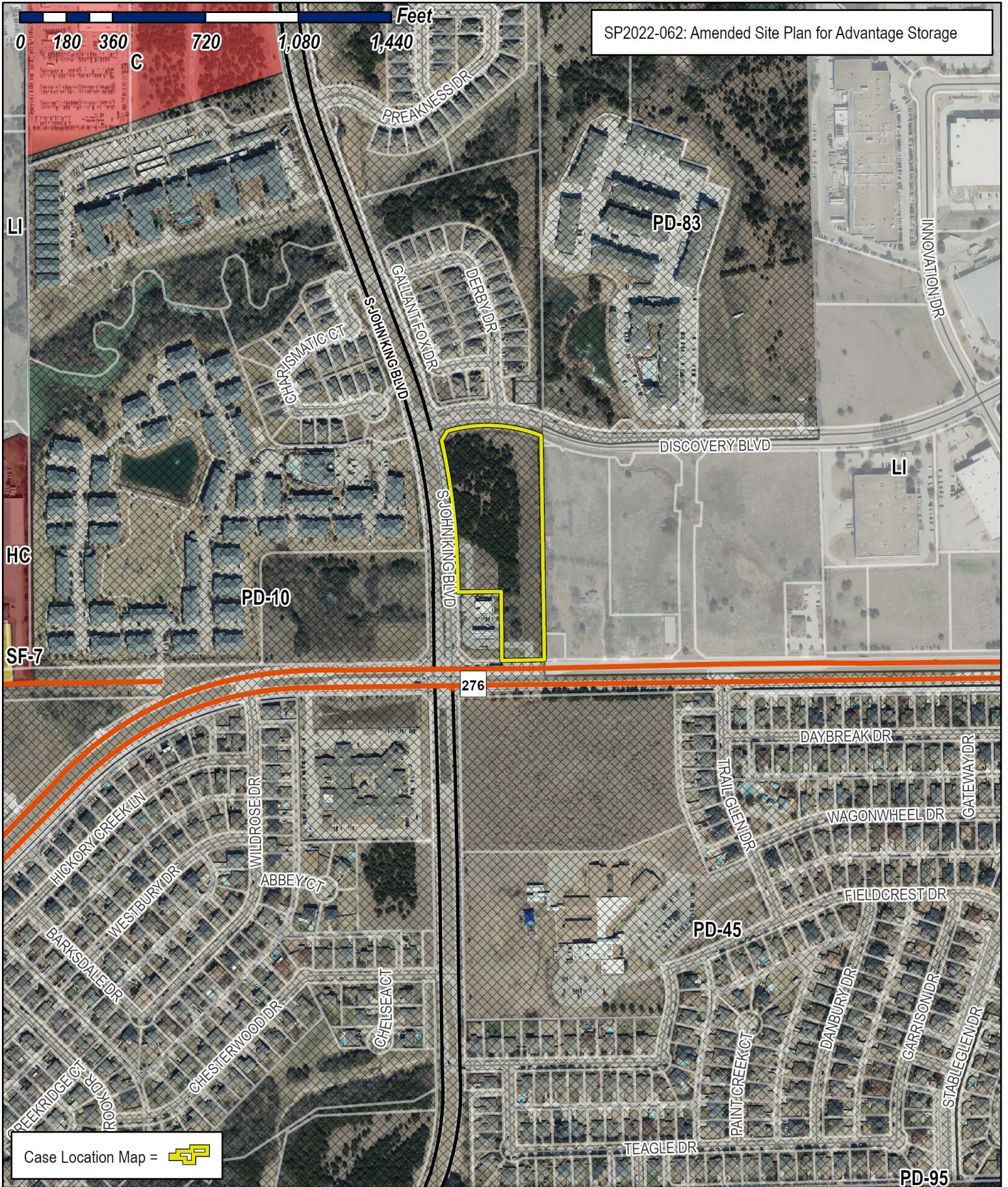
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 12th DAY OF DECEMBER, 2022.
OWNER'S SIGNATURE Dr. James Melino, President

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Kelsey Ulrich



0 180 360 720 1,080 1,440 Feet



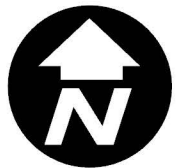
Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



APPLICANT INFORMATION
 APPLICANT: BACA ARCHITECTURE
 CONTACT PERSON: DAVID BACA
 ADDRESS: 100 N. TRAVIS ST. SUITE 500
 SHERMAN, TX, 75090
 EMAIL: DAVID@BACA.TEAM
 PHONE: 903.893.5800

OWNER INFORMATION
 OWNER: CAMBRIDGE PROPERTIES INC.
 CONTACT PERSON: GARRETT POINDEXTER
 ADDRESS: 8750 N. CENTRAL EXP., SUITE 1735
 DALLAS, TEXAS 75231
 EMAIL: RJONES@ADVANTAGESTORAGE.NET
 PHONE: 972.832.8933

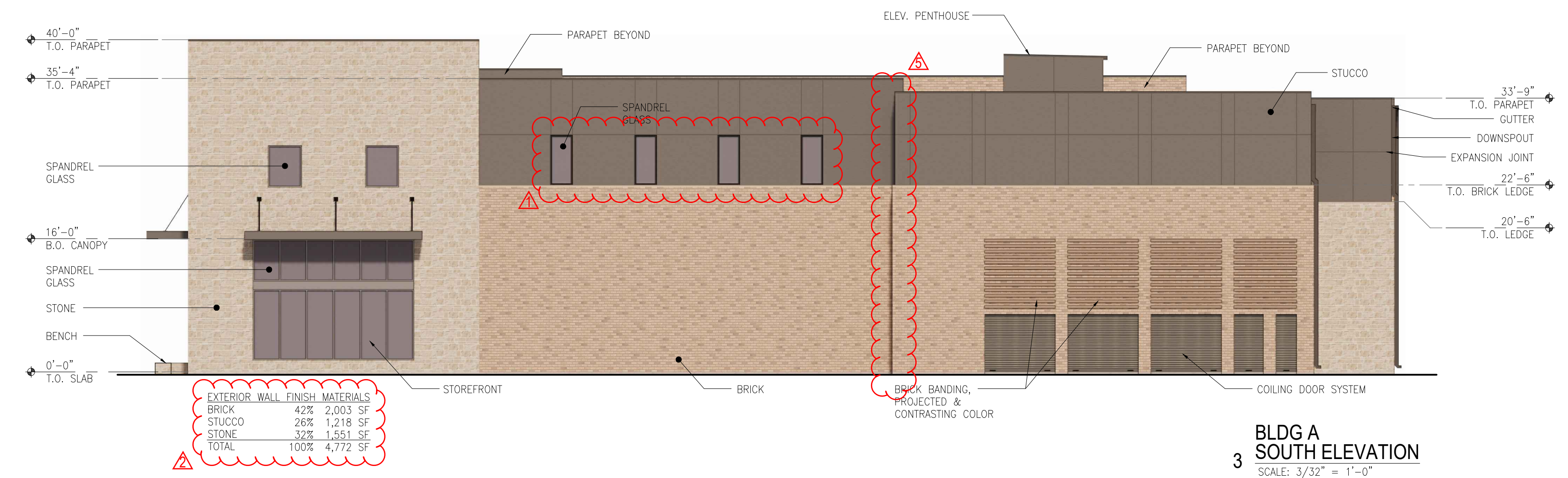
PROJECT INFORMATION
 NAME: ADVANTAGE STORAGE
 ADDRESS: 1701 STATE HIGHWAY 276
 ROCKWALL, TEXAS 75032
 CASE #:



EXTERIOR WALL FINISH MATERIALS	
BRICK	28% 1,710 SF
STUCCO	33% 1,963 SF
STONE	39% 2,380 SF
TOTAL	100% 6,053 SF

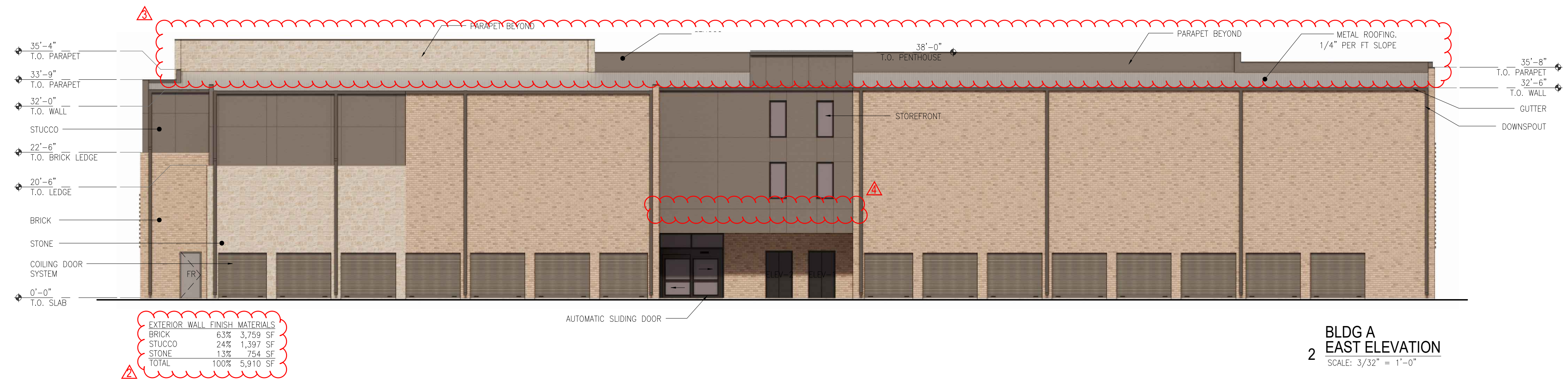
BUILDING TOTALS	
BRICK	49% 10,327 SF
STUCCO	25% 5,249 SF
STONE	26% 5,547 SF
TOTAL	100% 21,123 SF

BLDG A WEST ELEVATION
 4
 SCALE: 3/32" = 1'-0"



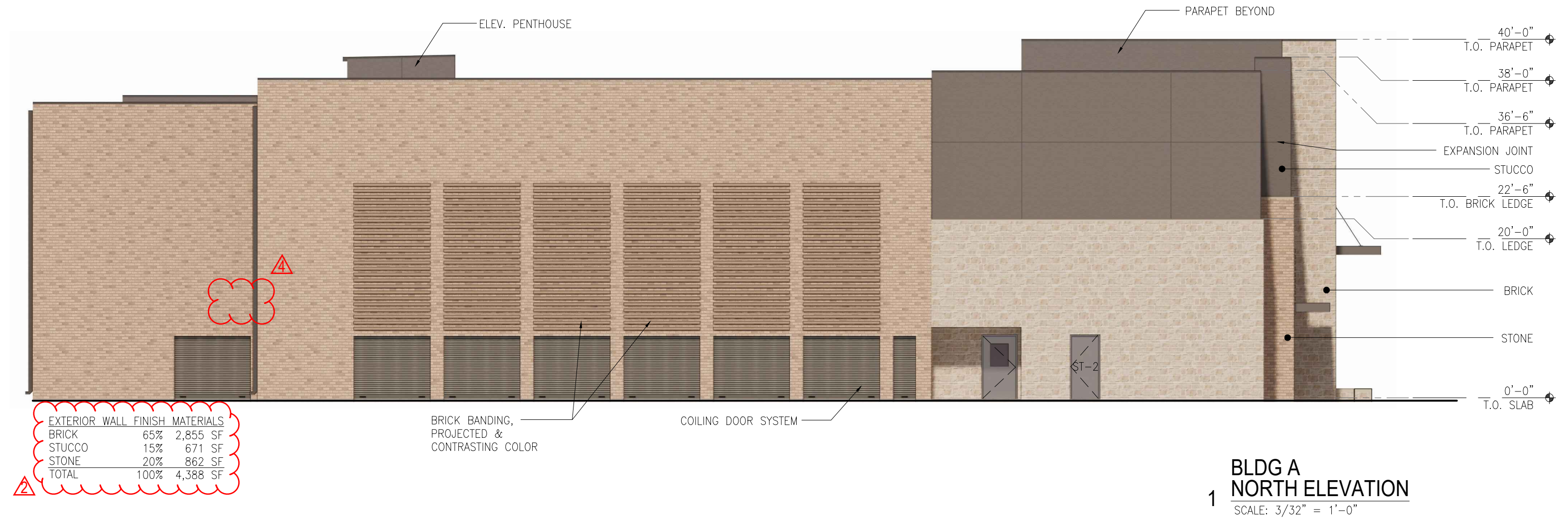
EXTERIOR WALL FINISH MATERIALS	
BRICK	42% 2,003 SF
STUCCO	26% 1,218 SF
STONE	32% 1,561 SF
TOTAL	100% 4,772 SF

BLDG A SOUTH ELEVATION
 3
 SCALE: 3/32" = 1'-0"



EXTERIOR WALL FINISH MATERIALS	
BRICK	63% 3,759 SF
STUCCO	24% 1,397 SF
STONE	13% 754 SF
TOTAL	100% 5,910 SF

BLDG A EAST ELEVATION
 2
 SCALE: 3/32" = 1'-0"



EXTERIOR WALL FINISH MATERIALS	
BRICK	65% 2,855 SF
STUCCO	15% 671 SF
STONE	20% 862 SF
TOTAL	100% 4,388 SF

BLDG A NORTH ELEVATION
 1
 SCALE: 3/32" = 1'-0"

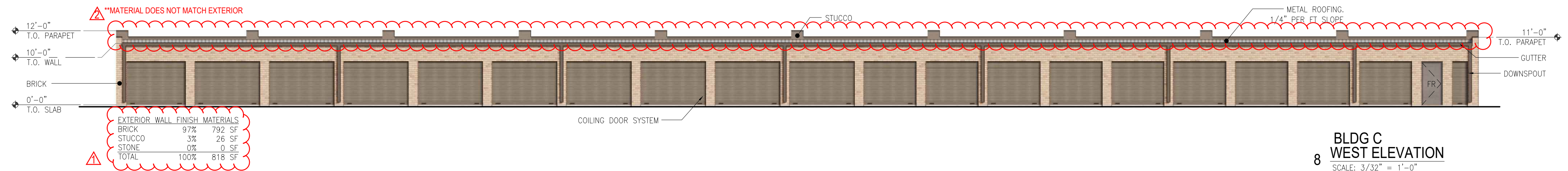
NO.	DESCRIPTION	DATE
1	ADJUSTED WINDOW LOCATIONS	12.12.22
2	REVISED MATERIAL PERCENTAGES	12.12.22
3	CHANGED PARAPET MAT. TO MATCH EXT.	12.12.22
4	REMOVED AWNING	12.12.22
5	EXTENDED WALL 10'	12.12.22

exterior elevations - bldg a

APPLICANT INFORMATION
 APPLICANT: BACA ARCHITECTURE
 CONTACT PERSON: DAVID BACA
 ADDRESS: 100 N. TRAVIS ST. SUITE 500
 SHERMAN, TX, 75090
 EMAIL: DAVID@BACA.TEAM
 PHONE: 903.893.5800

OWNER INFORMATION
 OWNER: CAMBRIDGE PROPERTIES INC.
 CONTACT PERSON: GARRETT POINDEXTER
 ADDRESS: 8750 N. CENTRAL EXP., SUITE 1735
 DALLAS, TEXAS 75231
 EMAIL: RJONES@ADVANTAGESTORAGE.NET
 PHONE: 972.832.8933

PROJECT INFORMATION
 NAME: ADVANTAGE STORAGE
 ADDRESS: 1701 STATE HIGHWAY 276
 ROCKWALL, TEXAS 75032
 CASE #:



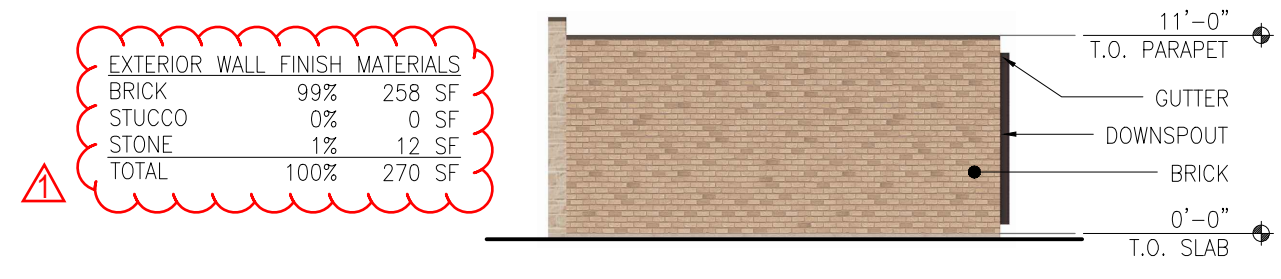
EXTERIOR WALL FINISH MATERIALS

BRICK	97%	792 SF
STUCCO	3%	26 SF
STONE	0%	0 SF
TOTAL	100%	818 SF

BUILDING TOTALS

BRICK	91%	3,325 SF
STUCCO	1%	26 SF
STONE	8%	283 SF
TOTAL	100%	3,634 SF

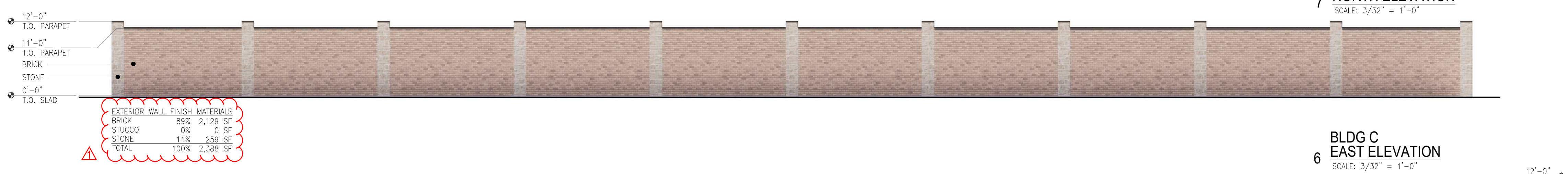
BLDG C WEST ELEVATION
 SCALE: 3/32" = 1'-0"



EXTERIOR WALL FINISH MATERIALS

BRICK	99%	258 SF
STUCCO	0%	0 SF
STONE	1%	12 SF
TOTAL	100%	270 SF

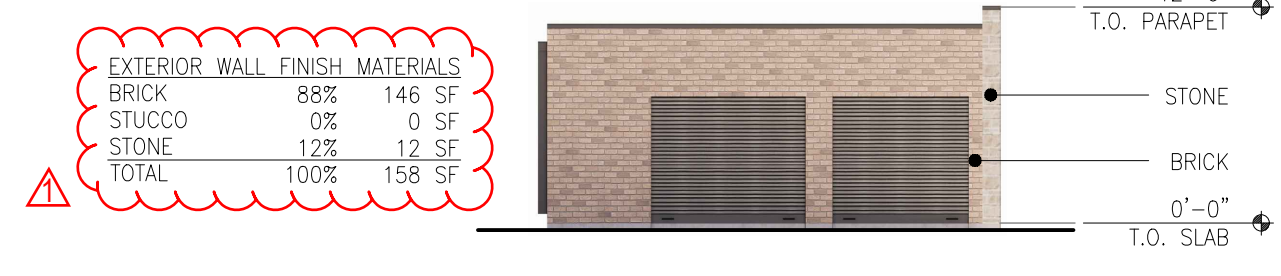
BLDG C NORTH ELEVATION
 SCALE: 3/32" = 1'-0"



EXTERIOR WALL FINISH MATERIALS

BRICK	89%	2,129 SF
STUCCO	0%	0 SF
STONE	11%	259 SF
TOTAL	100%	2,388 SF

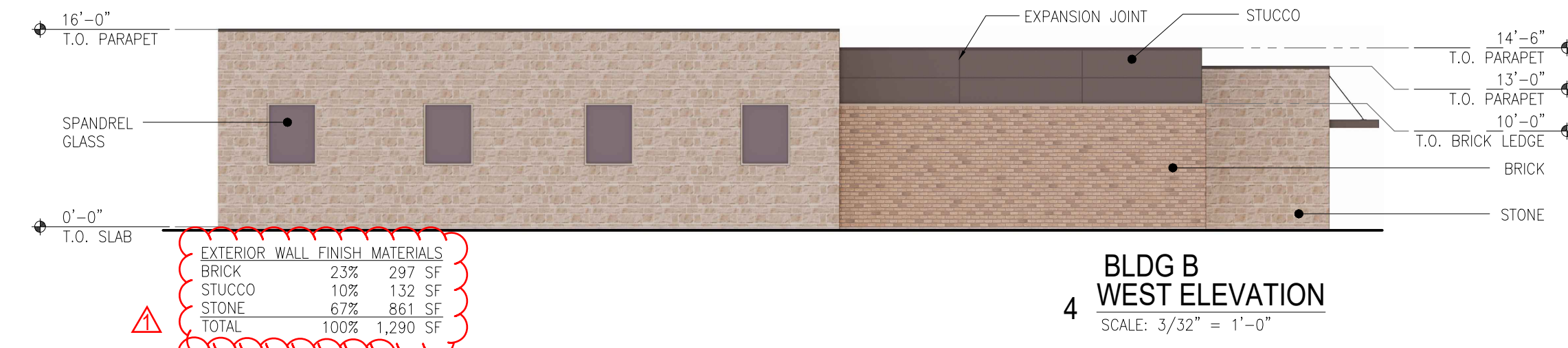
BLDG C EAST ELEVATION
 SCALE: 3/32" = 1'-0"



EXTERIOR WALL FINISH MATERIALS

BRICK	88%	146 SF
STUCCO	0%	0 SF
STONE	12%	12 SF
TOTAL	100%	158 SF

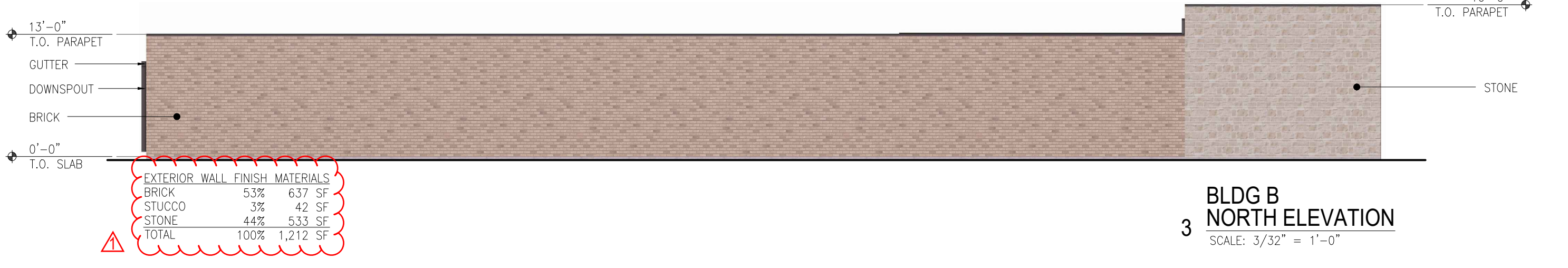
BLDG C SOUTH ELEVATION
 SCALE: 3/32" = 1'-0"



EXTERIOR WALL FINISH MATERIALS

BRICK	23%	297 SF
STUCCO	10%	132 SF
STONE	67%	861 SF
TOTAL	100%	1,290 SF

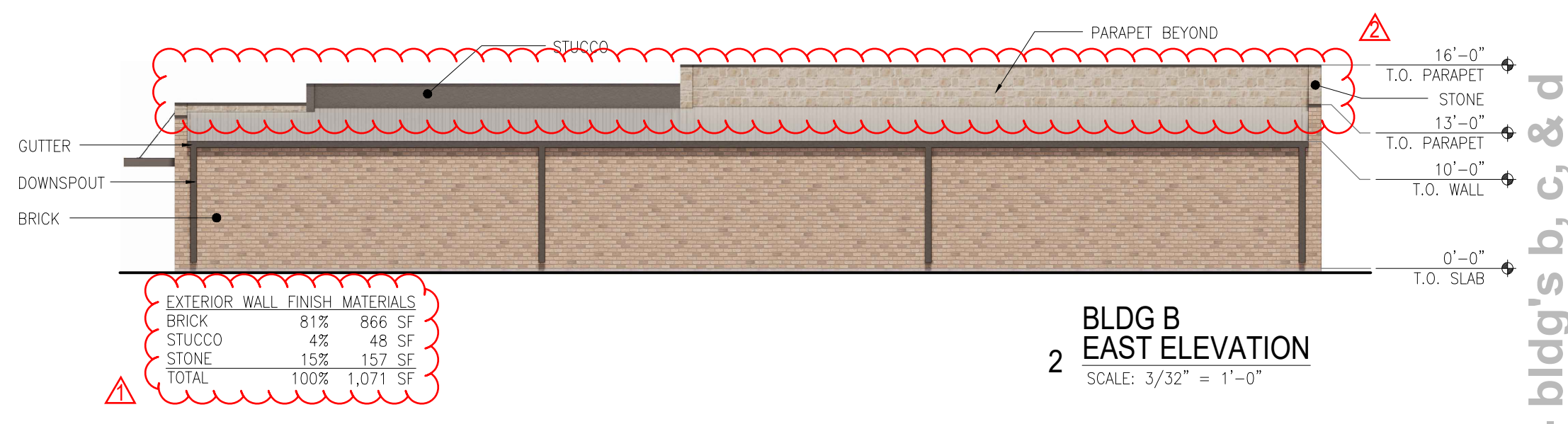
BLDG B WEST ELEVATION
 SCALE: 3/32" = 1'-0"



EXTERIOR WALL FINISH MATERIALS

BRICK	53%	637 SF
STUCCO	3%	42 SF
STONE	44%	533 SF
TOTAL	100%	1,212 SF

BLDG B NORTH ELEVATION
 SCALE: 3/32" = 1'-0"



EXTERIOR WALL FINISH MATERIALS

BRICK	61%	866 SF
STUCCO	4%	48 SF
STONE	15%	157 SF
TOTAL	100%	1,071 SF

BLDG B EAST ELEVATION
 SCALE: 3/32" = 1'-0"



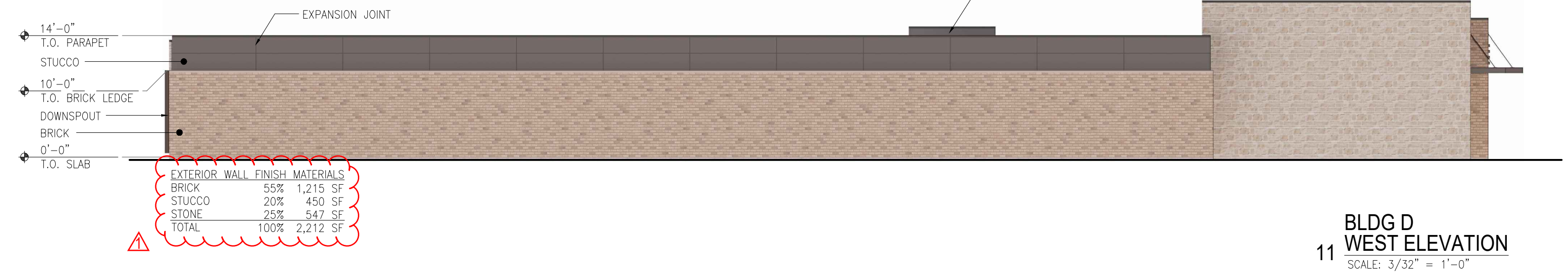
EXTERIOR WALL FINISH MATERIALS

BRICK	49%	549 SF
STUCCO	1%	18 SF
STONE	50%	563 SF
TOTAL	100%	1,130 SF

BUILDING TOTALS

BRICK	62%	3,922 SF
STUCCO	8%	477 SF
STONE	30%	1,906 SF
TOTAL	100%	6,305 SF

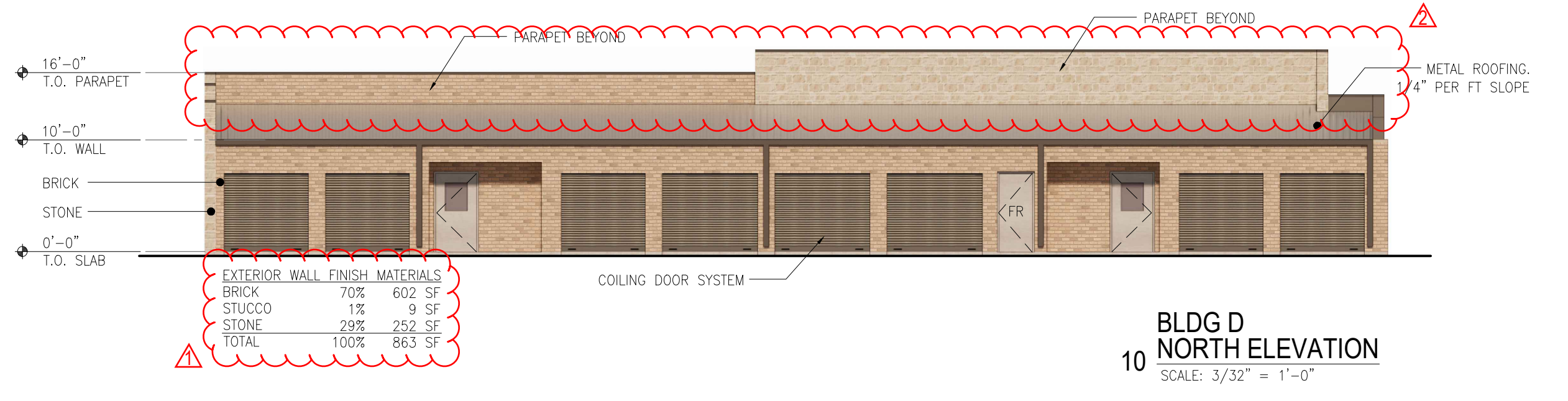
BLDG D SOUTH ELEVATION
 SCALE: 3/32" = 1'-0"



EXTERIOR WALL FINISH MATERIALS

BRICK	55%	1,215 SF
STUCCO	20%	450 SF
STONE	25%	547 SF
TOTAL	100%	2,212 SF

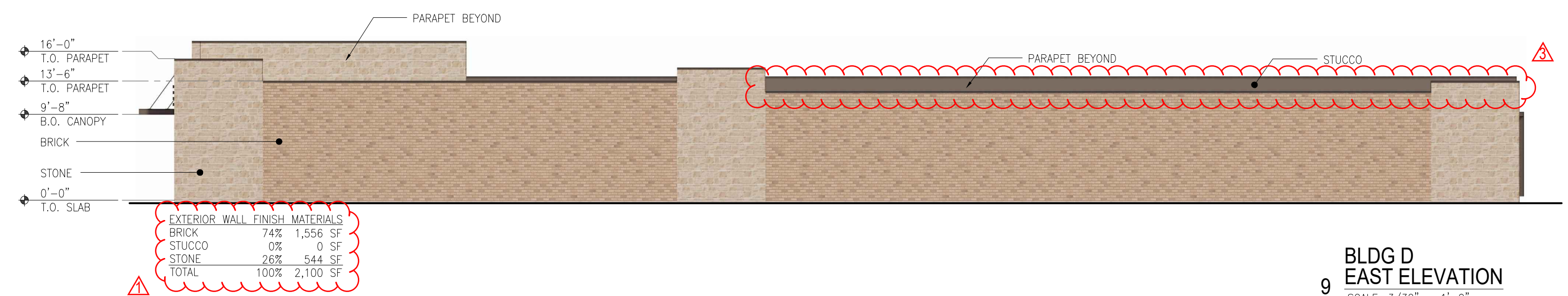
BLDG D WEST ELEVATION
 SCALE: 3/32" = 1'-0"



EXTERIOR WALL FINISH MATERIALS

BRICK	70%	602 SF
STUCCO	1%	9 SF
STONE	29%	252 SF
TOTAL	100%	863 SF

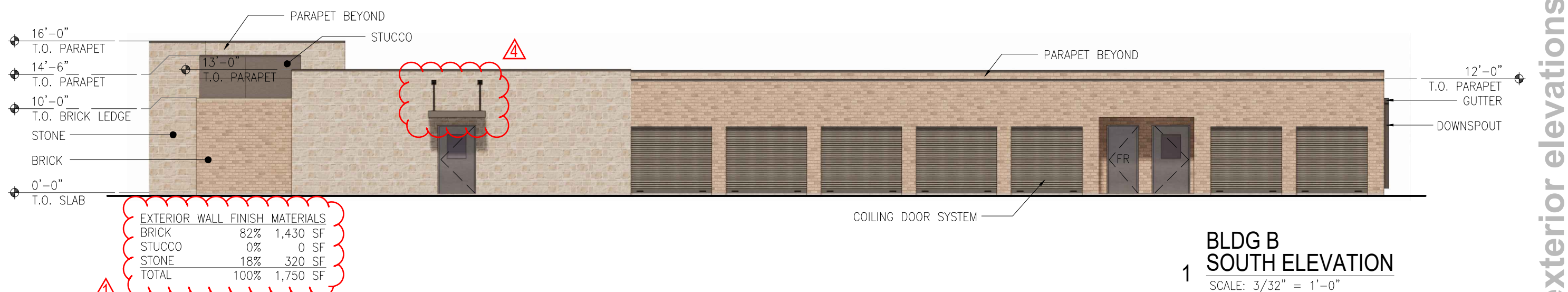
BLDG D NORTH ELEVATION
 SCALE: 3/32" = 1'-0"



EXTERIOR WALL FINISH MATERIALS

BRICK	74%	1,556 SF
STUCCO	0%	0 SF
STONE	26%	544 SF
TOTAL	100%	2,100 SF

BLDG D EAST ELEVATION
 SCALE: 3/32" = 1'-0"



EXTERIOR WALL FINISH MATERIALS

BRICK	82%	1,430 SF
STUCCO	0%	0 SF
STONE	18%	300 SF
TOTAL	100%	1,730 SF

BLDG B SOUTH ELEVATION
 SCALE: 3/32" = 1'-0"

BACA
 100 NORTH TRAVIS STREET
 SUITE NO.500
 SHERMAN, TEXAS 75090
 903.893.5800
 www.BACA.team

SCHEMATIC DESIGN REVIEW
 NOT FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION

NO.	DESCRIPTION	DATE
1	REVISED MATERIAL PERCENTAGES	12.12.22
2	CHANGED PARAPET MAT. TO MATCH EXT.	12.12.22
3	CHANGED PARAPET HEIGHT	12.12.22
4	REDUCED SIZE OF CANOPY	12.12.22

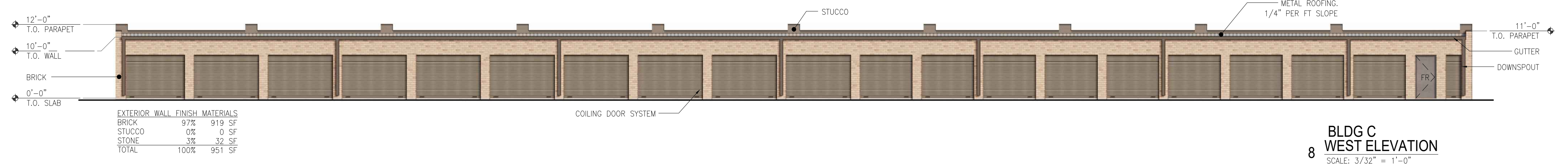
Advantage Storage
 Contact: Advantage Construction - 214.308.5225

1701 State Highway 276
 Rockwall, Texas

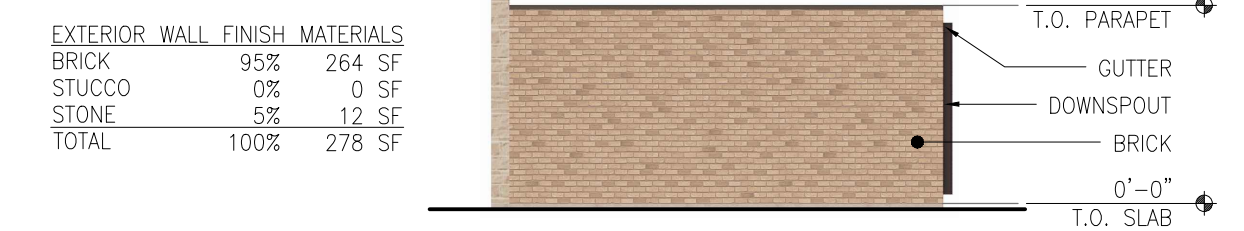
PROJECT NUMBER
2225
 DATE
12.12.22
 SHEET NUMBER
A6.1

exterior elevations - bldg's b, c, & d

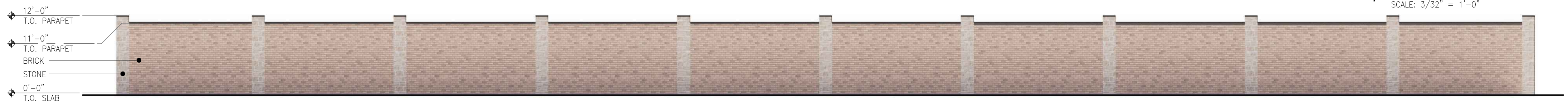
NO.	DESCRIPTION	DATE



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SCALE: 3/32" = 1'-0"



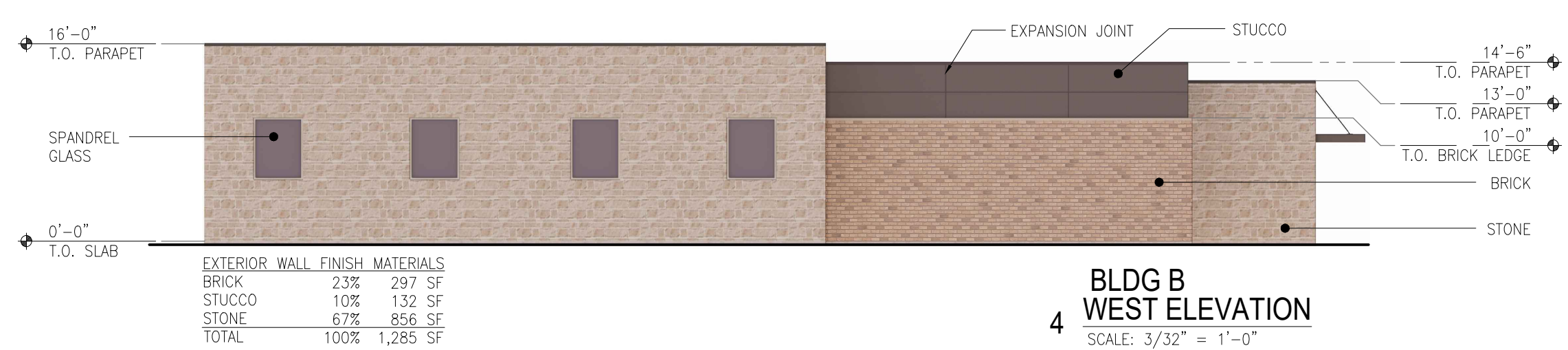
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BLDG C SOUTH ELEVATION
SCALE: 3/32" = 1'-0"

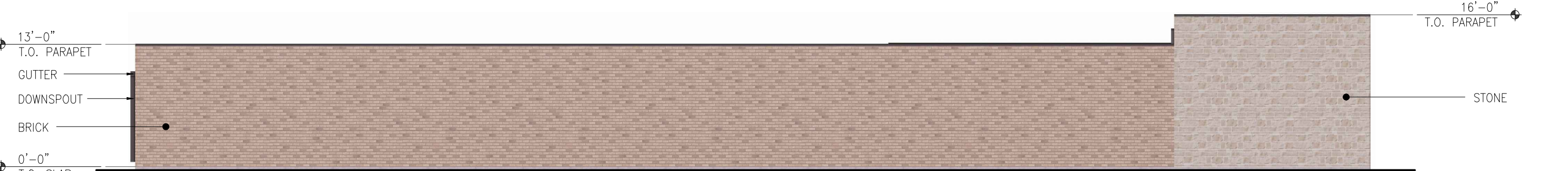


BLDG C EAST ELEVATION
SCALE: 3/32" = 1'-0"



BLDG B WEST ELEVATION
SCALE: 3/32" = 1'-0"

BRICK	64%	3,247 SF
STUCCO	4%	200 SF
STONE	32%	1,638 SF
TOTAL	100%	5,085 SF



BLDG B NORTH ELEVATION
SCALE: 3/32" = 1'-0"



BLDG B EAST ELEVATION
SCALE: 3/32" = 1'-0"

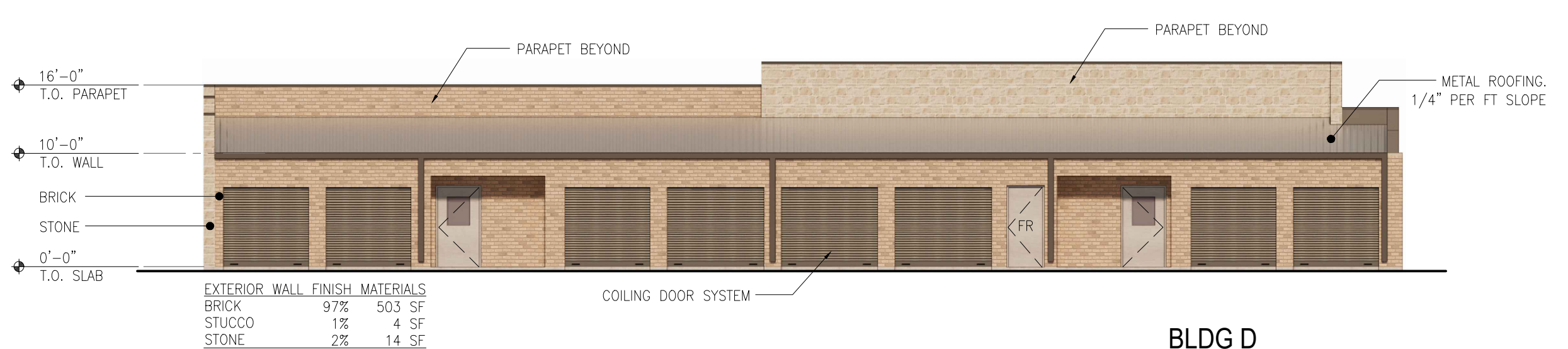


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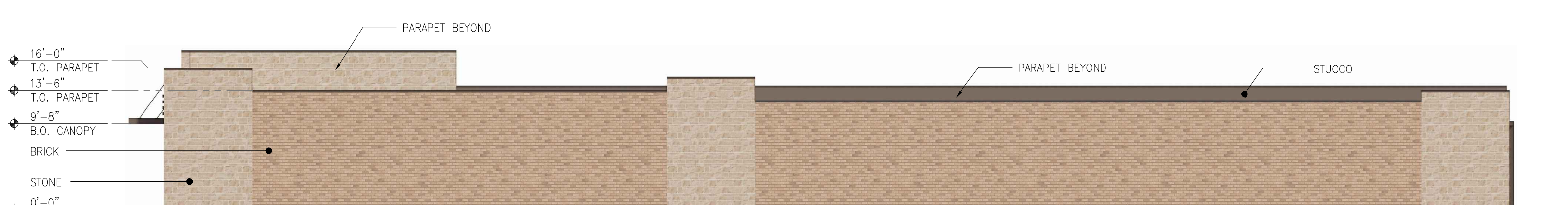
BRICK	65%	3,768 SF
STUCCO	8%	503 SF
STONE	27%	1,509 SF
TOTAL	100%	5,807 SF



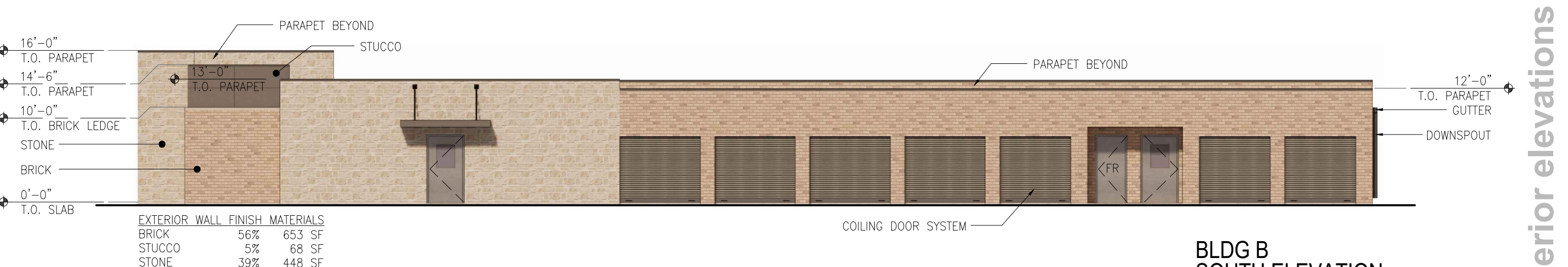
BLDG D WEST ELEVATION
SCALE: 3/32" = 1'-0"



BLDG D NORTH ELEVATION
SCALE: 3/32" = 1'-0"



BLDG D EAST ELEVATION
SCALE: 3/32" = 1'-0"



BLDG B SOUTH ELEVATION
SCALE: 3/32" = 1'-0"

exterior elevations - bldg's b, c, & d

Advantage Storage
Contact: Advantage Construction - 214.308.5225

1701 State Highway 276
Rockwall, Texas

PROJECT NUMBER

2225

DATE

11.14.22

SHEET NUMBER

A6.1

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 12/16/2022

PROJECT NUMBER: Z2022-056
PROJECT NAME: SUP for Detached Garage at 835 Clem Road
SITE ADDRESS/LOCATIONS: 835 CLEM RD

CASE MANAGER: Bethany Ross
CASE MANAGER PHONE: (972) 772-6488
CASE MANAGER EMAIL: bross@rockwall.com

CASE CAPTION: Hold a public hearing to discuss and consider a request by Matthew Benedetto for the approval of a Specific Use Permit (SUP) for a Detached Garage on a three (3) acre parcel of land identified as Lot 19, Block A, Northgate Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 88 (PD-88) for Single-Family 1 (SF-1) District land uses, addressed as 835 Clem Road, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Bethany Ross	12/16/2022	Approved w/ Comments

12/16/2022: Z2022-056; Specific Use Permit (SUP) for a Detached Garage at 835 Clem Road
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 Hold a public hearing to discuss and consider the approval of a Specific Use Permit (SUP) for a Detached Garage on a three (3) acre parcel of land identified as Lot 19, Block A, Northgate Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 88 (PD-88) for Single-Family 1 (SF-1) District land uses, and addressed as 835 Clem Road.

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com.

I.3 According to the Permissible Use Charts contained in Article 04, Permissible Uses, of the Unified Development Code (UDC), a Detached Garage that exceeds 625 SF requires a Specific Use Permit (SUP) in a Single Family 1 (SF-1) District.

I.4 The Conditional Land Use Standards for the Detached Garage are as follows:

(1) Detached Garage:

- (a) One (1) Detached Garage is permitted per property.
- (b) The Detached Garage can be 625 SF.
- (c) The Detached Garage must be accessed by a concrete drive.

I.5 The proposed Detached Garage will be 51-feet by 36-feet and have a building footprint of 2,247 SF, all of which will be enclosed. The maximum allowable square footage for a Detached Garage in a Single-Family 1 (SF-1) District is 625 SF. The proposed Detached Garage exceeds this by 1,622 SF. This will require approval of the City Council pending a recommendation from the Planning and Zoning Commission.

I.6 The height of the proposed accessory structure is 18-feet at the mid-point. The maximum height permitted for accessory structures in a Single-Family 1 (SF-1) District is 15 -feet.

I.7 Based on the submitted materials, staff has included the following Operational Conditions in the Specific Use Permit (SUP) ordinance:

- (1) The development of a Detached Garage on the Subject Property shall generally conform to the Site Plan as depicted in Exhibit 'B' of the Specific Use Permit (SUP) ordinance.
- (2) The construction of a Detached Garage on the Subject Property shall generally conform to the Building Elevations depicted in Exhibit 'C' of the Specific Use Permit (SUP) ordinance.
- (3) The Detached Garage shall not exceed a maximum size of 2,250 SF.
- (4) The Detached Garage shall include a paved driveway to the structure.
- (5) The maximum height of the Detached Garage shall not exceed a total height of 18-feet as measured to midpoint of the pitched roof.
- (6) The Detached Garage shall not be sold or conveyed separately from the single-family home without meeting the requirements of the zoning district and subdivision ordinance.

M.8 Please review the attached Draft Ordinance prior to the December 27, 2022 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than January 10, 2023. In reviewing the Draft Ordinance, please pay close attention to staff's suggestions.

I.9 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on January 3, 2023; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the January 10, 2023 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on December 27, 2022.

I.10 The projected City Council meeting dates for this case will be January 17, 2022 (1st Reading) and February 6, 2023 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	12/16/2022	Approved w/ Comments
12/16/2022: - Update layout to show the existing circular driveway. - Will need grading plan to verify drainage paths and home floor elevation.			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	12/14/2022	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	12/15/2022	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	12/13/2022	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	12/13/2022	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Bethany Ross	12/16/2022	N/A
No Comments			



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2} 245.00
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS: 835 Clem Rd Rockwall 75087
 SUBDIVISION: NorthGate Rockwall LOT: 19 BLOCK: A
 GENERAL LOCATION: North Rockwall

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING: Res CURRENT USE: Res
 PROPOSED ZONING: Res PROPOSED USE:
 ACREAGE: 3 LOTS [CURRENT]: 1 LOTS [PROPOSED]: 1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER: Matthew Benedetto APPLICANT:
 CONTACT PERSON: CONTACT PERSON:
 ADDRESS: 835 Clem Rd ADDRESS: Same
 CITY, STATE & ZIP: Rockwall TX 75087 CITY, STATE & ZIP:
 PHONE: 214-454-8033 PHONE:
 E-MAIL: Matthewbenedetto@hotmail.com E-MAIL:

NOTARY VERIFICATION [REQUIRED]

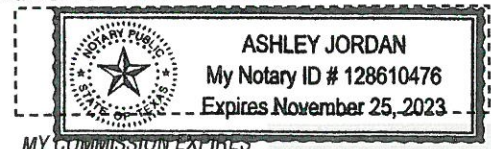
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Matthew Benedetto [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 245.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 8th DAY OF December, 2022 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 8 DAY OF December, 2022


OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





Z2022-056: Specific Use Permit for Detached Garage at 835 Clem Road

Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

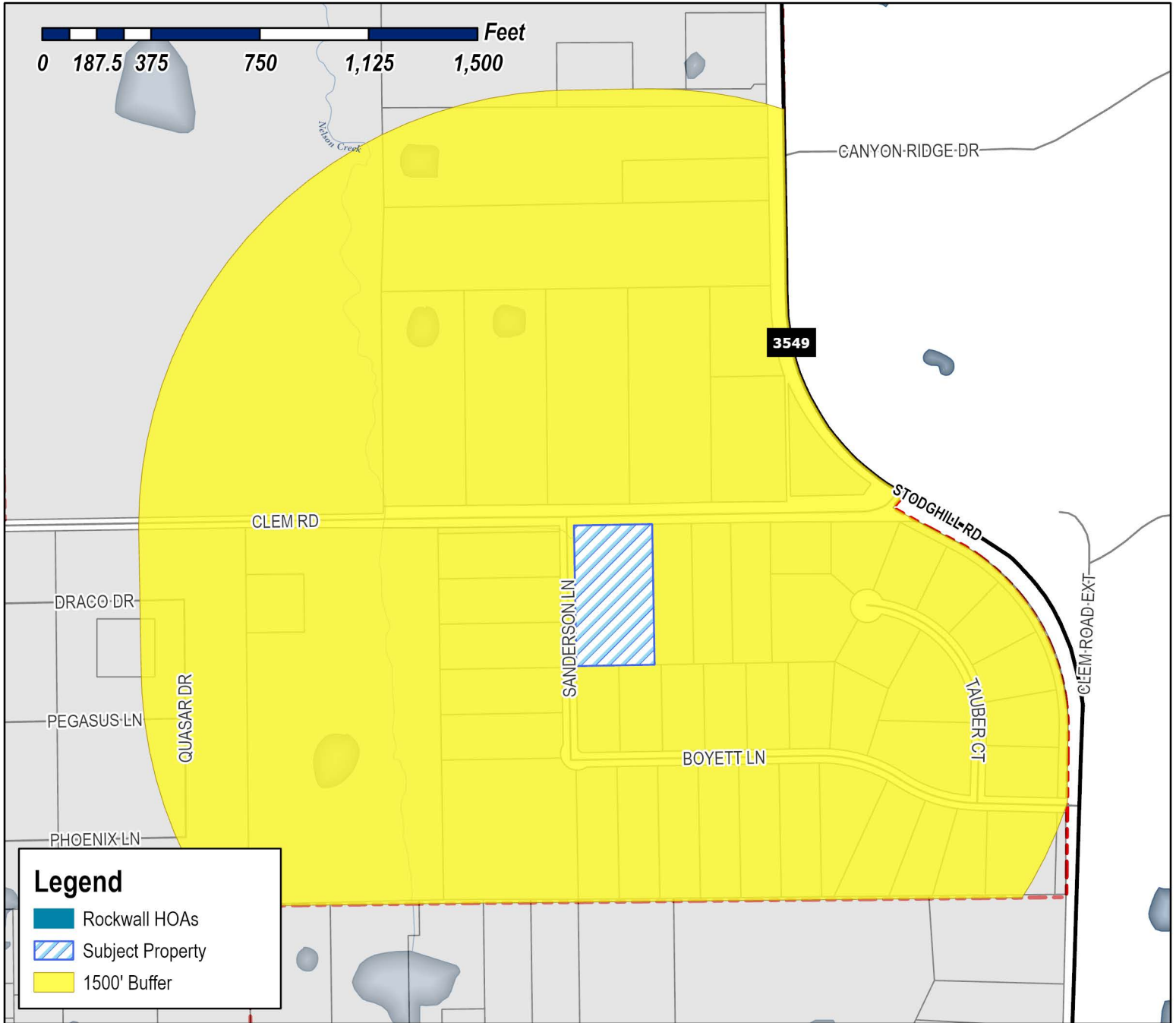




City of Rockwall

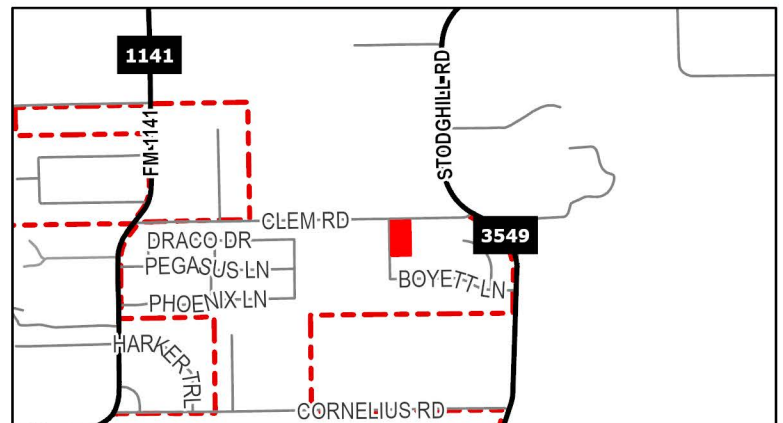
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2022-056
Case Name: SUP for Detached Garage
Case Type: Zoning
Zoning: Planned Development District 88 (PD-88)
Case Address: 835 Clem Road

Date Saved: 12/9/2022
 For Questions on this Case Call (972) 771-7745



Ross, Bethany

From: Guevara, Angelica
Sent: Wednesday, December 14, 2022 3:01 PM
Cc: Miller, Ryan; Ross, Bethany; Chapin, Sarah; Lee, Henry
Subject: Neighborhood Notification Program [Z2022-056]
Attachments: Public Notice Z2022-056.pdf; HOA Map (12.12.2022).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *December 16, 2022*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, January 10, 2023 at 6:00 PM*, and the City Council will hold a public hearing on *Tuesday, January 17, 2023 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2022-056: SUP for Detached Garage at 835 Clem Road

Hold a public hearing to discuss and consider a request by Matthew Benedetto for the approval of a *Specific Use Permit (SUP)* for a *Detached Garage* on a three (3) acre parcel of land identified as Lot 19, Block A, Northgate Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 88 (PD-88) for Single-Family 1 (SF-1) District land uses, addressed as 835 Clem Road, and take any action necessary.

Thank you,

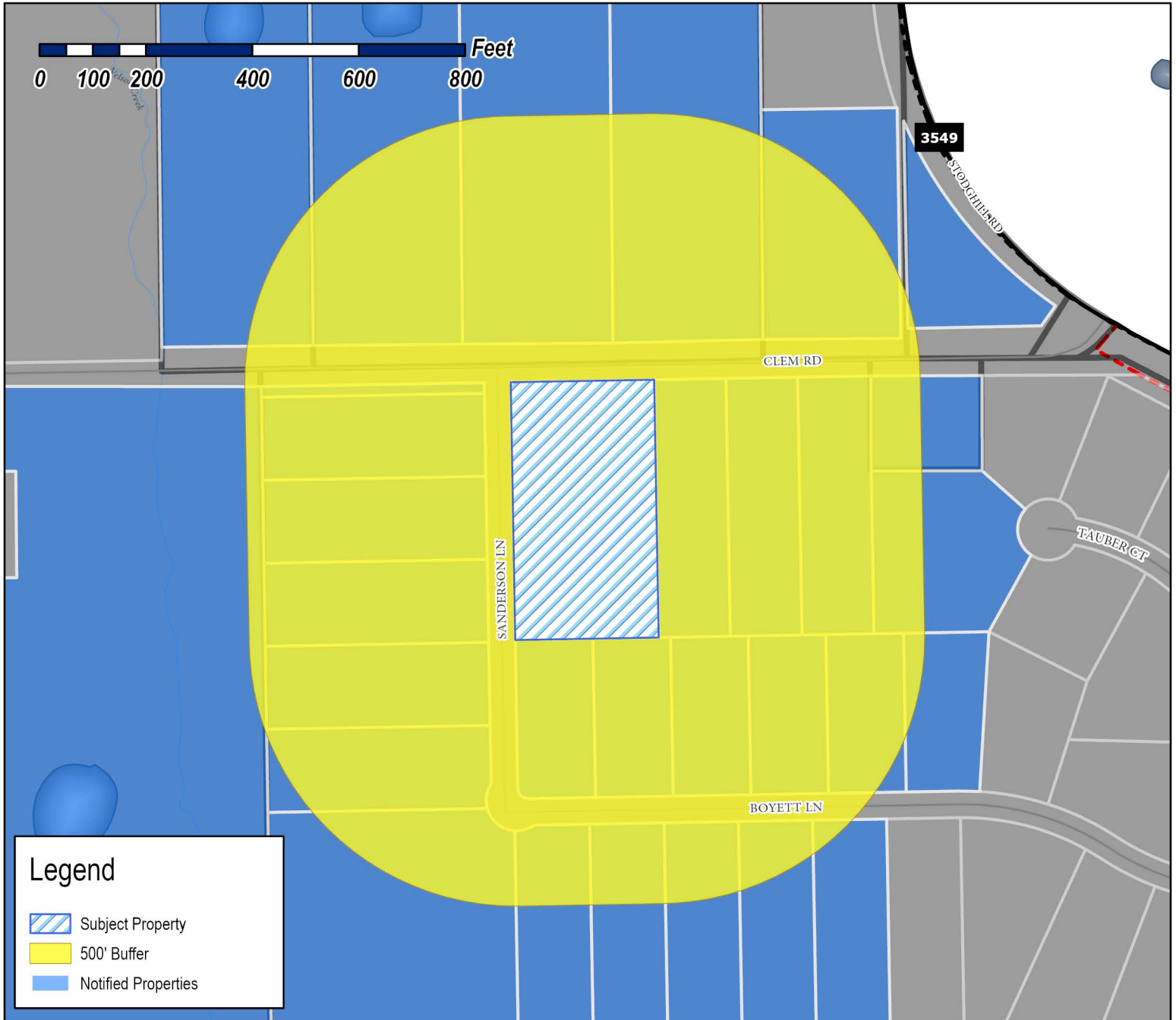
Angelica Guevara
Planning Technician
City of Rockwall Planning & Zoning
385 S. Goliad Street
Rockwall, TX 75087
Office: 972-771-7745
Direct: 972-772-6438



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



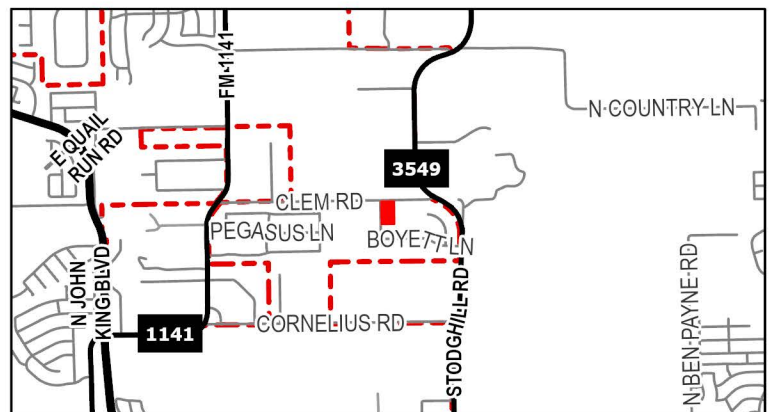
Legend

-  Subject Property
-  500' Buffer
-  Notified Properties

Case Number: Z2022-056
Case Name: SUP for Detached Garage
Case Type: Zoning
Zoning: Planned Development District 88 (PD-88)
Case Address: 835 Clem Road

Date Saved: 12/9/2022

For Questions on this Case Call: (972) 771-7746



SWIATKIEWICZ CHRISTINE AND GABRIEL
1167 ROLLING MEADOW
LAVON, TX 75166

JOYCE MICHAEL RYAN AND MEREDITH MCLEROY
1189 WATERS EDGE DRIVE
ROCKWALL, TX 75087

INSPIRED HOMES TX LLC
1189 WATERS EDGE DRIVE
ROCKWALL, TX 75087

NORTHGATE ROCKWALL HOMEOWNERS
ASSOCIATIONS INC
1189 WATERS EDGE DRIVE
ROCKWALL, TX 75087

WOLFF RYAN & RACHEL
1306 SALINAS DRIVE
ROCKWALL, TX 75087

MCCALLUM CRAIG WILLIAM
1983 N STODGHILL RD
ROCKWALL, TX 75087

WADE JON AND JENNIFER
1985 CLUB LAKE CIRCLE
ROCKWALL, TX 75087

OCONNOR MICHAEL TYLER & ASHLEY ELISA
208 CHATFIELD DRIVE
ROCKWALL, TX 75087

RESIDENT
2121 TAUBER CT
ROCKWALL, TX 75087

RESIDENT
2201 SANDERSON LN
ROCKWALL, TX 75087

RESIDENT
2207 SANDERSON LN
ROCKWALL, TX 75087

RESIDENT
2213 SANDERSON LN
ROCKWALL, TX 75087

RESIDENT
2219 SANDERSON LN
ROCKWALL, TX 75087

RESIDENT
2225 SANDERSON LN
ROCKWALL, TX 75087

RESIDENT
2231 SANDERSON LN
ROCKWALL, TX 75087

OWNBY MITCH AND SANDRA
255 COUNTRY CLUB DR
HEATH, TX 75032

PARTNERS IN BUILDING LP
2901 WEST SAM HOUSTON PARKWAY NORTH
SUITE C-250
HOUSTON, TX 77043

PARTNERS IN BUILDING LP
2901 WEST SAM HOUSTON PARKWAY NORTH
SUITE C-250
HOUSTON, TX 77043

MEREDITH WILLIAM AND AMBER
3005 SPYGLASS
FORNEY, TX 75126

SANDERSON PERRY AND AMY
4013 ENCLAVE LANE
ROWLETT, TX 75089

ARTERBURN TREVOR AND DESIRI
402 COUNTRY RIDGE
ROCKWALL, TX 75087

WALRAVEN KEITH & MEREDITH
402 FLORENCE DR
FATE, TX 75087

BRYANT ERIC AND SAMANTHA
593 LOUDER WAY
ROCKWALL, TX 75087

ARTERBURN ANDREW
605 HIGHLAND DRIVE
ROCKWALL, TX 75087

RESIDENT
611 CLEM RD
ROCKWALL, TX 75087

RECHTIENE JOSEPH S AND LARISA A
619 ELEANOR DRIVE
FATE, TX 75087

MASON RICHARD L
682 CANNON DRIVE
ROCKWALL, TX 75087

CANAVAN JOHN P & RITA
714 CLEM RD
ROCKWALL, TX 75087

BELL SALLY REDDICK
768 CLEM RD
ROCKWALL, TX 75087

RESIDENT
803 BOYETT LN
ROCKWALL, TX 75087

RESIDENT
804 BOYETT LN
ROCKWALL, TX 75087

RESIDENT
807 BOYETT LN
ROCKWALL, TX 75087

PAYNE ADAM J AND ELIZABETH A
808 BOYETT LN
ROCKWALL, TX 75087

RESIDENT
813 BOYETT LN
ROCKWALL, TX 75087

RESIDENT
814 BOYETT LN
ROCKWALL, TX 75087

RESIDENT
819 BOYETT LN
ROCKWALL, TX 75087

RESIDENT
820 BOYETT LN
ROCKWALL, TX 75087

SHLENSKY HOWARD J & DARLA A
820 CLEM RD
ROCKWALL, TX 75087

RESIDENT
825 BOYETT LN
ROCKWALL, TX 75087

RESIDENT
826 BOYETT LN
ROCKWALL, TX 75087

RESIDENT
832 BOYETT LN
ROCKWALL, TX 75087

RESIDENT
835 CLEM RD
ROCKWALL, TX 75087

STANLEY STEVEN B AND ROBIN C
891 CLEM RD
ROCKWALL, TX 75087

MOREAU ROBERT G JR & SHERRY L
892 CLEM ROAD
ROCKWALL, TX 75087

BUTLER ZACHARY AND COURTNEY
9 CRESTVIEW CIR
ROCKWALL, TX 75087

RESIDENT
901 CLEM RD
ROCKWALL, TX 75087

BENEDETTO MATTHEW AND STEPHANIE
907 W HOLIDAY ROAD
ROCKWALL, TX 75087

BENNETT JILL M
936 CLEM RD
ROCKWALL, TX 75087

TURNHAM DAVID & LORI
950 CLEM RD
ROCKWALL, TX 75087

RESIDENT
961 CLEM RD
ROCKWALL, TX 75087

AIRHEART REBECCA
961 CLEM RD
ROCKWALL, TX 75087

COUCH DAVID AND JULIE
988 SAFFLOWER
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2022-056: SUP for a Detached Garage at 835 Clem Road

Hold a public hearing to discuss and consider a request by Matthew Benedetto for the approval of a *Specific Use Permit (SUP)* for a Detached Garage on a three (3) acre parcel of land identified as Lot 19, Block A, Northgate Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 88 (PD-88) for Single-Family 1 (SF-1) District land uses, addressed as 835 Clem Road, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, January 10, 2023 at 6:00 PM, and the City Council will hold a public hearing on Tuesday, January 17, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Bethany Ross
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Tuesday, January 17, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2022-056: SUP for a Detached Garage at 835 Clem Road

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

[Redacted area]

Name: [Redacted]
Address: [Redacted]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

FRONT ELEVATION

BENEDETTO RESIDENCE CARRIAGE HOUSE

SHEET INDEX

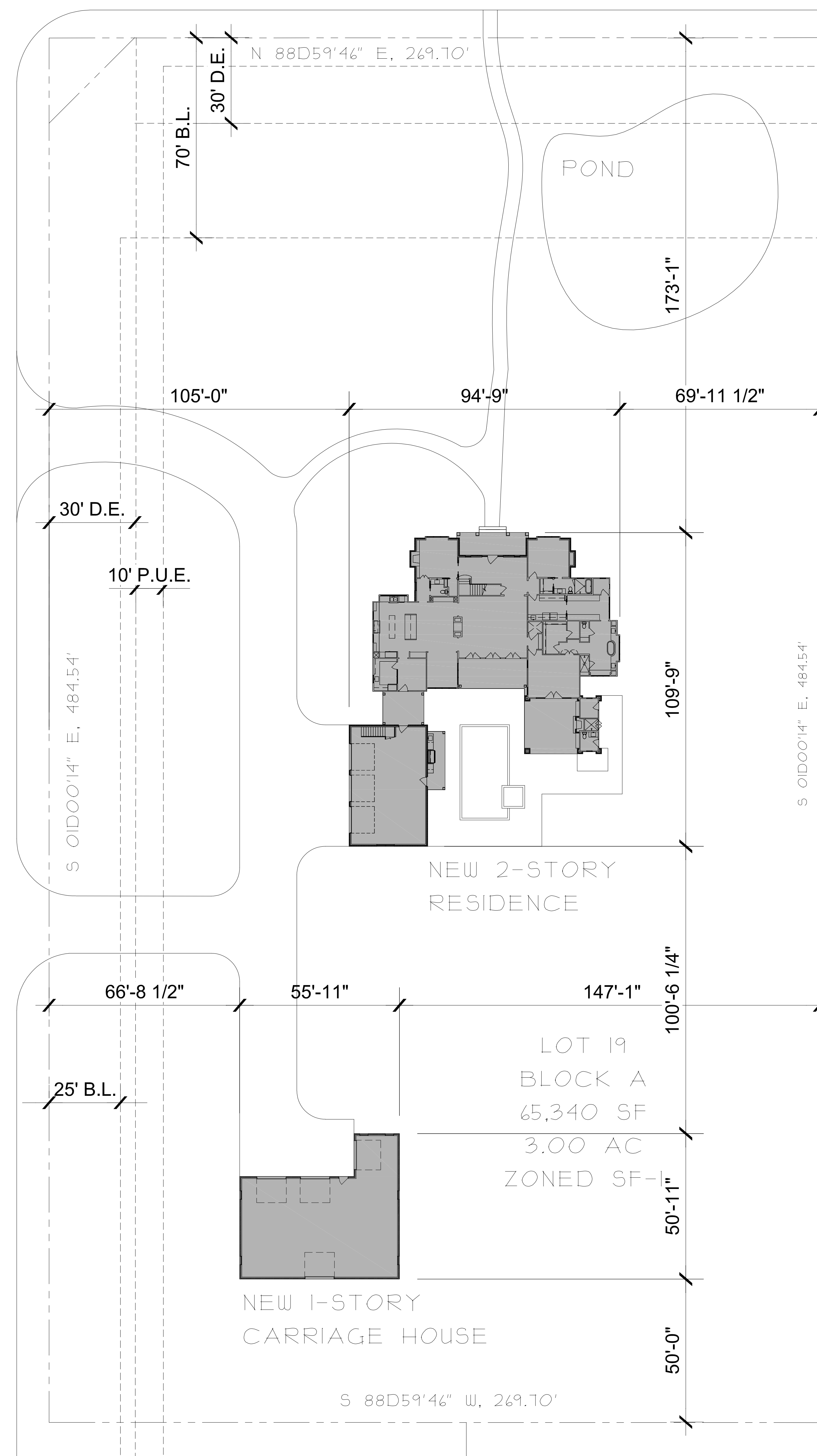
A-1.0	COVER SHEET
A-2.1	SITE PLAN
A-7.2	CARRIAGE HOUSE PLANS AND ELEVATIONS
A-7.3	CARRIAGE HOUSE ROOF, POWER, WINDOW SCHEDULE

SQUARE FOOTAGE

2,247 SF	CARRIAGE HOUSE
----------	----------------

SANDERSON LANE

CLEM ROAD



BENEDETTO
RESIDENCE
ROCKWALL, TX
75087

ISSUE LOG

DATE	DESCRIPTION
02/22/21	ISSUE FOR PERMIT
05/14/21	FOR CONSTRUCTION
11/07/22	CARRIAGE HOUSE PERMIT

REVISION LOG

DATE	DESCRIPTION	REV. NO.
04/13/21	REVISION	
07/19/21	REVISION	

ISSUED FOR:

- PRELIMINARY -
- BIDDING / PERMIT
- REVISION
- FOR CONSTRUCTION



OWNER: MATT AND STEPHANIE BENEDETTO
 CONTRACTOR: MATT BENEDETTO HIGHVIEW HOMES, LLC
 DESIGNER: PATRA PHILIPS FANNINGPHILIPS DESIGN

ARCH. PROJ. #: 20401 SCALE: REF. DRAWING

SHEET NO.

A2.1

COVER/ SITE PLAN
CARRIAGE HOUSE

ISSUE LOG

DATE	DESCRIPTION
02/22/21	ISSUE FOR PERMIT
05/14/21	FOR CONSTRUCTION
11/07/22	CARRIAGE HOUSE PERMIT

REVISION LOG

DATE	DESCRIPTION	REV. NO.
04/13/21	REVISION	
07/19/21	REVISION	

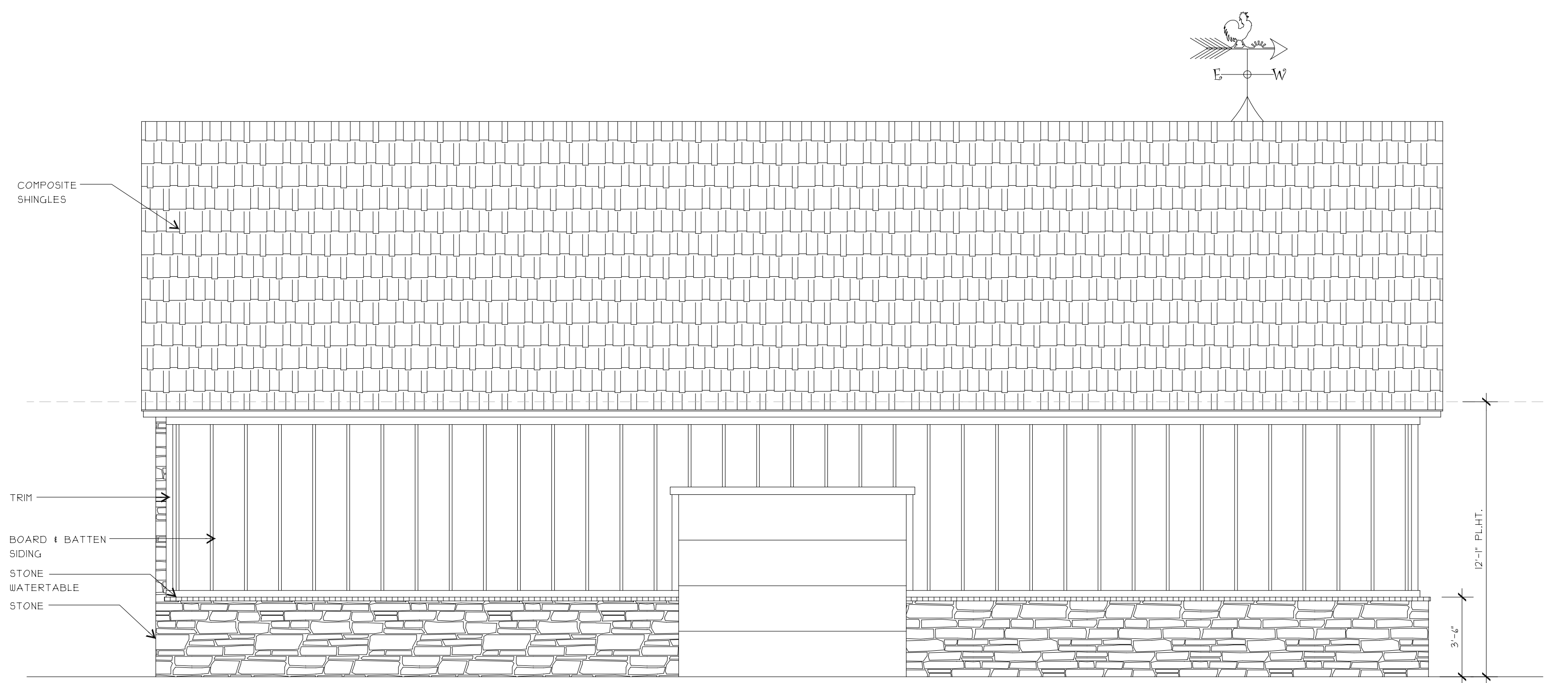
- ISSUED FOR:**
- PRELIMINARY -
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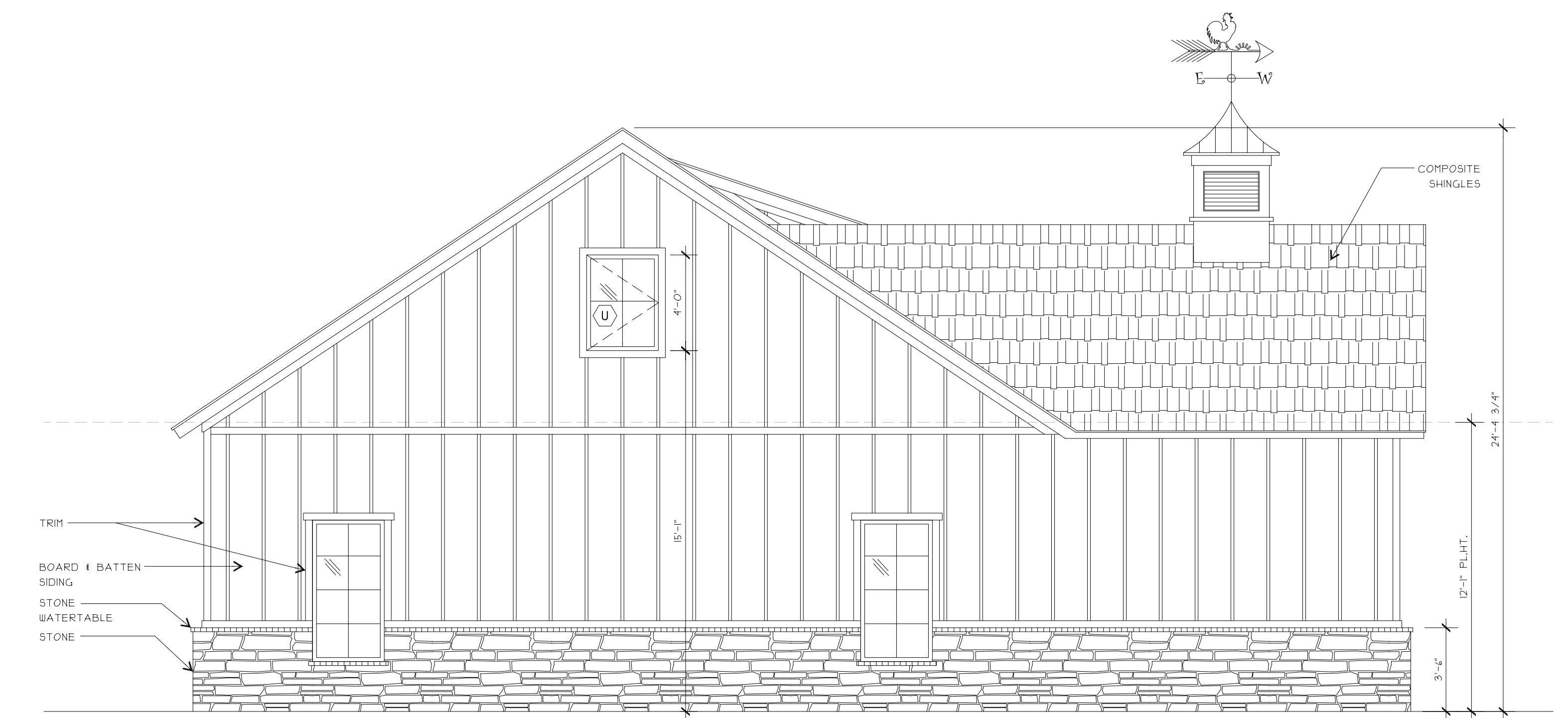
OWNER: MATT AND STEPHANIE BENEDETTO
 CONTRACTOR: MATT BENEDETTO HIGHVIEW HOMES, LLC
 mattbeneditto@highviewhomes.com 214-544-0303
 DESIGNER: PATRA PHILIPS FANNINGPHILIPS DESIGN
 patra@fanningphilips.com 214-264-8754

ARCH. PROJ. #: 20401 SCALE: REF. DRAWING

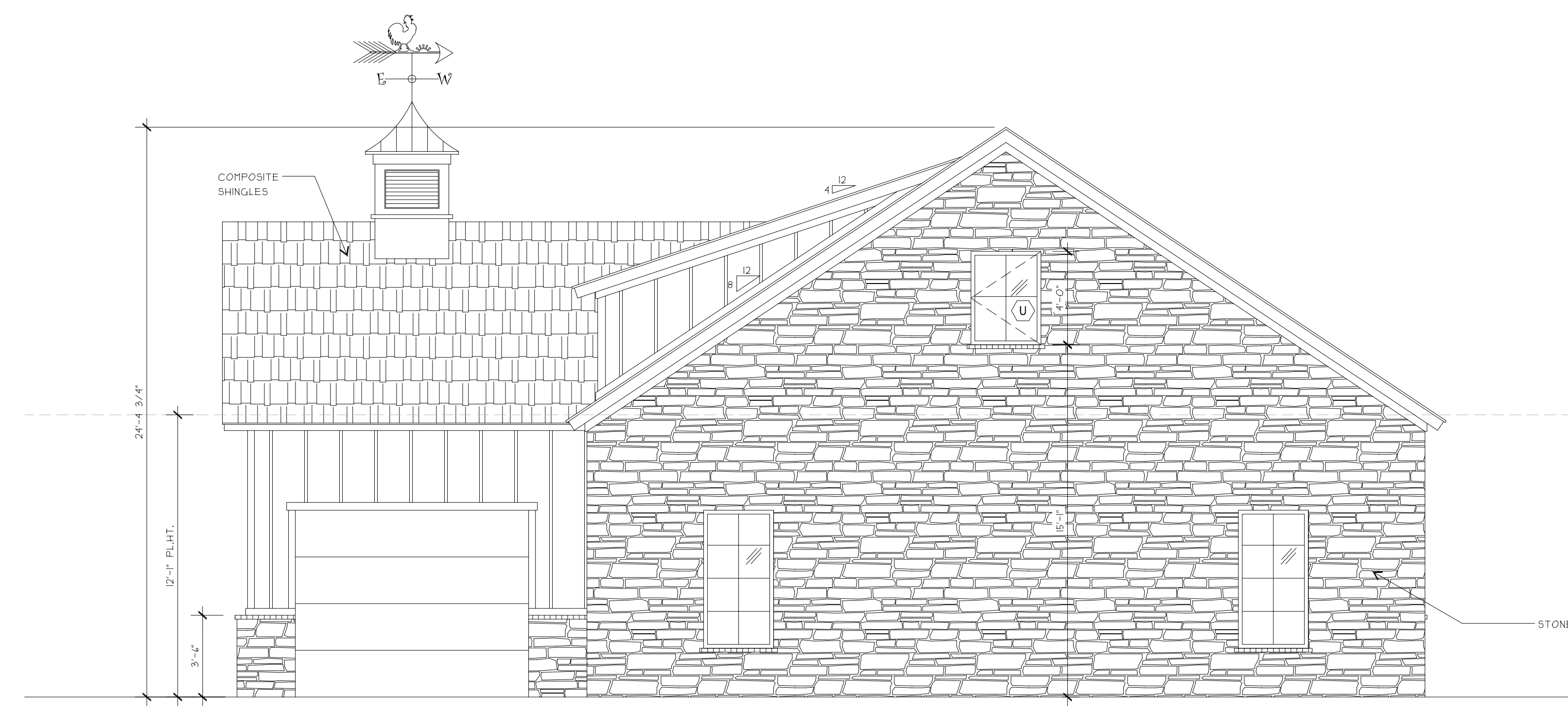
SHEET NO. **A7.2**
 CARRIAGE HOUSE PLAN ELEVATIONS



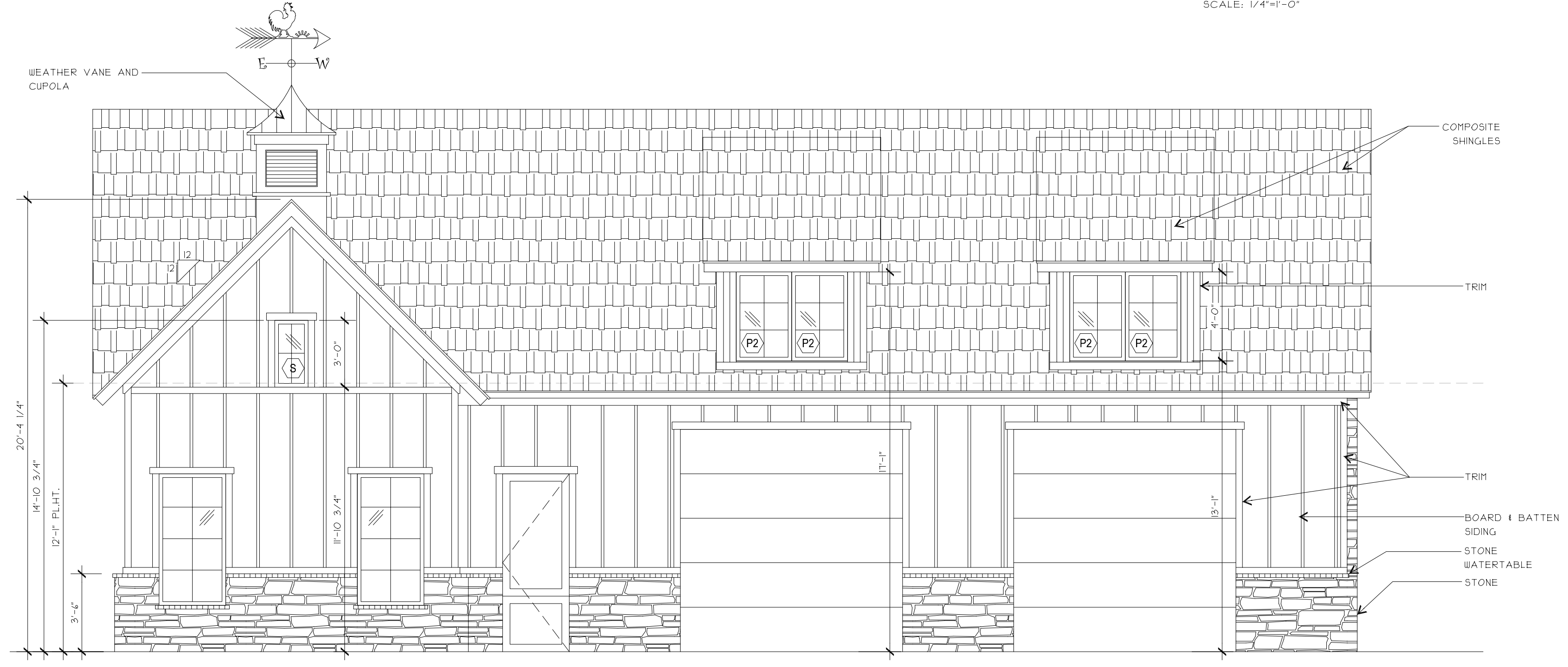
04 NORTH ELEVATION
SCALE: 1/4"=1'-0"



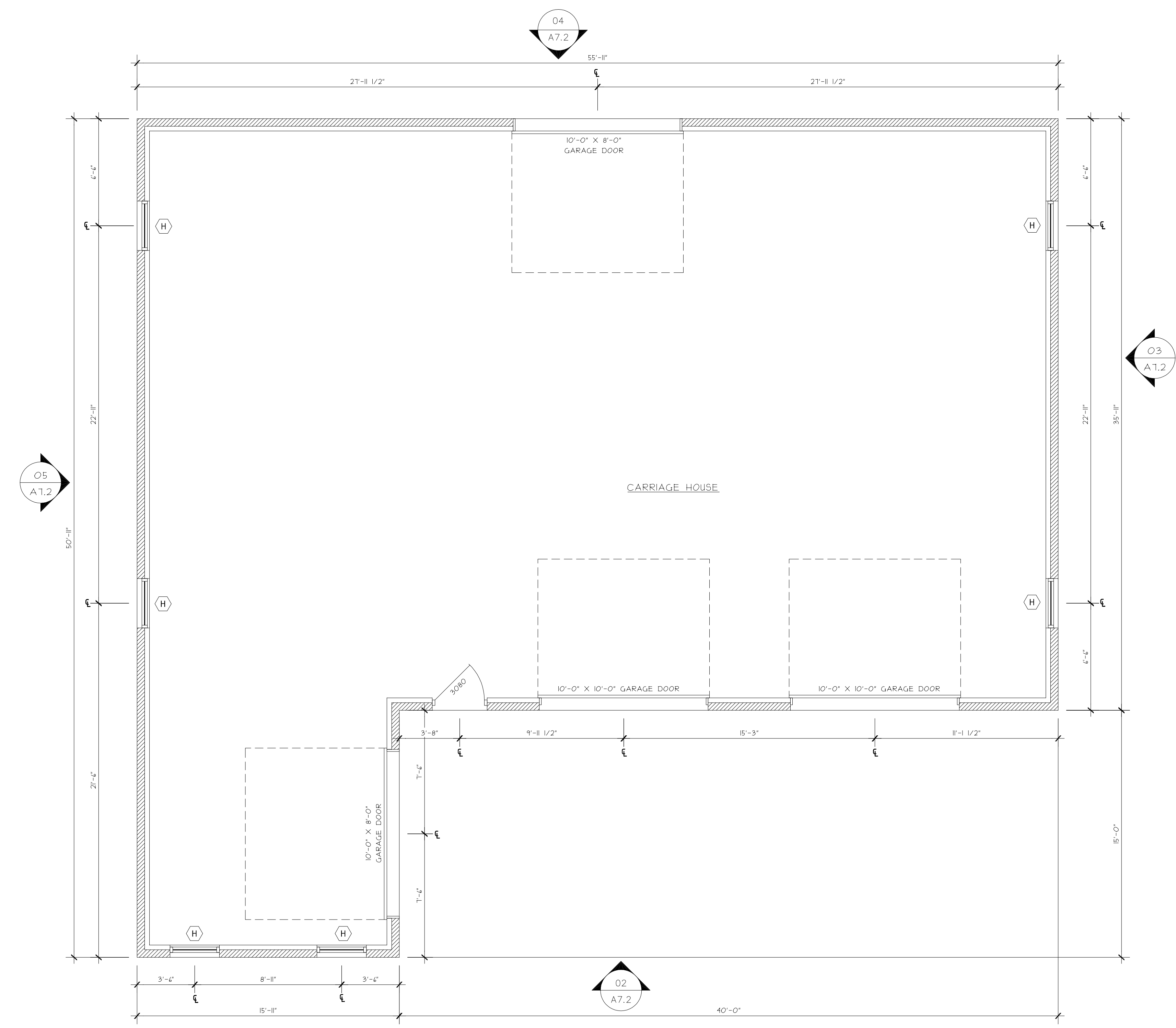
05 WEST ELEVATION
SCALE: 1/4"=1'-0"



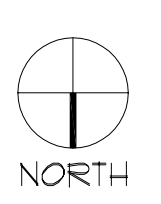
03 EAST ELEVATION
SCALE: 1/4"=1'-0"



02 SOUTH ELEVATION
SCALE: 1/4"=1'-0"



01 CARRIAGE HOUSE PLAN
SCALE: 1/4"=1'-0"

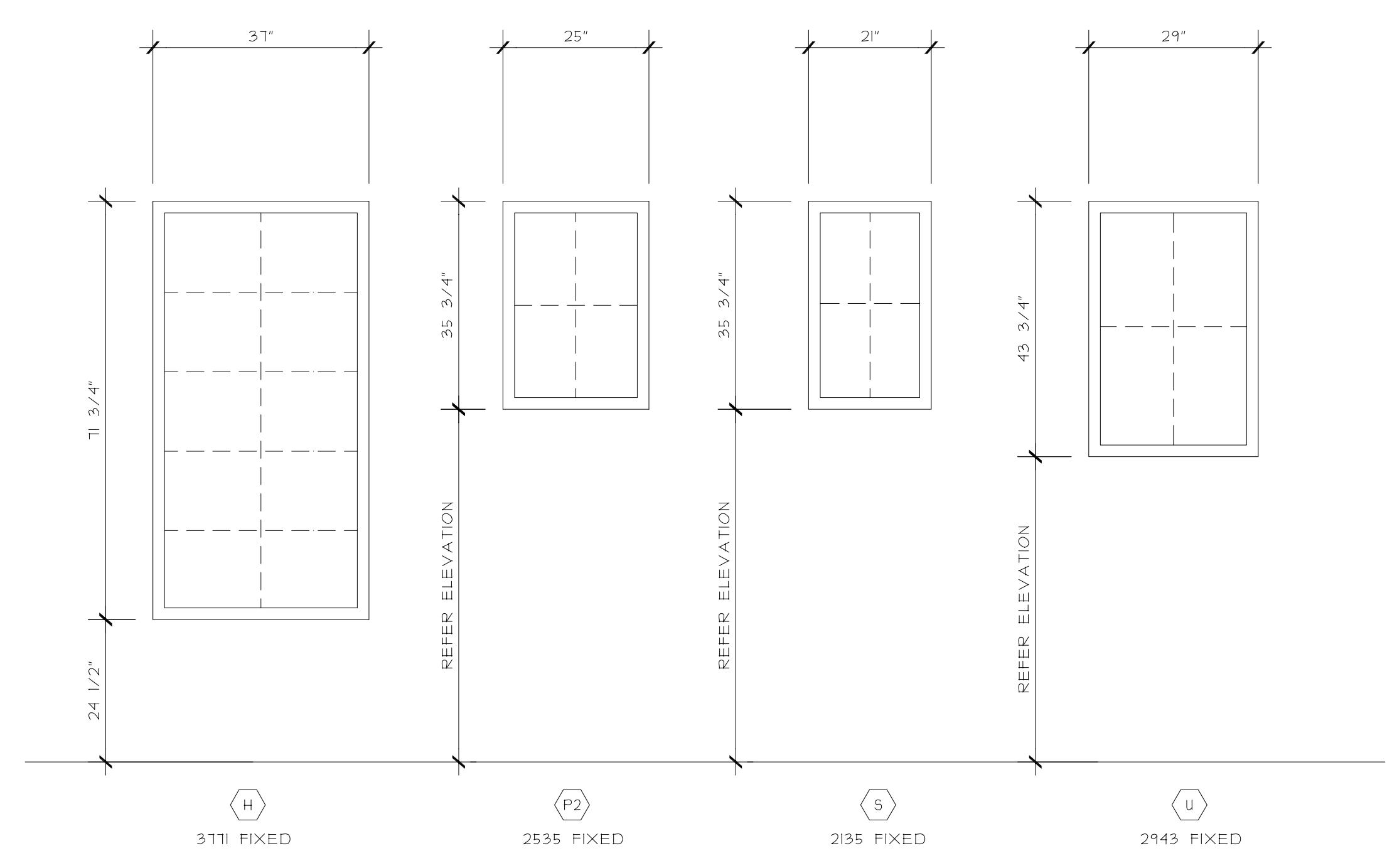


- ELECTRICAL NOTES:**
- 1) CONSULT LOCAL UTILITY & LOCAL CODES FOR PROPER GROUNDING REQUIREMENTS.
 - 2) RECEPTACLES SHALL BE SPACED ACCORDINGLY SO THAT AT NO POINT ALONG THE FLOOR LINE IS MORE THAN 6'-0" FROM AN OUTLET. NO SPACES FURTHER APART THAN 12' UNLESS NOTED OTHERWISE OR PER ANY SPECIFIC CODES.
 - 3) ALL RECEPTACLES IN BATHROOMS, GARAGES, OR OUTDOORS SHALL BE PROTECTED BY A GROUND FAULT INTERRUPTION SYSTEM (GFI) AND AS NOTED ON THE DRAWINGS.
 - 4) OUTLET BOXES IN WALL BETWEEN THE LIVING AREA & THE GARAGE SHALL BE METAL OR U.L. APPROVED PLASTIC.
 - 5) SMOKE DETECTORS SHALL BE PLACED NO MORE THAN 12" FROM CLG. AND 3'-0" FROM DUCT OPENINGS. DETECTORS SHALL BE PERMANENTLY WIRED AND INTERCONNECTED. PROTECT ALL SLEEPING AREAS PER CODE.
 - 6) SWITCH PLATES TO BE PLACED AT 42" ABOVE FINISH FLOOR TO CENTER OF SWITCH TYPICAL.
 - 7) AT LEAST TWO 20 AMP SMALL APPLIANCE CIRCUITS SHALL BE PROVIDED TO SERVE THE KITCHEN, NOOK, & DINING AREAS. THESE CIRCUITS ARE TO HAVE NO OTHER OUTLETS. CONFORM TO NEC ART 220-3(C).
 - 8) ALL LIGHTING FIXTURES LOCATED IN CLOSETS OR STORAGE AREAS SHALL BE LOCATED A MINIMUM OF 18" FROM ALL SHELVING.
 - 9) PROVIDE 150 AMP ELECTRICAL SERVICE PANEL WITH METER EQUIP.
 - 10) PROVIDE DISCONNECT SWITCH FOR AIR HANDLER IN SPACE REQUIRED.
 - 11) PROVIDE OPTIONAL ELECTRICAL TO MASTER BATH TUB (OR AS REQUIRED) FOR WHIRLPOOL, HOOK UP PER OWNER.

ELECTRICAL SCHEDULE	
SYMBOL	DESCRIPTION
⊞	SINGLE POLE SWITCH
⊞	3 WAY SWITCH
⊞	110V OUTLET
⊞	220V OUTLET
⊞	FLOOR OUTLET
⊞	RECESSED CAN FIXTURE
⊞	CEILING MOUNT PENDANT FIXTURE
⊞	PENDANT FIXTURE
⊞	EXHAUST FAN
⊞	FLUORESCENT FIXTURE
⊞	OVER OR UNDERCOUNTER LIGHTING
⊞	SMOKE DETECTOR
⊞	C DETECTOR
VP	VP---VAPOR PROOF
GFCI	GFCI---WEATHER PROOF
GFI	GFI---GROUND FAULT INTERCEPTOR
LV	LV---LOW VOLTAGE
OS	OS---OUTSIDE
GD	GD---GARAGE DISPOSAL
DW	DW---DIRECT WIRE

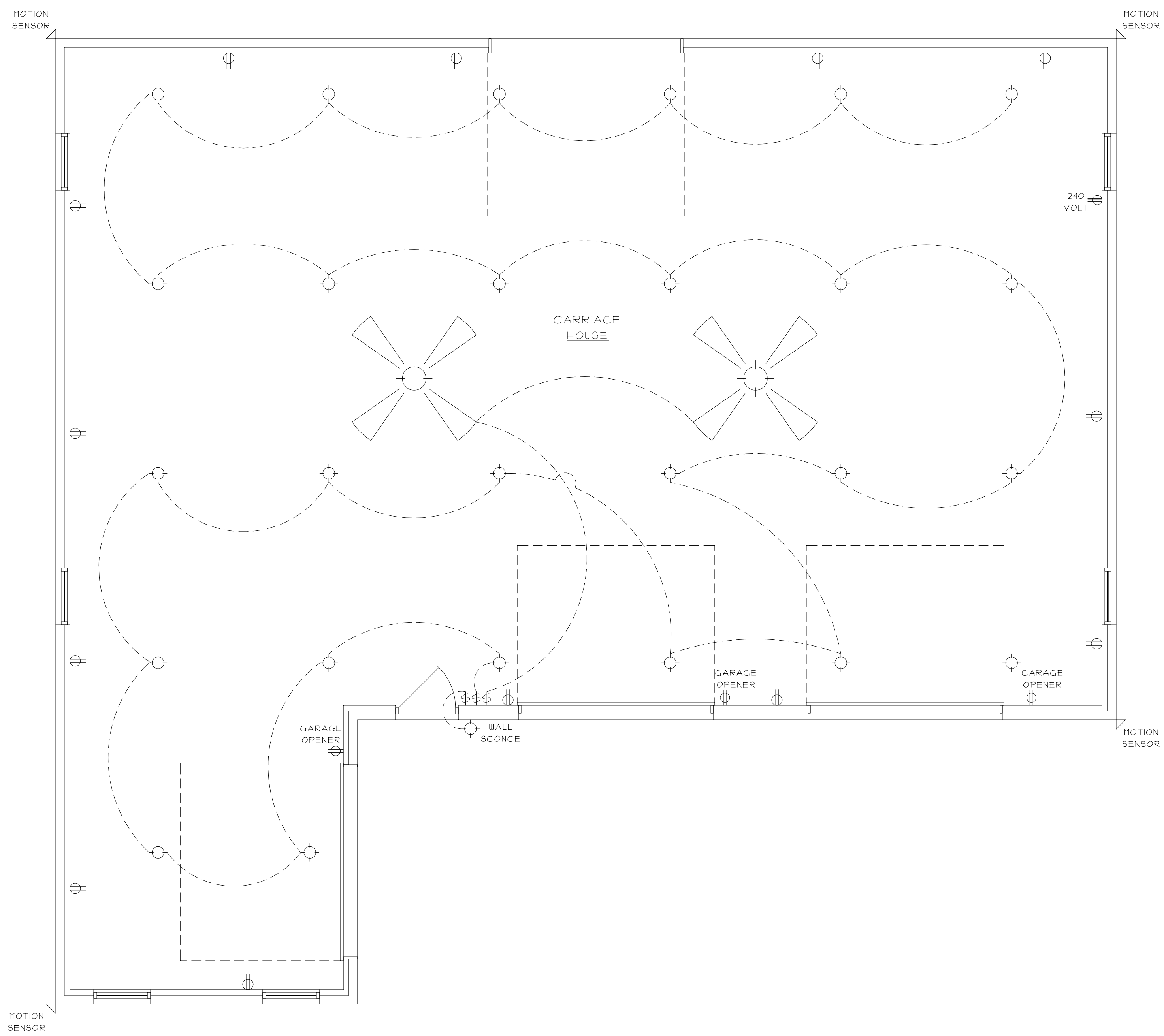
NOTE: ALL OUTLETS IN KITCHEN, GARAGE AND BATHROOMS TO BE G.F.I.

- ROOF CONSTRUCTION NOTES:**
1. ROOF OVERHANG TO BE 12" U.A.O.
 2. ROOF PITCH TO BE 12/12 U.A.O.
 3. PROVIDE KITCHEN SINKS AS SPECIFIED IN WALL SECTIONS IF APPLICABLE.
 4. THE ROOF TRUSSES OR RAFTER TO INTERIOR PARTITIONS WITH METAL CLIPS, TIES OR STRAPS AS SPECIFIED IN STRAPPING SCHEDULE ABOVE.
 5. FIRST SHEET OF PLYWOOD ALONG EAVES TO BE GULLED AND WILED AS DESCRIBED IN SHEATHING SCHEDULE ABOVE.
 6. TRUSS DESIGNERS REQUIRE THE SIGNATURE AND SEAL OF A STATE CERTIFIED ENGINEER.
 7. PROVIDE ALL REQUIRED TRUSS BRACING AS SPECIFIED ON ENGINEERED TRUSS PLAN.

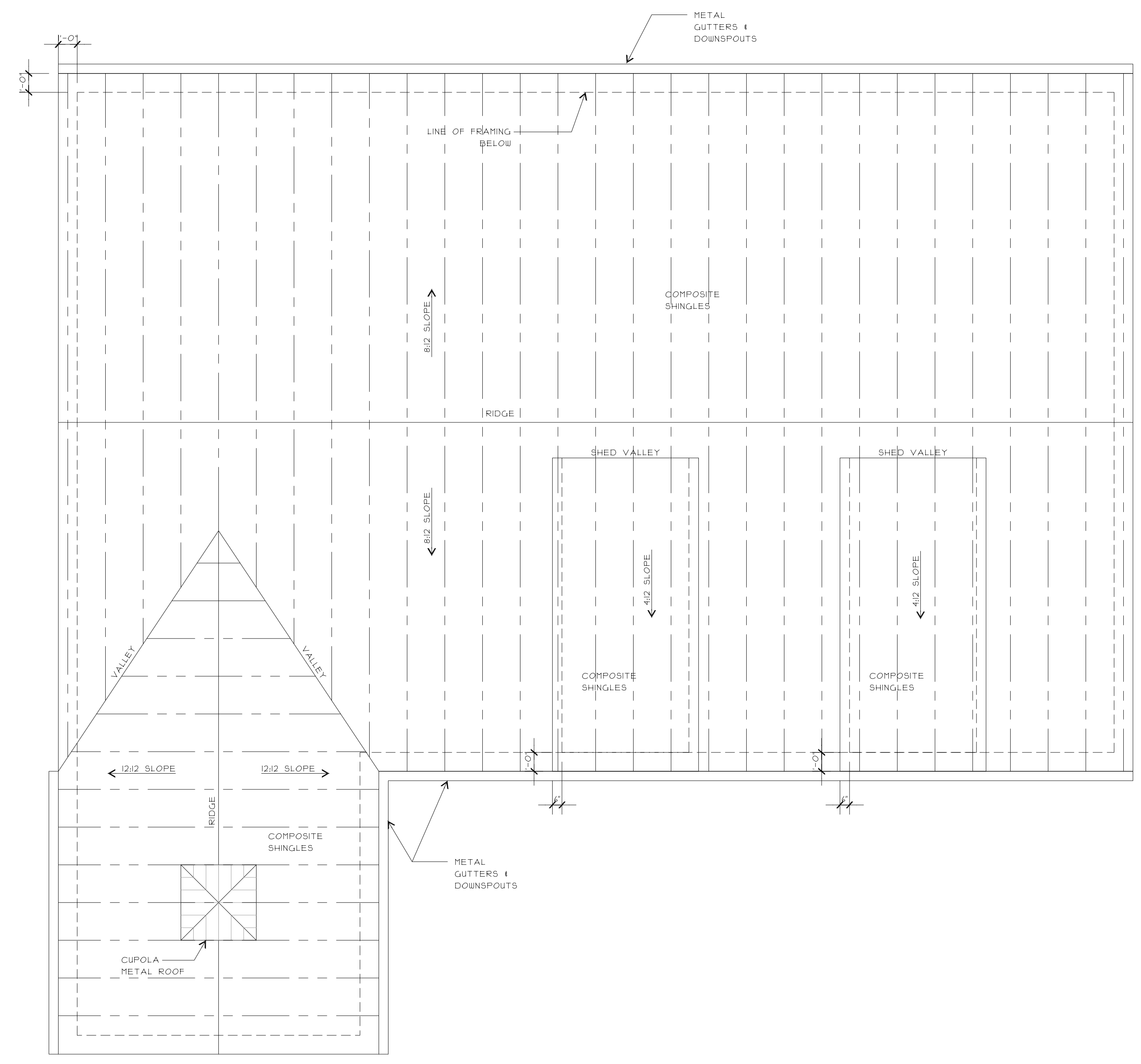


WINDOW TYPES

NOTE:
 1. VERIFY ALL WINDOWS SIZES WITH MANUFACTURER FOR ALL FRAMING AND ROUGH OPENING DIMENSIONS.
 2. FINAL MULLION DESIGN TO BE BY OWNER.



02 CARRIAGE HOUSE POWER PLAN
 SCALE: 1/4"=1'-0"



01 CARRIAGE HOUSE ROOF PLAN
 SCALE: 1/4"=1'-0"



BENEDETTO RESIDENCE
 ROCKWALL, TX 75087

ISSUE LOG

DATE	DESCRIPTION
02/12/21	ISSUE FOR PERMIT
05/14/21	FOR CONSTRUCTION
11/07/22	CARRIAGE HOUSE PERMIT

REVISION LOG

DATE	DESCRIPTION	REV. NO.
04/13/21	REVISION	
07/19/21	REVISION	

- ISSUED FOR:**
- PRELIMINARY -
 - BIDDING / PERMIT
 - REVISION
 - FOR CONSTRUCTION



OWNER: MATT AND STEPHANIE BENEDETTO
 CONTRACTOR: MATT BENEDETTO HIGHVIEW HOMES, LLC mattbenedetto@highview.com 214-544-0333
 DESIGNER: PATRA PHILIPS FANNINGPHILIPS DESIGN pfanning@fanningphillips.com 214-284-8734

ARCH. PROJ. #: 20401 SCALE: REF. DRAWING

SHEET NO. **A7.3**

CARRIAGE HOUSE ROOF, POWER, WDU SCHEDULE



NORTHGATE

Northgate Rockwall HOA
767 Justin Road
Rockwall, TX 75087

November 18, 2022

RE: Plan Review Outbuilding, 835 Clem Road, Northgate Rockwall

On November 18, 2022, I reviewed the submitted application for Outbuilding at 835 Clem Road, Northgate Rockwall, Lot 19, Block A. The submitted plans and elevations have been reviewed by the Architectural Control Committee (the "ACC"). The plans meet the requirements of the restrictions and governing documents for Northgate Rockwall.

This application has been approved.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Michael Ryan Joyce', is written over the printed name.

Michael Ryan Joyce
Northgate Rockwall HOA
President





CITY OF ROCKWALL

ORDINANCE NO. 23-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 88 (PD-88) [*ORDINANCE NO. 19-26*] AND THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR A *DETACHED GARAGE* ON A THREE (3) ACRE PARCEL OF LAND, IDENTIFIED AS LOT 19, BLOCK A, NORTHGATE ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Matthew Benedetto for the approval of a *Specific Use Permit (SUP)* for a *Detached Garage* on a three (3) acre parcel of land identified as Lot 19, Block A, Northgate Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 88 (PD-88) for Single-Family 1 (SF-1) District land uses, addressed as 835 Clem Road, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that Planned Development District 88 (PD-88) [*Ordinance No. 19-26*] and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for a *Detached Garage* to allow for the construction of an *Accessory Building* in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Planned Development District 88 (PD-88) [*Ordinance No. 19-26*] and Subsection 03.01, *General Residential District Standards*; Subsection 03.06, *Single-Family 1 (SF-1) District*; and Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District*

Development Standards, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a *Detached Garage* on the *Subject Property* and conformance to these operational conditions is required for continued operation:

- (1) The development of a *Detached Garage* on the *Subject Property* shall generally conform to the *Site Plan* as depicted in *Exhibit 'B'* of this ordinance.
- (2) The construction of a *Detached Garage* on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- (3) The *Detached Garage* shall not exceed a maximum size of 2,250 SF.
- (4) The *Detached Garage* shall include a paved driveway to the structure.
- (5) The maximum height of the *Detached Garage* shall not exceed a total height of 18-feet as measured to midpoint of the pitched roof.
- (6) The *Detached Garage* shall not be sold or conveyed separately from the single-family home without meeting the requirements of the zoning district and subdivision ordinance.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- (1) Upon obtaining a *Building Permit*, should the contractor or property owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and

the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 6TH DAY OF FEBRUARY, 2023.**

Kevin Fowler, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: January 17, 2023

2nd Reading: February 6, 2023

Exhibit 'A'
Location Map and Legal Description

Address: 834 Clem Road

Legal Description: Lot 19, Block A, Northgate Addition



Exhibit 'B':
Site Plan

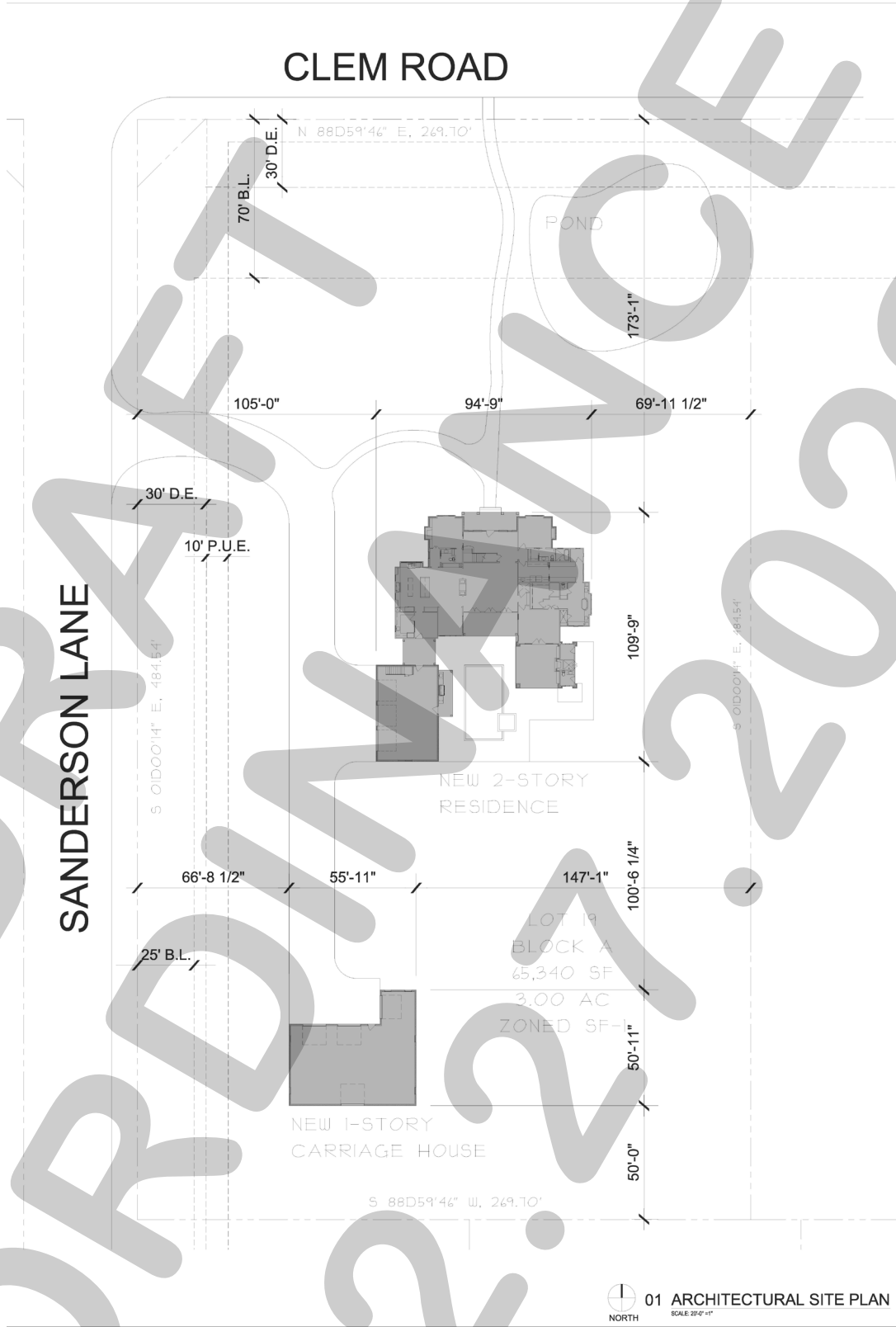
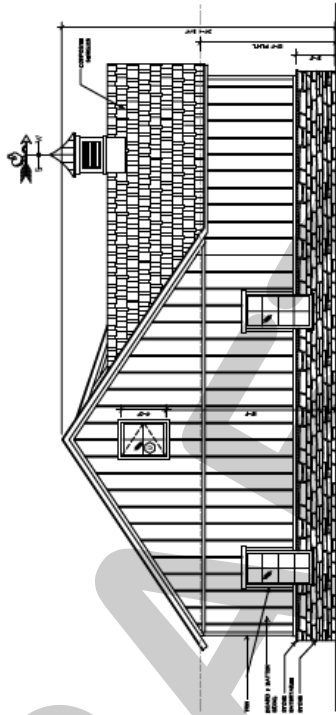
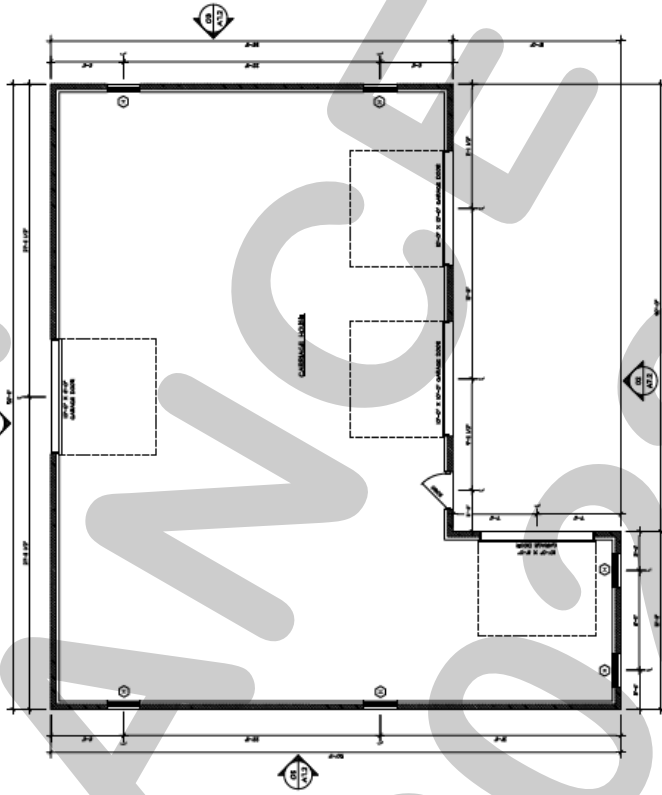


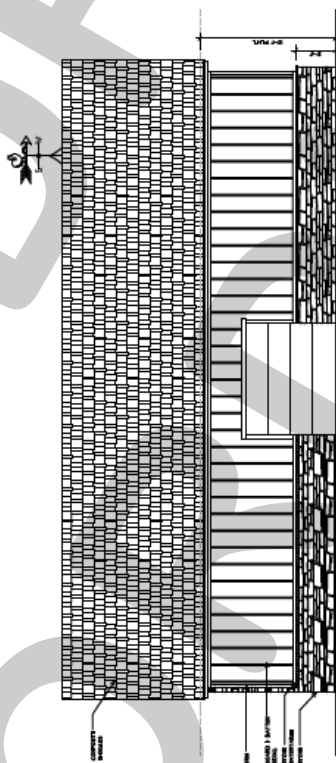
Exhibit 'C':
Building Elevations



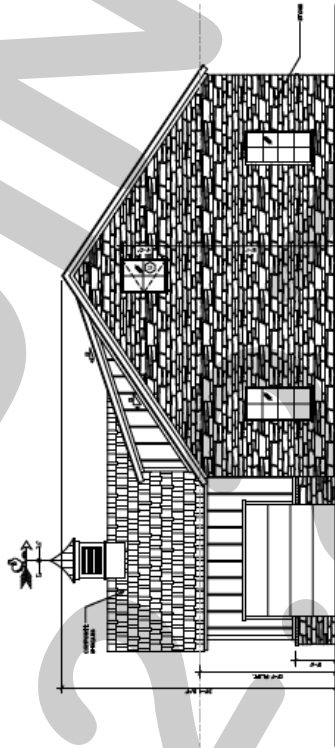
05 WEST ELEVATION
SCALE 1/8"=1'-0"



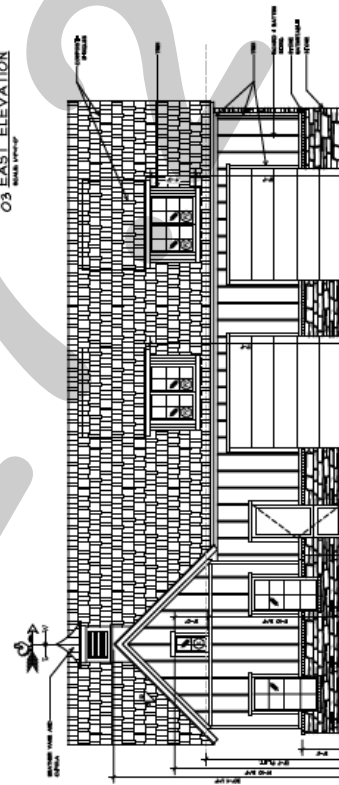
01 CARRIAGE HOUSE PLAN
SCALE 1/8"=1'-0"



04 NORTH ELEVATION
SCALE 1/8"=1'-0"



03 EAST ELEVATION
SCALE 1/8"=1'-0"



02 SOUTH ELEVATION
SCALE 1/8"=1'-0"

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 12/19/2022

PROJECT NUMBER: Z2022-057
PROJECT NAME: Zoning Change from AG to PD
SITE ADDRESS/LOCATIONS:

CASE MANAGER: Henry Lee
CASE MANAGER PHONE: 972.772.6434
CASE MANAGER EMAIL: hlee@rockwall.com

CASE CAPTION: Hold a public hearing to discuss and consider a request by Dub Douphrate of Douphrate and Associates, Inc. for the approval of a Zoning Change from an Agricultural (AG) District to a Planned Development (PD) District for General Retail (GR) District and Single-Family 1 (SF-1) District land uses on a 25.87-acre tract of land identified as parcel of land identified as Tract 14 of the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the East SH-66 Overlay (E. SH-66 OV) District, generally located southside of SH-66 east of the intersection of SH-66 and Davis Drive, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Henry Lee	12/19/2022	Approved w/ Comments

12/19/2022: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Zoning Change from of a Zoning Change from an Agricultural (AG) District to a Planned Development (PD) District for General Retail (GR) District and Single-Family 1 (SF-1) District land uses on a 25.87-acre tract of land identified as parcel of land identified as Tract 14 of the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the East SH-66 Overlay (E. SH-66 OV) District, and generally located southside of SH-66 east of the intersection of SH-66 and Davis Drive.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (Z2022-057) in the lower right-hand corner of all pages on future submittals.

I.4 According to the OURHometown Vision 2040 Comprehensive Plan the subject property is located within the Central District, and according to the Future Land Use Map contained within this document the subject property is designated for Low Density Residential land uses. The proposed zoning request will require the City Council to amend the plan to show the proposed frontage along SH-66 as being designated for Commercial/Retail land uses. This is a discretionary decision for the City Council.

I.5 Based on the district strategies for the Central District staff has included requirements in the proposed draft ordinance that incorporate screening of the proposed commercial land uses from the adjacent residential land uses, and a requirement that the commercial development be of an appropriate residential scale. The proposed residential lot sizes appear to conform to the district strategies for the district.

I.6 The OURHometown Vision 2040 Comprehensive Plan stipulates various goals for developments. The following aspects of the applicant's proposal either do not conform to or could better conform to the stated goals of the City's plan, and could be revised -- per staff's recommendations below -- to bring the project closer to conformance with the plan:

(1) CH. 1; Section 2.03; Goal #2 | Policy #2 (Page 1-2). Commercial/retail shopping centers should be screened from residential areas utilizing landscape buffers that are composed of berms, landscaping, and trees.

Staff's Response: Based on the proposed concept plan, staff recommends that a minimum of a 50-foot landscape buffer, with a berm, ground cover, shrubs, and canopy trees be

incorporated between the proposed residential and commercial land uses.

(2) CH. 2; Goal #2 | Policy #2 (Page 2-1). Encourage developments that incorporate floodplains as recreational opportunities, natural amenities, and vegetative screens from adjacent land uses.

(3) CH. 2; Goal #2 | Policy #3 (Page 2-1). Continue to require that no improvements or alterations -- including stormwater detention systems -- be constructed within floodplains.

(4) CH. 2; Goal #4 | Policy #2 (Page 2-2). Maximize open space through the preservation of natural floodplains, creation of parks, and conservation of environmentally sensitive areas to reduce the heat island effect.

(5) CH. 8; Section 2.02; Goal #2 | Policy #1 (Page 8-2). When planning a residential development, open space, drainage areas, trails and tree groupings should be identified prior to laying out the development. This will lead to a development that places an emphasis on preserving the natural environment.

(6) CH. 8; Section 2.03; Goal #1 | Policy #1 (Page 8-3). Preserve contiguous open space and integrate it into the neighborhood as common greens, boulevards, recreation areas, trails, private open space, public parks, and for the preservation of floodplain.

Staff's Response: The proposed residential lots on the east and south sides of the proposed Concept Plan incorporate a large floodplain that traverses the subject property. The City of Rockwall does not allow any development in a floodplain. Floodplain can be dedicated as open space -- to be maintained by the HOA --, which allow the development to provide the required 20.00% open space. As an alternative the floodplain could be studied and adjusted through FEMA's process.

(7) CH. 7; Goal #2 | Policy #3 (Page 7-1). Continue to develop and plan for an interconnected trail and sidewalk system that promotes connectivity and access to all areas of the City.

(8) CH. 1; Section 2.03; Goal #2 | Policy #4 (Page 1-2). Commercial developments should be constructed with logical connections and extensions to the City's existing and proposed hike and bike trail.

Staff's Response: On the Master Trail Plan contained in the Parks and Open Space Master Plan a future trail is shown running through this development. This trail should be incorporated into the plan and should connect the commercial and residential land uses.

(9) CH. 8; Section 2.02; Goal #3 | Policy #1 (Page 8-2). All residential development -- five (5) acres or greater -- should consist of a minimum of 20% open space as calculated by the gross land area. Floodplain should be counted at a rate of 1/2-acre for every acre provided (e.g. ten {10} acres of floodplain dedicated as open space would count as five (5) acres of open space).

Staff's Response: Currently, the proposed development has less than 20.00% dedicated open space. This should be corrected to bring the development into conformance with the Comprehensive Plan. Consider incorporating the 20.00% open space between the commercial and residential land uses.

(10) CH. 9; Section 02; Goal #6 | Policy #1 (Page 9-2). Where potential incompatible land uses are not part of an integrated master plan, and where there are potentially negative impacts on adjacent properties, screening and buffering should be utilized to mitigate these conflicts and impacts.

Staff's Response: Staff has reviewed the land uses permitted within the General Retail (GR) District and prohibited all potential incompatible land uses in the Planned Development District ordinance. In addition, staff has incorporated upgraded screening standards in the ordinance to ensure that all proposed non-residential land uses will be screened from the residential land uses.

1.7 Based on the submitted Concept Plan the proposed Planned Development District does not conform to the following requirements of the Unified Development Code (UDC), the Municipal Code of Ordinances, and the Engineering Department's Standards of Design and Construction Manual:

(1) Alleyways. The Engineering Department's Standards of Design and Construction Manual stipulates that "(a)lleys shall be provided in all residential areas and shall be paved with steel reinforced concrete..." The code does grant the City Council the ability to "... waive the residential alley requirement, if it is in the best interest of the City." (Page 14;

Staff Response: The applicant is requesting a waiver to this requirement.

(2) On-Site Sewage Facilities. If On-Site Sewage Facilities (OSSF) are proposed for the residential lots, please note that the Municipal Code of Ordinances states "(n)o permit for the installation of an on-site sewage facility (OSSF) will be issued for property of less than 1½ acres, unless an exception is granted by the city council on the grounds that undue hardship will be created if said lot is not connected to a OSSF." If it is the intent to request OSSF please provide a letter requesting this for Lots 2 & 3. OSSF for commercial lots typically have not been granted; however, if it is the applicant's intent to request this, this will also need to be provided in the letter.

Staff Response: The applicant is requesting to allow OSSF on lots less than 1.50-acres in size and greater than 1.00-acres in size.

I.8 The Commercial Freestanding Antenna that will be located in the proposed cell tower easement will be required to meet the requirements contained in Subsection 02.03 (K) (5), Commercial Freestanding Antenna, of Article 04, Permissible Uses, of the Unified Development Code (UDC).

M.9 Based on the submitted Concept Plan, please make the following corrections and resubmit the updated plan by January 3, 2023:

- (1) Lot Dimensions. Single Family 1 (SF-1) requires a minimum lot width/frontage of 70-feet. It appears Lots 5, 6, and 9 may not meet this requirement, please confirm.
- (2) Open Space. The minimum open space required for this development is 5.174-acres (i.e. 25.87 (Gross Acreage) x 20.00%). Please indicate the amount of proposed open space; floodplain is calculated as a 0.50 acre of open space per acre.

M.10 Please review the attached draft ordinance prior to the December 27, 2022 Planning & Zoning Commission meeting, and provide staff with your markups by January 3, 2023.

I.11 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on January 3, 2023; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the January 10, 2023 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on December 27, 2022.

I.12 The projected City Council meeting dates for this case will be January 17, 2023 (1st Reading) and February 6, 2023 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	12/16/2022	Approved w/ Comments

12/16/2022: - Will need to have sewer easements that match the Master Sewer Plan

The following items are informational for the engineering review process.

General Items:

- Must meet City Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Wastewater & Roadway)
- Minimum easement width is 20' for new easements. No structures allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls 18" and taller must be rock or stone face. No smooth concrete walls.
- No construction within the 70' electric easement or the Atmos gas easement

Drainage Items:

- Detention is required and calculated by zoning type for the entire tract. No detention in flood plain
- Wetland and WOTUS will be required.
- Will need to complete a flood study to cross or change the floodplain.

- Will require an erosion hazard setback on both sides of the creek/flood plain
- The finish floor elevation must be 2' above the floodplain elevation and parking areas to be 1' above.
- Floodplain and erosion hazard setback must be placed within a drainage easement.
- Detention ponds and outfalls must be placed within drainage easements and be maintained by property owner.
- Commercial lots should have individual detention ponds so HOA is not maintaining for commercial.

Water and Wastewater Items:

- All electrical/franchise utility line to be underground.
- Will be required to extend 12" water line across frontage along SH 66 in an easement.
- No structures in easements. Min. easement width is 20'.
- Minimum public utilities to be 8-inch.
- Must include a 20' wide easement per the Master Sewer Plan this is to be located near the existing floodplain limits.
- Unless constructing off-site sewer system, all lots will need a variance for OSSF and must be a minimum of 1.5 acres.

Roadway Paving Items:

- Roadway to be concrete, curb and gutter style.
- Need to dedicate 60' of ROW from the center of SH 66 and reserve the additional ROW for the future SH 66. See attached sheet.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	12/14/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	12/15/2022	Approved w/ Comments

12/15/2022: Adequate water must be provided for the needed fire flow.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	12/13/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	12/13/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Henry Lee	12/19/2022	N/A

No Comments



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS *Parcel situated in David Harr Survey Abs. 102*

SUBDIVISION *25.41 Cain Revocable Trust Property*

LOT

BLOCK

GENERAL LOCATION *located east of W.D Boom Add. adjacent to and south of SH 66 centered between J. King Blvd. E 9549*

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING *AG*

CURRENT USE *AG*

PROPOSED ZONING *PD*

PROPOSED USE *PD*

ACREAGE *25.41*

LOTS [CURRENT]

LOTS [PROPOSED]

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER *Dewayne Cain*

APPLICANT *Douphrate & Assoc. Inc*

CONTACT PERSON
ADDRESS *305 Stonebridge Dr*

CONTACT PERSON
ADDRESS *2235 Ridge Rd*

CITY, STATE & ZIP *Rockwall, TX 75087*

CITY, STATE & ZIP *Rockwall, TX 75087*

PHONE *214.533.8641*

PHONE *972.742.2210*

E-MAIL *dewaynecain25@outlook.com*

E-MAIL *wldouphrate@douphrate.com*

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED *Dewayne Cain* [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

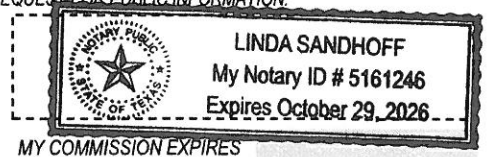
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ *581.15* TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE *16* DAY OF *December*, 20*12* BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE *12* DAY OF *Dec*, 20*21*.

OWNER'S SIGNATURE *Dewayne Cain*

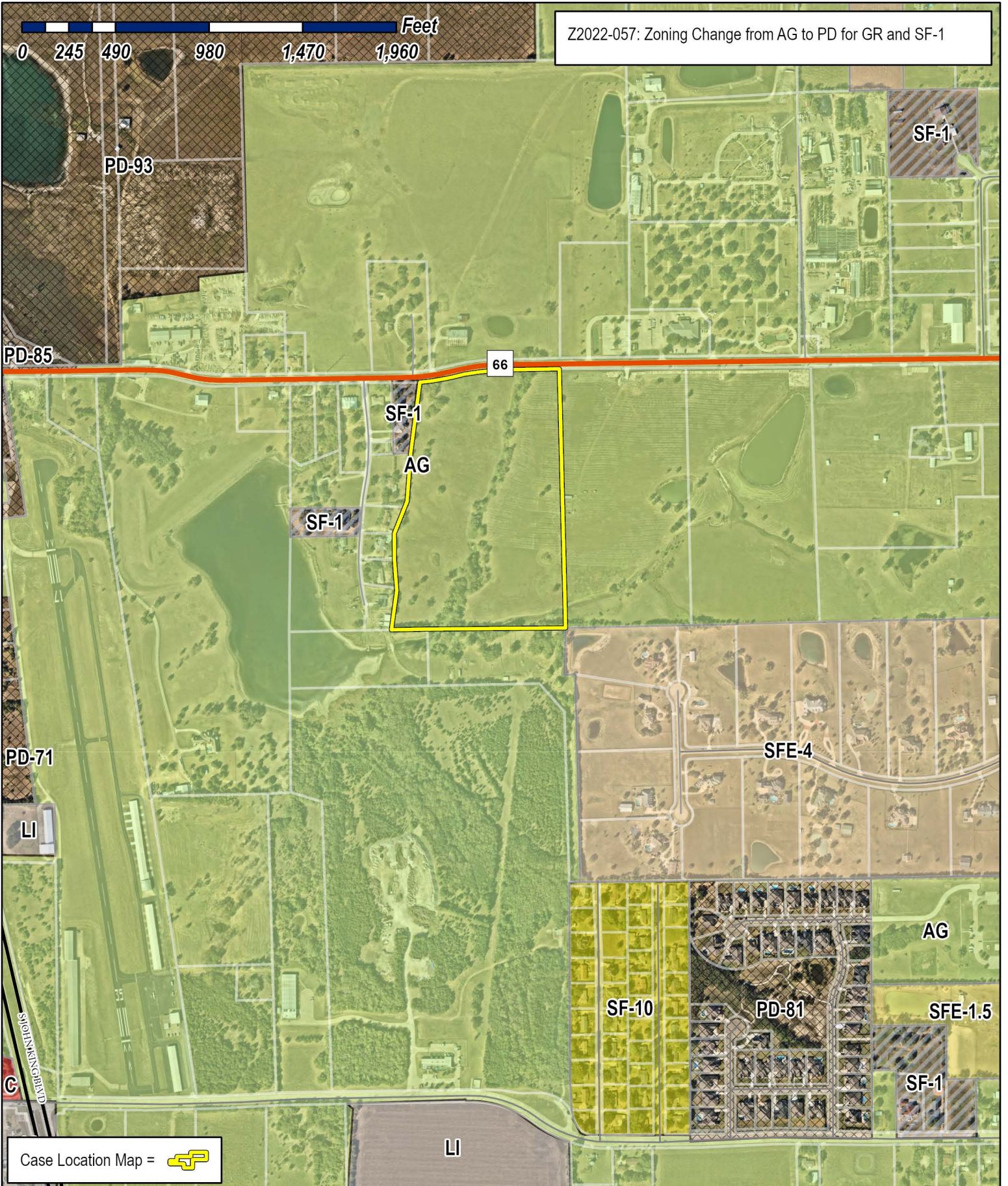
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS


Linda Sandhoff



MY COMMISSION EXPIRES

Z2022-057: Zoning Change from AG to PD for GR and SF-1



Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

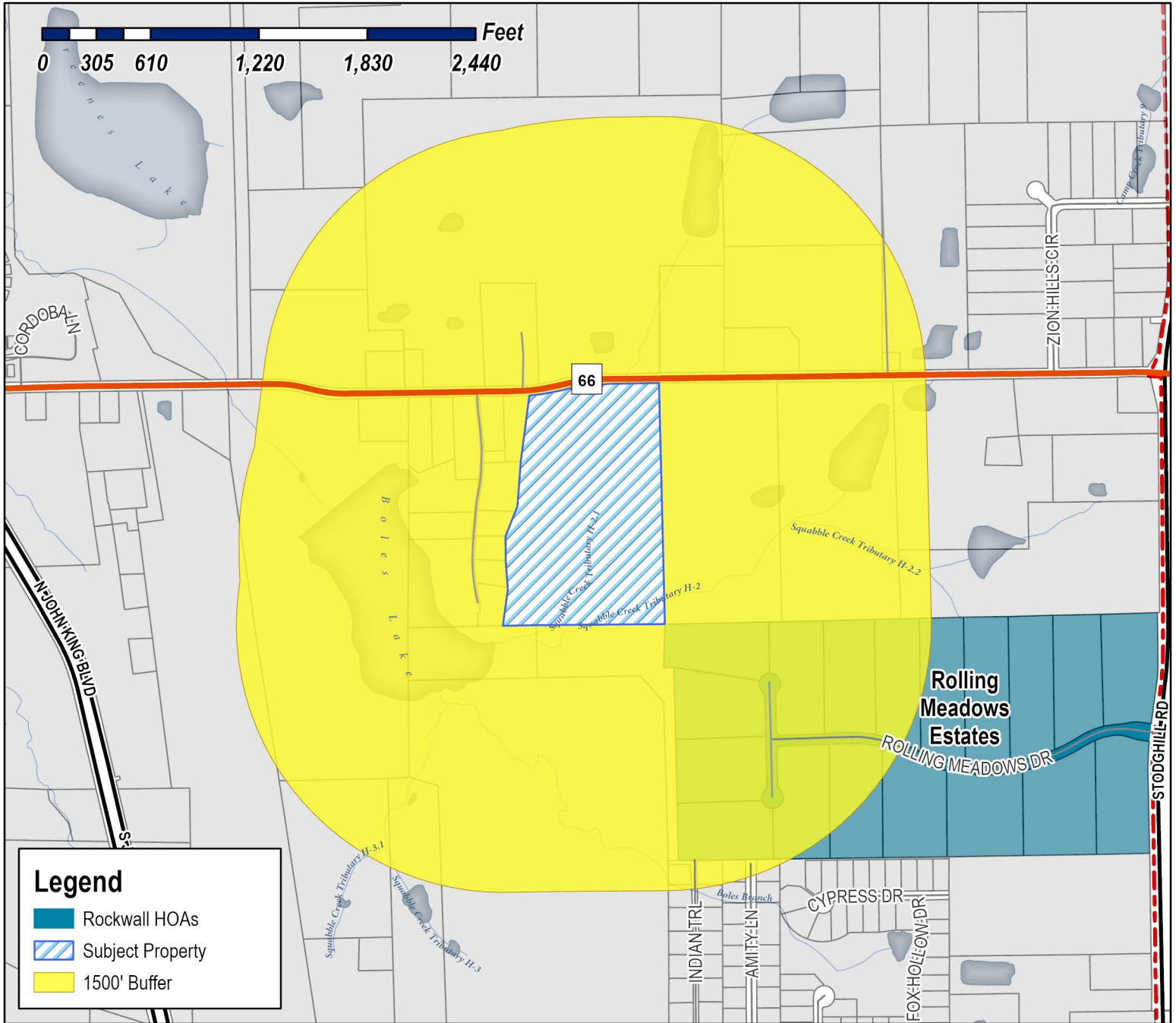




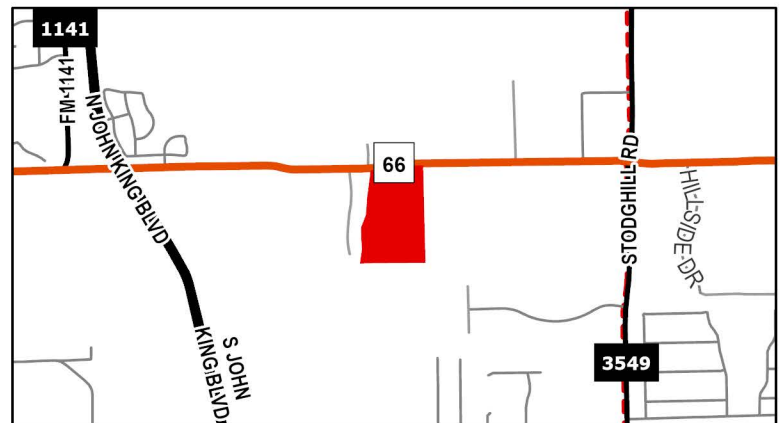
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Case Number: Z2022-057
Case Name: Zoning Change from AG to PD
Case Type: Zoning
Zoning: Agricultural (AG) District
Case Address: SE of HWY 66 & John King Blvd



Date Saved: 12/12/2022
 For Questions on this Case Call (972) 771-7745

Lee, Henry

From: Guevara, Angelica
Sent: Wednesday, December 14, 2022 3:02 PM
Cc: Miller, Ryan; Ross, Bethany; Chapin, Sarah; Lee, Henry
Subject: Neighborhood Notification Program [Z2022-057]
Attachments: Public Notice Z2022-057.pdf; HOA Map (12.12.2022).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *December 16, 2022*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, January 10, 2023 at 6:00 PM*, and the City Council will hold a public hearing on *Tuesday, January 17, 2023 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2022-057: Zoning Change from AG to PD for GR and SF-1 District land uses

Hold a public hearing to discuss and consider a request by Dub Douphrate of Douphrate and Associates, Inc. for the approval of a *Zoning Change* from an Agricultural (AG) District to a Planned Development (PD) District for General Retail (GR) District and Single-Family 1 (SF-1) District land uses on a 25.87-acre tract of land identified as parcel of land identified as Tract 14 of the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the East SH-66 Overlay (E. SH-66 OV) District, generally located southside of SH-66 east of the intersection of SH-66 and Davis Drive, and take any action necessary.

Thank you,

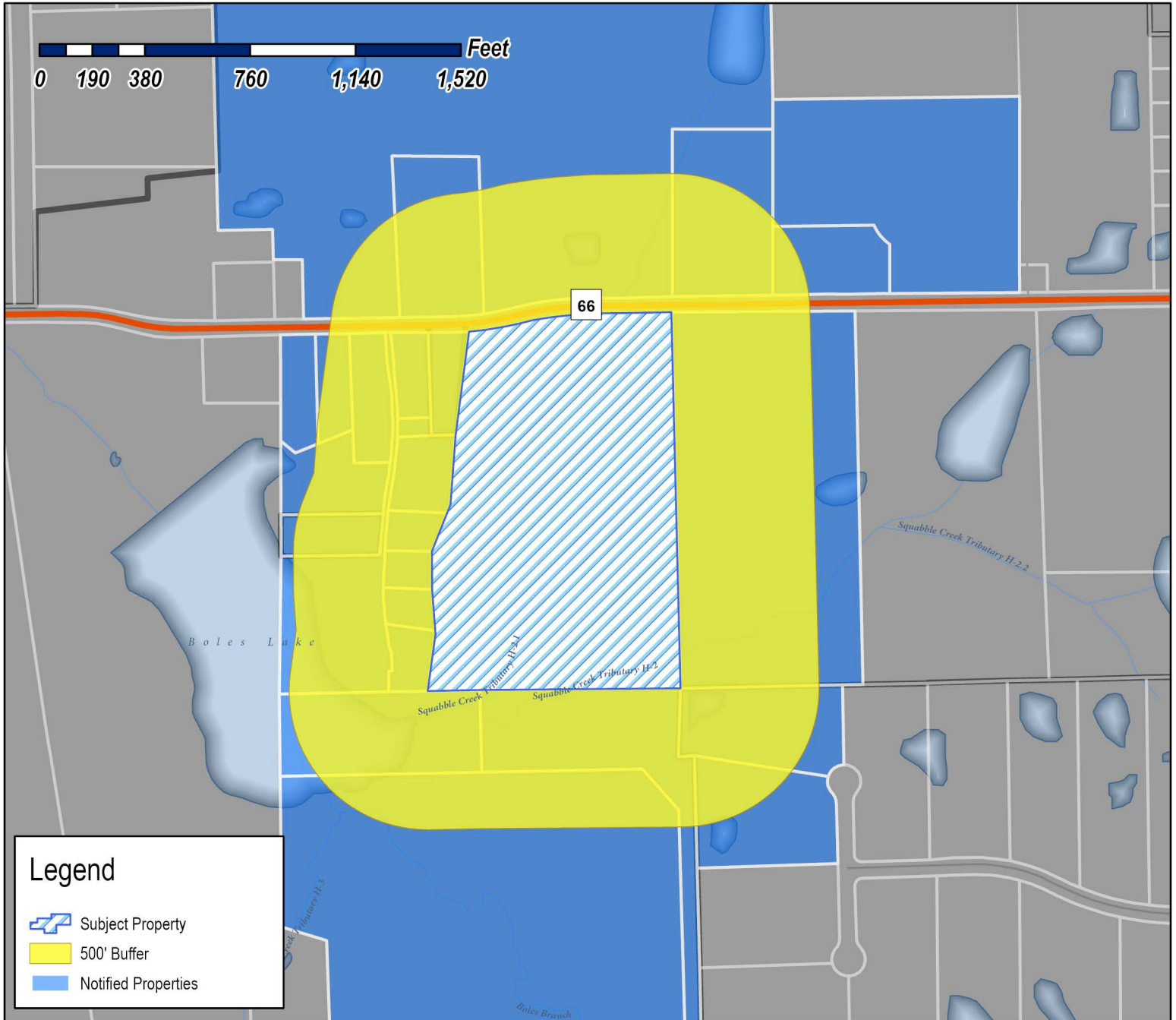
Angelica Guevara
Planning Technician
City of Rockwall Planning & Zoning
385 S. Goliad Street
Rockwall, TX 75087
Office: 972-771-7745
Direct: 972-772-6438



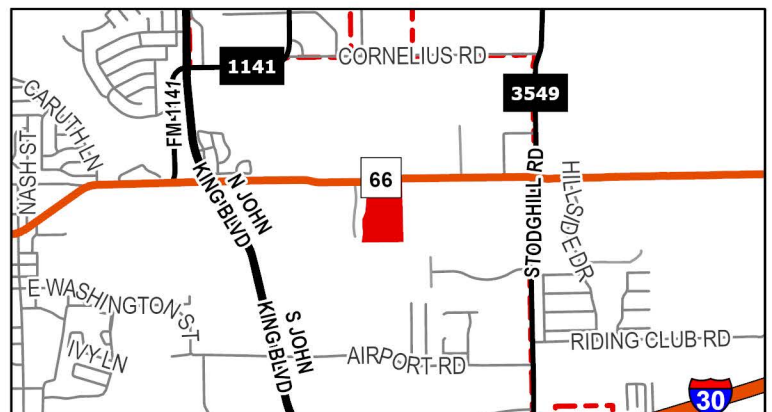
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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Case Number: Z2022-057
Case Name: Zoning Change from AG to PD
Case Type: Zoning
Zoning: Agricultural (AG) District
Case Address: SE of HWY 66 & John King Blvd



Date Saved: 12/12/2022

For Questions on this Case Call: (972) 771-7746

NELSON MARC J & MICHELLE L
135 ROLLING MEADOWS CIR
ROCKWALL, TX 75087

152 HILL LN
ROCKWALL, TX 75087

CUMMINGS JOHN & LORI
1770 E HWY66
ROCKWALL, TX 75087

COLLIER JUDY KAY AND
THERESA ROBBINS
1780 WILLIAMS ST
ROCKWALL, TX 75087

MCILRATH PROPERTIES LLC
1790 WILLIAMS ST
ROCKWALL, TX 75087

RYAN BILL K
1800 WILLIAMS ST
ROCKWALL, TX 75087

CITY OF ROCKWALL
1815 AIRPORT RD
ROCKWALL, TX 75087

SULLIVAN BRETT D & EDNA
195 ROLLING MEADOWS CIR
ROCKWALL, TX 75087

CITY OF ROCKWALL
205 W RUSK ST
ROCKWALL, TX 75087

CAIN FAMILY PARTNERSHIP LTD
2294 E STATE HIGHWAY 66
ROCKWALL, TX 75087

CARRIAGE MANAGEMENT INC
2500 HWY66
ROCKWALL, TX 75087

CARRIAGE MANAGEMENT INC
3040 POST OAK BLVD SUITE 300
HOUSTON, TX 77056

CARRIAGE MANAGEMENT INC
3040 POST OAK BLVD SUITE 300
HOUSTON, TX 77056

CAIN FAMILY PARTNERSHIP LTD
305 STONEBRIDGE DR
ROCKWALL, TX 75087

CAIN FAMILY PARTNERSHIP LTD
305 STONEBRIDGE DR
ROCKWALL, TX 75087

CUMMINGS JOHN & LORI
308 STONEBRIDGE DR
ROCKWALL, TX 75087

RYAN BILL K
330 VZ CR 2207
CANTON, TX 75103

RYAN GARY S AND CONSTANCE E
502 WILLIAMS ST
ROCKWALL, TX 75087

MCILRATH PROPERTIES LLC
636 GRISHAM DR
ROCKWALL, TX 75087

SELLERS DONYA BEATRICE
700 DAVIS DR
ROCKWALL, TX 75087

SELLERS DONYA BEATRICE
700 DAVIS DR
ROCKWALL, TX 75087

SELLERS DONYA BEATRICE
700 DAVIS DR
ROCKWALL, TX 75087

RYAN GARY S AND CONSTANCE E
710 DAVIS DR
ROCKWALL, TX 75087

MOCK ALYSSA
720 DAVIS DR
ROCKWALL, TX 75087

MA MICHAEL D AND CAROLINE J G MOORE
725 DAVIS DR
ROCKWALL, TX 75087

DAILEY MARK L
730 DAVIS DR
ROCKWALL, TX 75087

SARACAY JOSELIN E LANDAVERDE AND
JOSE ANTONIO LANDAVERDE
735 DAVIS DRIVE
ROCKWALL, TX 75087

RINKEVICH FAMILY LIVING TRUST
JOSEPH W RINKEVICH- TRUSTEE
740 DAVIS DR
ROCKWALL, TX 75087

RAINES SHERYL
745 DAVIS DR
ROCKWALL, TX 75087

COOK SHERRY LYNN
760 DAVIS DRIVE
ROCKWALL, TX 75087

WIDBOOM ROBBY AND KYLIE
770 DAVIS DR
ROCKWALL, TX 75087

CAIN REVOCABLE FAMILY TRUST AND
CREDIT SHELTER TRUST AND SURVIVORS TRUST
DEWAYNE CAIN TRUSTEE 305 STONEBRIDGE DR
ROCKWALL, TX 75087

CAIN CEMETARY CORP
N/A HWY66
ROCKWALL, TX 75087

CAIN CEMETARY CORP
PO BOX 1119
ROCKWALL, TX 75087

RAINES SHERYL
PO BOX 412
ROCKWALL, TX 75087

, 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2022-057: Zoning Change from AG to PD for GR and SF-1 District land uses

Hold a public hearing to discuss and consider a request by Dub Douphrate of Douphrate and Associates, Inc. for the approval of a Zoning Change from an Agricultural (AG) District to a Planned Development (PD) District for General Retail (GR) District and Single-Family 1 (SF-1) District land uses on a 25.87-acre tract of land identified as parcel of land identified as Tract 14 of the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the East SH-66 Overlay (E. SH-66 OV) District, generally located southside of SH-66 east of the intersection of SH-66 and Davis Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, January 10, 2023 at 6:00 PM, and the City Council will hold a public hearing on Tuesday, January 17, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Tuesday, January 17, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2022-057: Zoning Change from AG to PD for GR and SF-1 District land uses

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

[PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE](#)

November 10, 2022

City of Rockwall

Planning and Zoning Department

385 S. Goliad Street

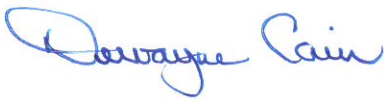
Rockwall, TX 75087

Dear Sirs:

I am requesting a Planned Development on a 25.41-acre tract of land my family trust owns. The property is in the David Harr Survey Abstract #102 and is adjacent to State Highway 66. The property falls within the Rockwall City Limits. The PD will be a mixed-use development consisting of residential lots that are larger than most currently being developed in Rockwall. As a buffer, the front of the property adjacent to State Highway 66 will be zoned commercial.

Respectfully submitted,

Cain Family Revocable Trust

A handwritten signature in blue ink that reads "Dewayne Cain". The signature is written in a cursive style with a large initial 'D'.

Dewayne Cain, Trustee

December 5, 2022

Ryan Miller
Director of Planning
City of Rockwall, Texas

Re: Request for On-Site Sewage Facilities for the SH -66 Cain PD Zoning Case Z2022-053

Dear Ryan,

On behalf of Mr. Dewayne Cain, please allow this letter to serve as a formal request to allow on-site sewage facilities for the proposed residential and general retail lots since all the lots exceed the minimum 1.5-acre requirement. We request this waiver due to the size of the general retail and residential estate size lots proposed in this zoning application.

Should you have any questions regarding this request please let me know.

Sincerely,

W.L. Douphrate II

W.L. Douphrate II, P.E.

December 2, 2022

Ryan Miller
Director of Planning
City of Rockwall, Texas

Re: Request for Waiver of Alleys for the SH -66 Cain PD Zoning Case Z2022-053

Dear Ryan,

On behalf of Mr. Dewayne Cain, please allow this letter to serve as a formal request to waive the residential alley requirements as outlined in the City of Rockwall's Standards of Design and Construction Manual. We request this waiver due to the size of the estate size lots proposed in this zoning application.

Should you have any questions regarding this request please let me know.

Sincerely,

W.L. Douphrate II

W.L. Douphrate II, P.E.

STATE OF TEXAS:

COUNTY OF ROCKWALL:

FIELD NOTES:

BEING a 25.41 acre tract of land situated in the David Harr Survey, Abstract No. 102 and being the same tract of land as described in a Warranty Deed from J. Diane Folzenlogen to the Cain Revocable Family Trust as recorded in Volume 3537, Page 162 of the Deed Records of Rockwall, County, Texas and being more particularly described as follows:

BEGINNING at the northeast corner of the Lot 1, Block A of the Widboom Addition, an addition to the City of Rockwall as recorded in Cabinet J, Slide 375 of the Plat Records of Rockwall County, Texas, said point being on the south right-of-way line of S.H. 66 (a 60' wide right-of-way);

THENCE along the south line of said S.H. 66 and along a curve to the left having a central angle of $7^{\circ}13'52''$, a radius of 990.00' and a chord that bears North $82^{\circ}52'21''$ East a distance of 124.86';

THENCE along said curve an arc distance of 124.94' to a TXDOT concrete monument with an aluminum cap stamped "1453";

THENCE North $79^{\circ}08'41''$ East a distance of 127.20' to a TXDOT concrete monument with an aluminum cap stamped "1455", said point being the beginning of a curve to the right having a central angle of $11^{\circ}05'24''$, a radius of 905.00' and a chord that bears North $84^{\circ}41'23''$ East a distance of 174.90';

THENCE along said right-of-way line an arc distance of 175.17' to a busted TXDOT monument found;

THENCE South $89^{\circ}41'47''$ East along said right-of-way line, a distance of 323.43' to a point for a corner, said point being the northwest corner of Tract 2 of a tract of land conveyed to Cain Family Partnership, Ltd. as recorded in Rockwall File Clerk's No. 20170000009797 of the Real Property Records of Rockwall County, Texas (R.P.R.R.C.T.);

THENCE South $00^{\circ}05'21''$ West along the west line of said Tract 2, a distance of 1341.99' to a $\frac{1}{2}$ " iron rod found at the southwest base of a wood fence corner post, said point being the northwest corner of Lot 10 of the revised Final Plat of Rolling Meadows Estates addition, an addition to Rockwall County, Texas as recorded in Cabinet D, Slide 59 of the Plat Records of Rockwall, County, Texas, said point also being the easterly northeast corner of a tract of land conveyed to Donya Beatrice Sellers as recorded in Instrument No. 20170000020261 of the Real Property Records of Rockwall County, Texas;

THENCE South $89^{\circ}34'34''$ West along the north line of said Sellers Tract, a distance of 906.59' to a wooden fence corner post being an "ell" corner of said Sellers tract;

THENCE North $06^{\circ}39'29''$ East along the east line of said Sellers Tract, a distance of 220.86' to a $\frac{1}{2}$ " iron pipe found, said point being the southeast corner of a tract of land conveyed to Gary S. Ryan as recorded in Instrument No. 20170000021114 R.P.R.R.C.T.;

THENCE North $03^{\circ}25'15''$ West a distance of 153.31' to a point for a corner, said point being the northeast corner of said Ryan Tract and the southeast corner of a tract of land conveyed to Alyssa Mock as recorded in Instrument No. 20200000013993 R.P.R.R.C.T.;

THENCE North 05°32'26" East a distance of 135.26' to a point for a corner, said point being the northeast corner of said Mock Tract and the southeast corner of a tract of land conveyed to Mark Dailey as recorded in Volume 2242, Page 276 of the Deed Records of Rockwall County, Texas;

THENCE North 20°09'09" East a distance of 154.69' to a ½" iron rod found for the northeast corner of said Dailey Tract and the southeast corner of a tract of land conveyed to Joseph W. Rinkevich as recorded in Volume 6147, Page 28 of the Deed Records of Rockwall County, Texas;

THENCE North 06°55'10" East a distance of 161.51' to a ½" iron rod found for a corner;

THENCE North 06°48'25" East a distance of 112.14' to a 3/8" iron rod found for the northeast corner of said Rinkevich Tract and the southeast corner of said Widboom Addition;

THENCE North 07°10'37" East a distance of 373.75' to the POINT OF BEGINNING and containing 25.41 acres or 1,107,008 square feet of land.

01 CENTRAL DISTRICT

DISTRICT STRATEGIES

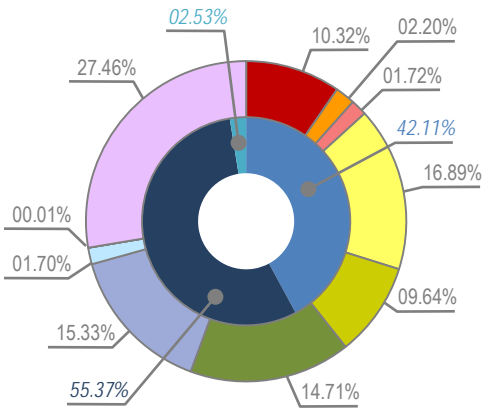
DISTRICT DESCRIPTION

The *Central District* is composed of a wide range of land uses that vary from single-family to industrial. The district's residential areas consist of suburban residential (e.g. *Park Place*), estate and rural residential (e.g. *Rolling Meadows Subdivision*), and higher density residential developments (e.g. *Evergreen Senior Living*). The *Central District* also incorporates a high volume of industrial land uses adjacent to the *Union Pacific/Dallas Garland and Northeastern Rail Road* line that bisects the district -- and *City* -- in an east/west direction. The *Ralph Hall Municipal Airport* and several other large public/school facilities are also located within the boundaries of this district.

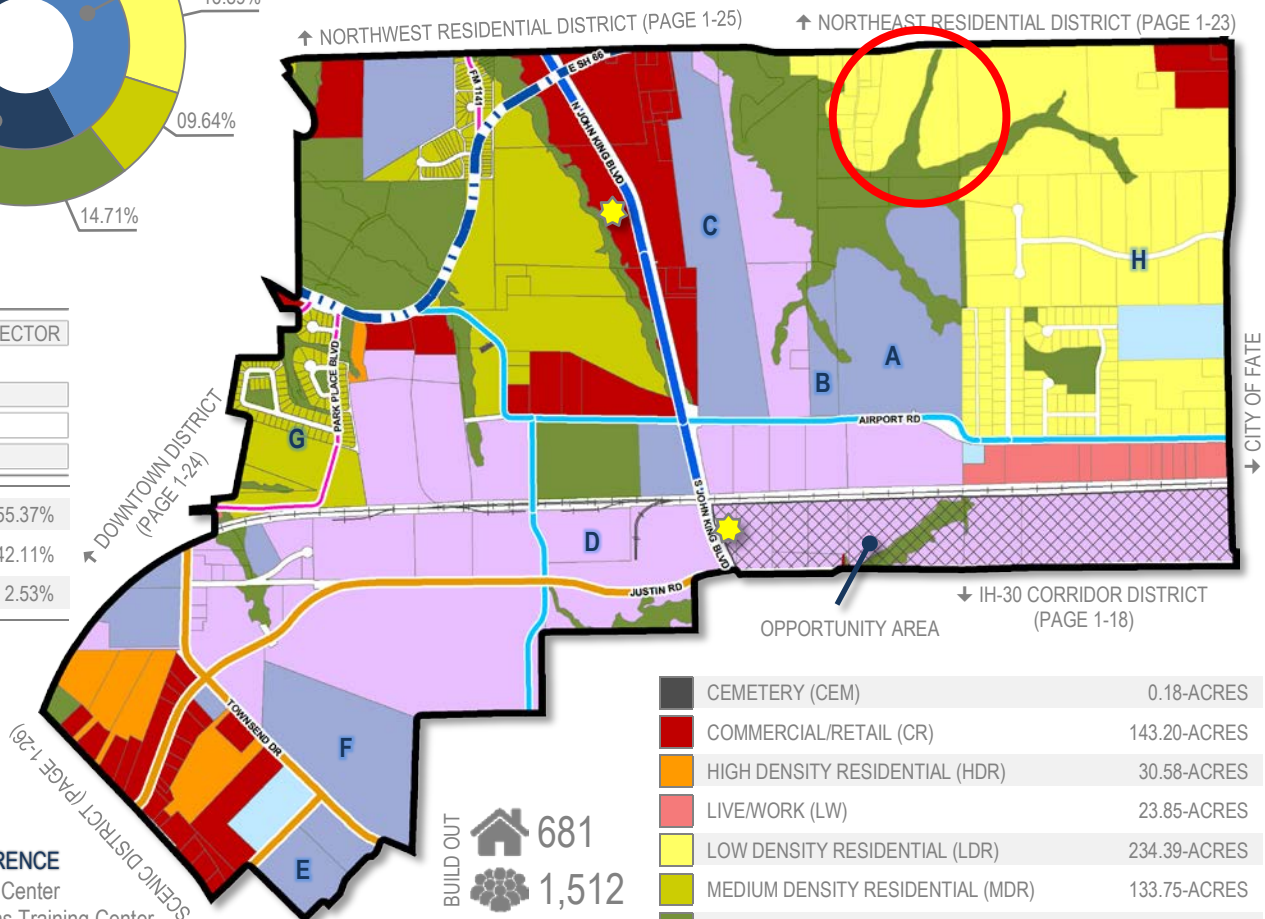
The *Central District* still has some key vacant and underutilized tracts of land that are anticipated to shape the area moving forward. Taking these areas into consideration the following are the strategies for this district:

- 1 Live/Work.** The live/work designation in this district is intended to provide flexibility for land owners, adjacent to the railroad tracks, to transition their properties -- *when appropriate* -- to low intensity office/retail land uses that are similar in scale and scope to the adjacent residential properties.
- 2 Suburban Residential.** While many of the larger tracts in this area are not large enough to support a master planned community (*which is characteristic of Northern Estates and Northwest Residential Districts*), any new *Suburban Residential* developments should include a mix of larger to mid-sized lots. Lots in these developments should *not* be smaller than existing *Suburban Residential* lots in this district, but should be comparable in size to newer developments (*i.e. Ridgecrest Subdivision*). In addition, newer subdivisions adjacent to existing larger lot subdivisions should provide a transition (*e.g. larger lots or a large landscape buffer*) adjacent to the existing subdivision.
- 3 Commercial/Retail Centers.** The commercial/retail centers in this district are intended to support existing and proposed residential developments, and should be compatible in scale with adjacent residential structures (*i.e. are more characteristic of neighborhood/convenience centers*); however, areas adjacent to John King Boulevard should be capable of accommodating mid to large-scale commercial users. All commercial developments should incorporate appropriate screening (*e.g. berms, landscaping and large buffers*) to transition uses.
- 4 Industrial/Special Commercial Corridor Opportunity Area.** The area south of the railroad tracks that is indicated by a crosshatched pattern represents an opportunity area in the City of Rockwall. Due to its adjacency to the railroad tracks, the land is naturally suitable for *Technology/Industrial* land uses; however, due to the land's adjacency to strategically located parcels along IH-30 the land could be utilized as part of a larger development in the *Special Commercial Corridor*.
- 5 John King Boulevard Trail Plan.** A ten (10) foot hike/bike trail should be incorporated along John King Boulevard with rest stops and signage as indicated in *Appendix 'B'* of this Comprehensive Plan.

John King Boulevard Trail Plan
Rest Stop/Trailblazer Pylon



Line Style	Description	Percentage
Black	COMMERCIAL	55.37%
Blue	RESIDENTIAL	42.11%
Light Blue	MIXED USE	2.53%
Orange	MINOR COLLECTOR	
Light Blue	M4U	
Orange	M4D	
Blue	P6D	
Blue with square	TXDOT 4D	



POINTS OF REFERENCE

- A. Animal Adoption Center
- B. Regional Firearms Training Center
- C. Ralph Hall Municipal Airport
- D. Leon Tuttle Athletic Complex
- E. Rockwall County Courthouse
- F. Utley Middle School
- G. Park Place Subdivision
- H. Rolling Meadows Subdivision

CURRENT

- House icon: 220
- Building icon: 71
- Flower icon: 488

% OF ROCKWALL

- House icon: 1.10%
- Building icon: 3.91%
- Flower icon: 0.82%

BUILD OUT

- House icon: 681
- Flower icon: 1,512

CEMETERY (CEM)	0.18-ACRES
COMMERCIAL/RETAIL (CR)	143.20-ACRES
HIGH DENSITY RESIDENTIAL (HDR)	30.58-ACRES
LIVE/WORK (LW)	23.85-ACRES
LOW DENSITY RESIDENTIAL (LDR)	234.39-ACRES
MEDIUM DENSITY RESIDENTIAL (MDR)	133.75-ACRES
PARKS AND OPEN SPACE (OS)	204.05-ACRES
PUBLIC (P)	212.77-ACRES
QUASI-PUBLIC (QP)	23.65-ACRES
SPECIAL COMMERCIAL CORRIDOR (SC)	0.08-ACRES
TECHNOLOGY/EMPLOYMENT CENTER (TEC)	381.07-ACRES

CITY OF ROCKWALL

ORDINANCE NO. 23-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO PLANNED DEVELOPMENT DISTRICT XX (PD-XX) FOR GENERAL RETAIL (GR) DISTRICT AND SINGLE-FAMILY 1 (SF-1) DISTRICT LAND USES ON THE SUBJECT PROPERTY, BEING A 25.87-ACRE TRACT OF LAND IDENTIFIED AS TRACT 14 OF THE D. HARR SURVEY, ABSTRACT NO. 102, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY EXHIBIT 'A' AND DEPICTED HEREIN BY EXHIBIT 'B'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Dub Douphrate of Douphrate and Associates, Inc. on behalf of Dewayne Cain for the approval of a zoning change from an Agricultural (AG) District to a Planned Development District for General Retail (GR) District and Single-Family 1 (SF-1) District land uses, on a 25.87-acre tract of land identified as Tract 14 of the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the East SH-66 Overlay (E. SH-66 OV) District, generally located on the southside of SH-66 east of the intersection of SH-66 and Davis Drive, and more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [*Ordinance No. 20-02*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

SECTION 2. That development of the *Subject Property* shall generally be in accordance with the *Concept Plan*, depicted in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 3. That development of the *Subject Property* shall generally be in accordance with

the *Density and Development Standards*, outlined in *Exhibit 'D'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'D'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*,

SECTION 4. That a *Master Parks and Open Space Plan* for the *Subject Property*, prepared in accordance with this ordinance and consistent with the *Planned Development Concept Plan* described in *Exhibit 'C'* of this ordinance, shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.

SECTION 5. That development of the *Subject Property* shall be in conformance with the schedule listed below (*except as set forth below with regard to simultaneous processing and approvals*).

- (a) The procedures set forth in the City's subdivision regulations on the date this ordinance is approved by the City, as amended by this ordinance [*including Subsections 5(b) through 5(g) below*], shall be the exclusive procedures applicable to the subdivision and platting of the *Subject Property*.
- (b) The following plans and plats shall be required in the order listed below (*except as set forth below with regard to simultaneous processing and approvals*). The City Council shall act on an application for a *Master Parks and Open Space Plan* in accordance with the time period specified in *Section 212.009* of the *Texas Local Government Code*.
 - (1) *Master Parks and Open Space Plan (Residential Only)*
 - (2) *Master Plat (Residential Only)*
 - (3) *Preliminary Plat (Residential Only)*
 - (4) *PD Development Plan (Non-Residential Only)*
 - (5) *PD Site Plan*
 - (6) *Final Plat*
- (c) *Master Parks and Open Space Plan*. A *Master Parks and Open Space Plan* for the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, prepared in accordance with this ordinance, shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.
- (d) *Master Plat*. A *Master Plat* for the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted and shall identify the proposed timing of each phase of the proposed development. A *Master Plat* application may be processed by the City concurrently with a *Master Parks and Open Space Plan* application for the development.
- (e) *Preliminary Plat*. A *Preliminary Plat* for each phase of the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted in accordance with the phasing plan established by the *Master Plat* and shall include a *Treescape Plan* for the phase being *Preliminary Platted*. A *Preliminary Plat* application may be processed by the City concurrently with a *Master Plat* and a *Master Parks and Open Space Plan* application for the development.
- (f) *PD Site Plan*. A *PD Site Plan* for each phase of the development of the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted and shall identify all site/landscape/hardscape plan(s) for all open space, neighborhood parks,

trail systems, street buffers and entry features. A *PD Site Plan* application may be processed by the City concurrently with a *Final Plat* application for the development.

- (g) *Final Plat*. Prior to the issuance of any building permits, a *Final Plat*, conforming to the *Preliminary Plat*, shall be submitted for approval.

SECTION 6. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 7. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 8. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

SECTION 9. That this ordinance shall take effect immediately from and after its passage;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 6TH DAY OF FEBRUARY, 2023.

Kevin Fowler, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: January 17, 2023

2nd Reading: February 6, 2023

Exhibit 'A':
Legal Description

BEING a 25.41 acre tract of land situated in the David Harr Survey, Abstract No. 102 and being the same tract of land as described in a Warranty Deed from J. Diane Folzenlogen to the Cain Revocable Family Trust as recorded in Volume 3537, Page 162 of the Deed Records of Rockwall, County, Texas and being more particularly described as follows:

BEGINNING at the northeast corner of the Lot 1, Block A of the Widboom Addition, an addition to the City of Rockwall as recorded in Cabinet J, Slide 375 of the Plat Records of Rockwall County, Texas, said point being on the south right-of-way line of S.H. 66 (a 60' wide right-of-way);

THENCE along the south line of said S.H. 66 and along a curve to the left having a central angle of 7°13'52", a radius of 990.00' and a chord that bears North 82°52'21" East a distance of 124.86';

THENCE along said curve an arc distance of 124.94' to a TXDOT concrete monument with an aluminum cap stamped "1453";

THENCE North 79°08'41" East a distance of 127.20' to a TXDOT concrete monument with an aluminum cap stamped "1455", said point being the beginning of a curve to the right having a central angle of 11°05'24", a radius of 905.00' and a chord that bears North 84°41'23" East a distance of 174.90';

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THENCE North 06°48'25" East a distance of 112.14' to a 3/8" iron rod found for the northeast corner of said Rinkevich Tract and the southeast corner of said Widboom Addition;

THENCE North 07°10'37" East a distance of 373.75' to the *POINT OF BEGINNING* and containing 25.41 acres or 1,107,008 square feet of land.

Exhibit 'B':
Survey

DRAFT
ORDINANCE
12.27.2022

**Exhibit 'C':
Concept Plan**

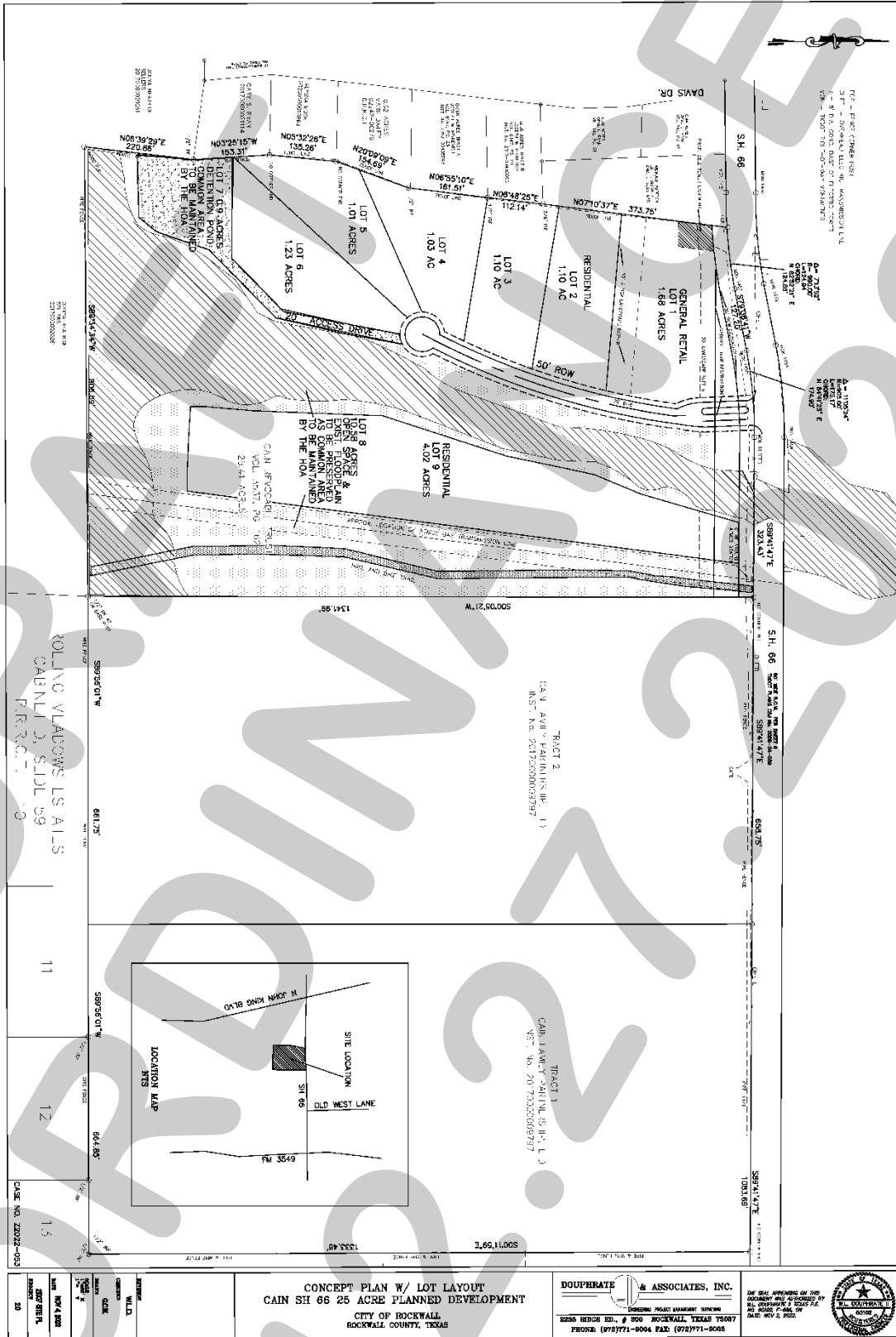


Exhibit 'D':
Density and Development Standards

DENSITY AND DEVELOPMENT STANDARDS.

- (1) Permitted Uses. Unless specifically provided by this Planned Development District ordinance, only those uses permitted within the General Retail (GR) District and Single-Family 1 (SF-1) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), are allowed on the *Subject Property*.
- (a) Residential Land Uses. Residential land uses shall be allowed only within the area designated for residential lots as depicted on the *Concept Plan* in *Exhibit 'C'* of this ordinance. These areas are limited to those uses permit by-right or by Specific Use Permit (SUP) for the Single-Family 1 (SF-1) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC).
- (b) Non-Residential Land Uses. Non-residential land uses shall be allowed only within the area designated for *General Retail* land uses as depicted on the *Concept Plan* in *Exhibit 'C'* of this ordinance. These areas are limited to those uses permitted *by-right* or by Specific Use Permit (SUP) for the General Retail (GR) District as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC) and subject to the approval of a *PD Development Plan* and *PD Site Plan* in accordance with the Planned Development District regulations contained in Article 10, *Planned Development District Regulations*, of the Unified Development Code (UDC); however, the subject property shall be subject to the following:

The following land uses shall be permitted by-right:

- Commercial Freestanding Antenna

The following uses shall be expressly prohibited:

- Animal Boarding/Kennel without Outside Pens
- Animal Hospital or Clinic
- Convent, Monastery, or Temple
- Commercial Parking Garage
- Limited-Service, Full-Service, and/or Residence Hotel
- Motel
- Cemetery/Mausoleum
- Church/House of Worship
- Congregate Care Facility/Elderly Housing
- Emergency Ground Ambulance Services
- Hospital
- Mortuary or Funeral Chapel
- Financial Institution with Drive-Through
- Temporary Carnival, Circus, or Amusement
- Outdoor Commercial Amusement/Recreation
- Private Country Club
- Golf-Driving Range
- Temporary Fundraising Events by Non-Profit
- Indoor Gun Club with Skeet or Target Range
- Private Club, Lodge or Fraternal Organization

Exhibit 'D':
Density and Development Standards

- Tennis Courts
- Banquet Facility/Event Hall
- Brew Pub
- Private Sports Arena, Stadium, and or Track
- Portable Beverage Service Facility
- Temporary Christmas Tree Sales Lot and/or Similar Uses
- Copy Center
- Incidental Display
- Food Trucks/Trailers
- Garden Supply/Plant Nursery
- Self Service Laundromat
- Night Club, Discotheque, or Dance Hall
- Pawn Shop
- Restaurant with less/more than 2,000 SF with a Drive-Through or Drive-In
- Rental Store without Outside Storage and/or Display
- Retail Store with Gasoline Sales that has less/more than Two (2) Dispensers
- Trade School
- Minor Auto Repair Garage
- Full Service Car Wash and Auto Detail
- Self Service Car Wash
- Non-Commercial Parking Lot
- Service Station
- Temporary Asphalt or Concrete Batch Plant
- Mining and Extraction of Sand, Gravel, Oil and/or Other Materials
- Helipad
- Railroad Yard or Shop
- Transit Passenger Facility

(2) Density and Dimensional Requirements. Unless specifically provided by this Planned Development District ordinance, the development standards stipulated for the *Subject Property* shall be as follows:

(a) Residential. Except as provided by this Planned Development District ordinance, the residential land uses on the *Subject Property* shall be required to meet the development standards for the Single-Family 1 (SF-1) District, as specified by Article 05, *District Development Standards*, of the Unified Development Code (UDC). The maximum permissible density for the *Subject Property* shall not exceed 0.23 dwelling units per gross acre of land; however, in no case should the proposed development exceed 6 units. All lots shall conform to the standards depicted in *Table 2*, which are as follows:

TABLE 2: LOT DIMENSIONAL REQUIREMENTS

<u>Lot Type (see Concept Plan) ►</u>	
<i>Minimum Lot Width</i>	70'
<i>Minimum Lot Depth</i>	100'
<i>Minimum Lot Area</i>	8,400 SF
<i>Minimum Front Yard Setback</i> ⁽¹⁾	20'
<i>Minimum Side Yard Setback</i>	6'
<i>Minimum Length of Driveway Pavement</i>	25'
<i>Maximum Height</i> ⁽²⁾	36'
<i>Minimum Rear Yard Setback</i> ⁽³⁾	10'
<i>Minimum Area/Dwelling Unit (SF) [Air-Conditioned Space]</i>	3,000 SF

Exhibit 'D':
Density and Development Standards

Maximum Lot Coverage

45%

General Notes:

- ¹: The location of the *Front Yard Building Setback* as measured from the front property line. The front yard building setback shall be increased to a minimum of 50-feet adjacent to homes along SH-66.
- ²: The *Maximum Height* shall be measured to the eave or top plate (*whichever is greater*) of the single-family home.
- ³: The location of the *Rear Yard Building Setback* as measured from the rear property line.

- (b) ***Non-Residential!*** Except as modified by this Planned Development District ordinance, the non-residential land uses on the *Subject Property* shall be required to meet the development standards stipulated by the *General Overlay District Standards*, *General Commercial District Standards*, and the standards required for the General Retail (GR) District as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC). In addition, the *Commercial* area shall be designed to be pedestrian-oriented and easily accessible to the adjacent residential neighborhoods, and be constructed to be integrated with the adjacent uses, not be separated from them by screening walls or other physical barriers. This will be accomplished by creating paths from the adjacent development into the *Commercial* area and through the use of landscaping buffers utilizing a berm and three (3) tiered screening (*i.e. [1] a small to mid-sized shrub, [2] large shrubs or accent trees, and [3] canopy trees on 20-foot centers*), and building design and other urban design elements to create compatibility with the surrounding residential neighborhood.
- (3) ***Building Standards for Residential!*** All development shall adhere to the following building standards:
- (a) ***Masonry Requirement!*** The minimum masonry requirement for the exterior façade of all buildings shall be 90.00% (*excluding dormers and walls over roof areas*). For the purposes of this ordinance, the masonry requirement shall be limited to full width brick, natural stone, and cast stone. Cementitious fiberboard (*e.g. HardiBoard or Hardy Plank*) in a horizontal lap-siding, *board-and-batten* siding, or a decorative pattern (*see examples below*) may be used for up to 50.00% of the masonry requirement; however, administrative approval from the Director of Planning and Zoning may be requested for housing plans that utilize cementitious fiberboard in excess of 50.00% of the masonry requirement on a *case-by-case* basis.

FIGURE 1: EXAMPLES OF CEMENTITIOUS FIBERBOARD



Exhibit 'D':
Density and Development Standards

FIGURE 2: EXAMPLES OF BOARD AND BATTEN



FIGURE 3: EXAMPLES OF HORIZONTAL LAP



- (b) ***Roof Pitch.*** A minimum of an 8:12 roof pitch is required on all structures with the exception of dormers, sunrooms and porches, which shall have a minimum of a 4:12 roof pitch.
- (c) ***Garage Orientation and Garage Doors.*** Garages shall be oriented in a traditional swing (or j-swing) or recessed front entry (i.e. the garage door may be oriented toward the street as long as it is setback a minimum of 20-feet behind the front façade of the primary structure). All garage doors shall be required to have upgraded finishes (e.g. divided garage bay doors, carriage style hardware and lighting elements, cedar clad garage doors, or a similar alternative -- to be approved by staff):

Continued on Next Page ...

Exhibit 'D':
Density and Development Standards

FIGURE 4: EXAMPLES OF ENHANCED WOOD GARAGE DOOR



FIGURE 5: EXAMPLES OF UPGRADED FINISHES



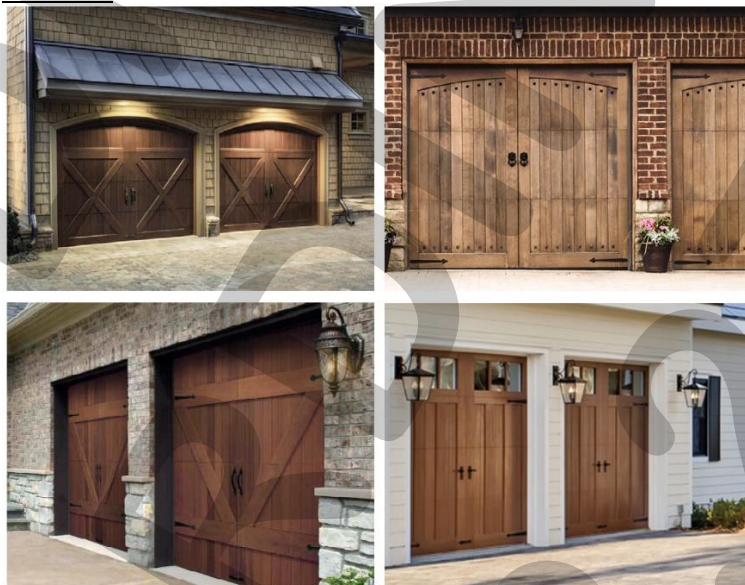
DIVIDED BAYS

CARRIAGE HARDWARE

CEDAR CLADDING

ORNAMENTAL PAVING

FIGURE 6: EXAMPLES OF UPGRADED GARAGES



(4) Anti-Monotony Restrictions. The development shall adhere to the following *Anti-Monotony* standards:

(a) Identical brick blends or paint colors may not occur on adjacent (*side-by-side*) properties along any block face without at least five (5) intervening homes of differing materials on

Exhibit 'D':
Density and Development Standards

the same side of the street beginning with the adjacent property and six (6) intervening homes of differing materials on the opposite side of the street.

- (b) Front building elevations shall not repeat along any block face. Homes are considered to have a differing appearance if any of the following two (2) items deviate:
 - (1) Number of Stories
 - (2) Roof Type and Layout
 - (3) Articulation of the Front Façade
 - (c) The subdivision will allow for a maximum of four (4) compatible roof colors, and all roof shingles shall be an architectural or dimensional shingle (*3-Tab Roofing Shingles are prohibited*).
- (5) Fencing Standards. All individual residential fencing and walls shall be architecturally compatible with the design, materials and colors of the primary structure on the same lot, and meet the following standards:
- (a) Wrought Iron/Tubular Steel. All lots shall utilize fencing materials that shall be open in nature and not to exceed six (6) feet in height. Fences that extend beyond the front building line of any structure shall be required to be pipe-rail or similar fencing. No chain-link or wooden fencing shall be allowed.
 - (b) Lots with Floodplain. No fences shall be permitted within the floodplain.
- (6) Landscape and Hardscape Standards.
- (a) Landscape. Landscaping shall be reviewed and approved with the *PD Site Plan*. All *Canopy/Shade Trees* planted within this development shall be a minimum of four (4) caliper inches in size and all *Accent/Ornamental/Under-Story Trees* shall be a minimum of four (4) feet in total height. All shrubs shall be a minimum of five (5) gallons in size. Any residential lot that sides or backs to a major roadway where wrought iron/tubular steel fencing is required, shall be required to plant an additional row of shrubs adjacent to the wrought iron/tubular fence within the required 30-foot landscape buffer (*i.e. on the Homeowner's Associations' [HOAs'] property*). These shrubs shall be maintained by the Homeowner's Association (HOA).
 - (b) Landscape Buffer and Sidewalks (State Highway 66). A minimum of a 30-foot landscape buffer shall be provided along SH-66 (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and shrubbery along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-linear feet of frontage. A meandering six (6) foot trail shall be constructed within the 30-foot landscape buffer.
 - (c) Landscape Buffer (Adjacent to Residential Properties). A minimum of a 50-landscape buffer with a minimum of a 48-inch berm and three (3) tiered screening (*i.e. [1] a small to mid-sized shrub, [2] large shrubs or accent trees, and [3] canopy trees on 20-foot centers*) along the entire adjacency.

Exhibit 'D':
Density and Development Standards

- (d) Street Trees. The Homeowner's Association (HOA) shall be responsible for the maintenance of all street trees and will be required to maintain a minimum of 14-foot vertical clearance height for any trees overhanging a public right-of-way. Street trees shall be planted a minimum of five (5) feet from public water, sanitary sewer and storm lines that are less than ten (10) inches and ten (10) feet from public water, sanitary sewer and storm lines that are greater than ten (10) inches. All street trees shall be reviewed with the *PD Site Plan*.
- (e) Residential Lot Landscaping. Prior to the issuance of a Certificate of Occupancy (CO), all residential lots depicted on *Exhibit 'C'* shall be landscaped with a minimum of two (2), four (4) inch caliper canopy trees (as measured per Article 08, Landscape and Fence Standards, of the Unified Development Code [UDC]) within the front yard. In addition, corner lots shall be required to add a minimum of two (2), four (4) inch caliper canopy trees (as measured per Article 08, Landscape and Fence Standards, of the Unified Development Code [UDC]) within the side yard facing the street.
- (f) Irrigation Requirements. Irrigation shall be installed for all required landscaping located within common areas, landscape buffers and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect and shall be maintained by the Homeowner's Association (HOA).
- (g) Hardscape. Hardscape plans indicating the location of all sidewalks and trails shall be reviewed and approved with the *PD Site Plan*.
- (7) Street. All streets (excluding drives, fire lanes and private parking areas) shall be built according to the City's standards.
- (8) Lighting. Light poles shall not exceed 20-feet in total height (i.e. base and lighting standard). All fixtures shall be directed downward and be positioned to contain all light within the development area.
- (9) Sidewalks. All sidewalks adjacent to a street shall be a maximum of two (2) feet inside the right-of-way line and be five (5) feet in overall width.
- (10) Buried Utilities. New distribution power-lines required to serve the *Subject Property* shall be placed underground, whether such lines are located internally or along the perimeter of the *Subject Property*, unless otherwise authorized by the City Council. Temporary power-lines constructed across undeveloped portions of the *Subject Property* to facilitate development phasing and looping may be allowed above ground, but shall not be considered existing lines at the time the area is developed, and if they are to become permanent facilities, such lines shall be placed underground pursuant to this paragraph. Franchise utilities shall be placed within a ten (10) foot public utility easement behind the sidewalk, between the home and the property line.
- (11) Neighborhood Signage and Enhancements. Permanent subdivision identification signage shall be required at all major entry points for the proposed subdivision. Final design and location of any entry features shall be reviewed and approved with the *PD Site Plan*. The developer shall provide enhanced landscaping areas at all entry points to the *Subject Property*. The final design of these areas shall be provided on the *PD Site Plan*.

Exhibit 'D':
Density and Development Standards

- (12) Homeowner's Association (HOA). A Homeowner's Association (HOA) shall be created to enforce the restrictions established in accordance with the requirements of *Section 38-15* of the *Subdivision Regulations* contained within the Municipal Code of Ordinances of the City of Rockwall. The HOA shall also maintain all private neighborhood parks, trails, open space and common areas (*including drainage facilities*), floodplain areas, irrigation, landscaping, screening fences and neighborhood signage associated with this development. These areas are required to be delineated on the *PD Site Plan*.
- (13) On-Site Sewage Facilities. Septic Systems are permitted on all lots within this subdivision pending conformance to the following standards:
- (a) All *Septic Systems* shall be designed by a licensed *On-Site Sewage Facility (OSSF)* professional (e.g. *licensed engineer, sanitarian, and etcetera*).
 - (b) A stamped and signed copy of the *Septic System* plans indicating the full limits of the septic field shall be submitted to the city at the time of building permit on a *lot-by-lot* basis.
 - (c) All *Septic Systems* shall be inspected and approved by the City's chosen inspector.
- (14) Variances. The variance procedures and standards for approval that are set forth in the Unified Development Code (UDC) shall apply to any application for variances to this ordinance.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 12/19/2022

PROJECT NUMBER: Z2022-058
PROJECT NAME: PD Development Plan for a Condominium Building
SITE ADDRESS/LOCATIONS:

CASE MANAGER: Henry Lee
CASE MANAGER PHONE: 972.772.6434
CASE MANAGER EMAIL: hlee@rockwall.com

CASE CAPTION:

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Henry Lee	12/19/2022	Approved w/ Comments

12/19/2022: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This request is for the approval of a PD Development Plan for a 176-unit condominium building on a 3.59-acre tract of land identified as Lots 1 & 2, Block1; Lots 1, 2, 3, & 4, Block 2; Lots 1, 2, 3, & 4, Block 3; Lots 1, 2, 3, & 4, Block 5; Lots 1 & 2 and a portion of Lots 3 & 4, Block 6; Lots 2, 3, & 4, Block 7; Lots 1 & 2, Block 8; and Lots 1, 2, 3, & 4, Block 9, Moton Addition, City of Rockwall, Rockwall County, Texas, situated within the Hillside Mixed Use Subdistrict and the Horizon/Summer Lee Subdistrict of Planned Development District 32 (PD-32), generally located at the southwest corner of the intersection of Horizon Road and Summer Lee Drive.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (Z2022-058) in the lower right-hand corner of all pages on future submittals.

I.4 Please note that the approval of this ordinance will supersede Ordinance No. 22-10.

I.5 Please note the following requirements per the Horizon/Summer Lee Subdistrict:

- (1) Setbacks from Right-of-Way Line
 - (a) Horizon Road: 40'; Not In Conformance @ 26' 11" – 39' 8"
 - (b) Glen Hill Way (New): 30'; In Conformance Per Ord. 22-10
 - (c) Pinnacle Way (New): 50'; In Conformance Per Ord. 22-10
 - (d) Summer Lee Drive: 30'; Not In Conformance @ 18' 1" – 23' 1"
- (2) Maximum Lot Coverage: 60%; Not In Conformance @ 76%
- (3) Building Height for First Floor: 15'; Will Require Conformance at Site Plan
- (4) Overall Building Height: 120'; Will Require Conformance at Site Plan
- (5) Encroachments in Setbacks: 5'; Will Require Conformance at Site Plan
- (6) Land Uses
 - (a) First Floor: Office, Retail, & Restaurant

(b) Upper Floors: Office

Approval of this PD Development Plan may waive some of these plan requirements; however, the applicant should try to meet these requirements where feasible and show conformance to these requirements on the plan.

M.6 Please provide a legal description of the subject property. This must be included in the ordinance.

M.7 Please verify the acreage of the subject property.

M.8 Please review the attached Draft Ordinance prior to the December 27, 2022 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than January 3, 2023. In reviewing the Draft Ordinance, please pay close attention to staff's suggestions.

I.9 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on January 3, 2023; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the January 10, 2023 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on December 27, 2022.

I.10 The projected City Council meeting dates for this case will be January 17, 2023 (1st Reading) and February 6, 2023 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	12/16/2022	Approved w/ Comments

12/16/2022: Informational comments.

General Items:

- Must meet City Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Wastewater & Roadway)
- Minimum easement width is 20' for new easements. No structures allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls 18" and taller must be rock or stone face. No smooth concrete walls.

Drainage Items:

- Dumpster to drain to an oil/water separator and then to the storm lines.
- Storm Pro-Rata \$7226.59/acre.
- Will require WOUS and wetland study for creek

Water and Wastewater Items:

- All electrical/franchise utility line to be underground.
- No structures in easements. Min. easement width is 20'.
- Minimum public utilities to be 8-inch.
- 12" water line to be installed in Glen Hill Way to connect to ex. 12" water

Roadway Paving Items:

- All parking including parking garage are required to be a minimum of 20'x9' and no dead end parking (must have approved turnaround or hammerhead)
- No dead end parking allowed.
- Fire Lane turn radii must be 30' minimum.
- Need offsite fire line and accessibility easement.
- Traffic Impact Analysis is required
- Need PD-32 required sidewalks along Summer Lee, Pinnacle Way and New Street and "new" street with landscaping and lighting

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	12/14/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	12/15/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	12/13/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	12/15/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Henry Lee	12/19/2022	N/A

No Comments



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	Property ID	Legal Description	19924	19925	19926	19927	19930	19932	19928	83086	19931
		MOTON, BLOCK 2, LOT 1,2,3 &4, FRONTAGE					MOTON, BLOCK 7, LOT 2,3 & 4				
		MOTON, BLOCK 3, LOT 1,2,3 & 4					MOTON, BLOCK 9, LOT 1,2,3 & 4				
SUBDIVISION		MOTON, BLOCK 2, LOT 1,2,3 &4, FRONTAGE					MOTON, BLOCK 6, LOT 1 & PT OF LOT 4, (REMAINDER OF LOT 4 IS IN THE ROAD)				
GENERAL LOCATION		MOTON, BLOCK 5, LOT 1,2,3 & 4					MOTON, BLOCK 6, LOT 2 & PT OF LOT 3, (REMAINDER OF LOT 3 IS IN THE ROAD)				
							MOTON, BLOCK 8, LOT 1 & 2				

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	PD-32	CURRENT USE	Undeveloped		
PROPOSED ZONING	PD-32	PROPOSED USE	Condominium		
ACREAGE	2.84	LOTS [CURRENT]	N/A	LOTS [PROPOSED]	N/A

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> OWNER	RIV Rockwall LLC	<input checked="" type="checkbox"/> APPLICANT	RIV Rockwall LLC
CONTACT PERSON	Asher Hamilton	CONTACT PERSON	Asher Hamilton
ADDRESS	PO Box 192054	ADDRESS	PO Box 192054
CITY, STATE & ZIP	Dallas, TX 75219	CITY, STATE & ZIP	Dallas, TX 75219
PHONE	(214) 908-4684	PHONE	(214) 908-4684
E-MAIL	ahamilton@realityinvestments.com	E-MAIL	ahamilton@realityinvestments.com

NOTARY VERIFICATION [REQUIRED]

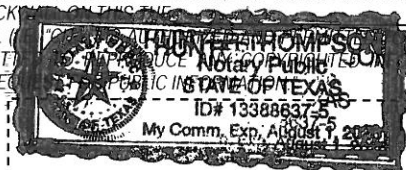
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Asher Hamilton [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT, AND THE APPLICATION FEE OF \$ _____, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF December, 2022. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (OR ITS EMPLOYEES) MAY REPRODUCE OR TRANSMIT THE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE OR TRANSMIT THE INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 12th DAY OF December, 2022.

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES 08/01/2026



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

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- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 19920 MOTON, BLOCK 1, LOT 1, FRONTAGE

SUBDIVISION 19921 MOTON, BLOCK 1, LOT 2, FRONTAGE LOT BLOCK

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-32 CURRENT USE Undeveloped

PROPOSED ZONING PD-32 PROPOSED USE Condominium

ACREAGE .22 LOTS [CURRENT] N/A LOTS [PROPOSED] N/A

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> OWNER	Alvin Moton Jr., James Moton, Terra Moton, Debra Heard, Beulah Robertson, Tony Moton, Kathy Moton	<input checked="" type="checkbox"/> APPLICANT	RIV Properties LLC RIV Rockwall LLC
CONTACT PERSON	David Stubblefield	CONTACT PERSON	Asher Hamilton
ADDRESS	709B W Rusk St #520	ADDRESS	PO Box 192054
CITY, STATE & ZIP	Rockwall, TX 75087	CITY, STATE & ZIP	Dallas, TX 75219
PHONE	(972) 772-0100	PHONE	(214) 908-4684
E-MAIL	david@davidstubblefield.com	E-MAIL	ahamilton@realtyinvestments.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Tony Curtis Moton [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING.

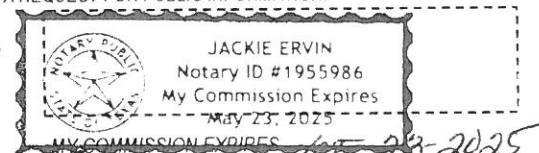
I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION. ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT. AND THE APPLICATION FEE OF \$ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 12 DAY OF December 2022. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 5th DAY OF December 2022

OWNER'S SIGNATURE

[Handwritten Signature: Tony Curtis Moton]
[Handwritten Signature: Jackie Ervin]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

² A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 19920 MOTON, BLOCK 1, LOT 1, FRONTAGE

SUBDIVISION 19921 MOTON, BLOCK 1, LOT 2, FRONTAGE LOT BLOCK

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-32 CURRENT USE Undeveloped

PROPOSED ZONING PD-32 PROPOSED USE Condominium

ACREAGE .22 LOTS [CURRENT] N/A LOTS [PROPOSED] N/A

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS. AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> OWNER	Alvin Moton Jr., James Moton, Terra Moton, Debra Heard, Beulah Robertson, Tony Moton, Kathy Moton	<input checked="" type="checkbox"/> APPLICANT	RIV Properties LLC RIV Rockwall LLC
CONTACT PERSON	David Stubblefield	CONTACT PERSON	Asher Hamilton
ADDRESS	709B W Rusk St #520	ADDRESS	PO Box 192054
CITY, STATE & ZIP	Rockwall, TX 75087	CITY, STATE & ZIP	Dallas, TX 75219
PHONE	(972) 772-0100	PHONE	(214) 908-4684
E-MAIL	david@davidstubblefield.com	E-MAIL	ahamilton@realtyinvestments.com

NOTARY VERIFICATION [REQUIRED]

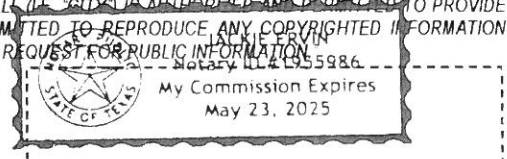
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Kathy Ann Moton [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 12 DAY OF December 2022 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (THE "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 5TH DAY OF December, 2022

OWNER'S SIGNATURE Kathy A Moton

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Jacque Erin



MY COMMISSION EXPIRES 05 23 2025



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City of Rockwall
Planning and Zoning Department
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STAFF USE ONLY

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DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

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- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
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- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
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- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

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PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 19920 MOTON, BLOCK 1, LOT 1, FRONTAGE

SUBDIVISION 19921 MOTON, BLOCK 1, LOT 2, FRONTAGE LOT BLOCK

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-32 CURRENT USE Undeveloped

PROPOSED ZONING PD-32 PROPOSED USE Condominium

ACREAGE .22 LOTS [CURRENT] N/A LOTS [PROPOSED] N/A

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS. AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> OWNER	Alvin Moton Jr., James Moton, Terra Moton, Debra Heard, Beulah Robertson, Tony Moton, Kathy Moton	<input checked="" type="checkbox"/> APPLICANT	RIV Properties LLC <i>RIV Rockwall LLC</i>
CONTACT PERSON	David Stubblefield	CONTACT PERSON	Asher Hamilton
ADDRESS	709B W Rusk St #520	ADDRESS	PO Box 192054
CITY, STATE & ZIP	Rockwall, TX 75087	CITY, STATE & ZIP	Dallas, TX 75219
PHONE	(972) 772-0100	PHONE	(214) 908-4684
E-MAIL	david@davidstubblefield.com	E-MAIL	ahamilton@realtyinvestments.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Terra Denise Moton [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

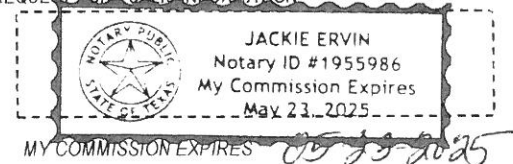
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GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 5th DAY OF December, 2022

OWNER'S SIGNATURE

Terra Moton
Jackie Ervin

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





DEVELOPMENT APPLICATION

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Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO.

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CITY ENGINEER:

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- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

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PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 19920 MOTON, BLOCK 1, LOT 1, FRONTAGE

SUBDIVISION 19921 MOTON, BLOCK 1, LOT 2, FRONTAGE

LOT

BLOCK

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-32

CURRENT USE Undeveloped

PROPOSED ZONING PD-32

PROPOSED USE Condominium

ACREAGE .22

LOTS [CURRENT] N/A

LOTS [PROPOSED] N/A

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS. AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Alvin Moton Jr., James Moton, Terra Moton, Debra Heard, Beulah Robertson, Tony Moton, Kathy Moton

APPLICANT ~~RIV Properties LLC~~ **RIV Properties LLC**
RIV Rockwall LLC

CONTACT PERSON David Stubblefield

CONTACT PERSON Asher Hamilton

ADDRESS 709B W Rusk St #520

ADDRESS PO Box 192054

CITY, STATE & ZIP Rockwall, TX 75087

CITY, STATE & ZIP Dallas, TX 75219

PHONE (972) 772-0100

PHONE (214) 908-4684

E-MAIL david@davidstubblefield.com

E-MAIL ahamilton@realtyinvestments.com

NOTARY VERIFICATION [REQUIRED]

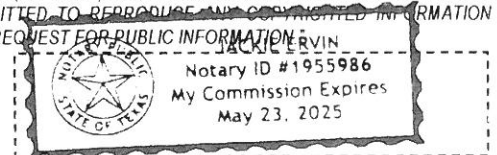
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Debra Lynn Heard [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION. ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT, AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 12 DAY OF December, 2022. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE AND COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 5th DAY OF December, 2022

OWNER'S SIGNATURE Debra Lynn Heard

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Jackie Ervin



MY COMMISSION EXPIRES 05-23-2025



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DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

<p>PLATTING APPLICATION FEES:</p> <input type="checkbox"/> MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹	<p>ZONING APPLICATION FEES:</p> <input type="checkbox"/> ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
<input type="checkbox"/> PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹	<input type="checkbox"/> SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
<input type="checkbox"/> FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹	<input checked="" type="checkbox"/> PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹
<input type="checkbox"/> REPLAT (\$300.00 + \$20.00 ACRE) ¹	<p>OTHER APPLICATION FEES:</p> <input type="checkbox"/> TREE REMOVAL (\$75.00)
<input type="checkbox"/> AMENDING OR MINOR PLAT (\$150.00)	<input type="checkbox"/> VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²
<input type="checkbox"/> PLAT REINSTATEMENT REQUEST (\$100.00)	
<p>SITE PLAN APPLICATION FEES:</p> <input type="checkbox"/> SITE PLAN (\$250.00 + \$20.00 ACRE) ¹	
<input type="checkbox"/> AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)	

NOTES:
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PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 19920 MOTON, BLOCK 1, LOT 1, FRONTAGE

SUBDIVISION 19921 MOTON, BLOCK 1, LOT 2, FRONTAGE LOT BLOCK

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-32 CURRENT USE Undeveloped

PROPOSED ZONING PD-32 PROPOSED USE Condominium

ACREAGE .12 LOTS [CURRENT] N/A LOTS [PROPOSED] N/A

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS. AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> OWNER	Alvin Moton Jr., James Moton, Terra Moton, Debra Heard, Beulah Robertson, Tony Moton, Kathy Moton	<input checked="" type="checkbox"/> APPLICANT	RIV Properties LLC RIV Rockwall LLC
CONTACT PERSON	David Stubblefield	CONTACT PERSON	Asher Hamilton
ADDRESS	709B W Rusk St #520	ADDRESS	PO Box 192054
CITY, STATE & ZIP	Rockwall, TX 75087	CITY, STATE & ZIP	Dallas, TX 75219
PHONE	(972) 772-0100	PHONE	(214) 908-4684
E-MAIL	david@davidstubblefield.com	E-MAIL	ahamilton@realtyinvestments.com

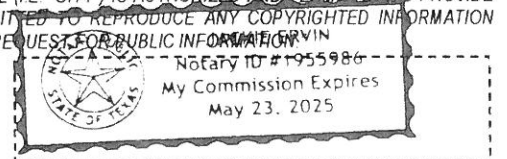
NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED James Loren Moton [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION. ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT. AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 12 DAY OF December 2022. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 5th DAY OF December 2022
OWNER'S SIGNATURE James A. Moton

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Jackie Green



MY COMMISSION EXPIRES 05-23-2025



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CITY ENGINEER:

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- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
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- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
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SITE PLAN APPLICATION FEES:

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PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 19920 MOTON, BLOCK 1, LOT 1, FRONTAGE

SUBDIVISION 19921 MOTON, BLOCK 1, LOT 2, FRONTAGE

LOT

BLOCK

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-32

CURRENT USE Undeveloped

PROPOSED ZONING PD-32

PROPOSED USE Condominium

ACREAGE .12

LOTS [CURRENT] N/A

LOTS [PROPOSED] N/A

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS. AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Alvin Moton Jr., James Moton, Terra Moton, Debra Heard, Beulah Robertson, Tony Moton, Kathy Moton

APPLICANT RIV Properties LLC ~~RIV Properties LLC~~
RIV Rockwall LLC

CONTACT PERSON David Stubblefield

CONTACT PERSON Asher Hamilton

ADDRESS 709B W Rusk St #520

ADDRESS PO Box 192054

CITY, STATE & ZIP Rockwall, TX 75087

CITY, STATE & ZIP Dallas, TX 75219

PHONE (972) 772-0100

PHONE (214) 908-4684

E-MAIL david@davidstubblefield.com

E-MAIL ahamilton@realtyinvestments.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Alvin David Moton, Jr. [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING.

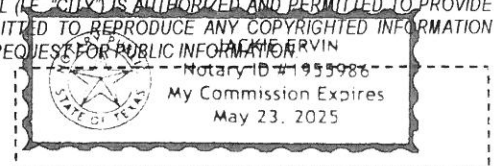
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GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 5th DAY OF December 2022

OWNER'S SIGNATURE

Alvin David Moton, Jr.
Jackie Erwin

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES 05-23-2025



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PROPERTY INFORMATION [PLEASE PRINT]

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SUBDIVISION 19921 MOTON, BLOCK 1, LOT 2, FRONTAGE LOT BLOCK

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-32 CURRENT USE Undeveloped

PROPOSED ZONING PD-32 PROPOSED USE Condominium

ACREAGE .12 LOTS [CURRENT] N/A LOTS [PROPOSED] N/A

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS. AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Alvin Moton Jr., James Moton, Terra Moton, Debra Heard, Beulah Robertson, Tony Moton, Kathy Moton

APPLICANT RIV Properties LLC *RIV Rockwall LLC*

CONTACT PERSON David Stubblefield

CONTACT PERSON Asher Hamilton

ADDRESS 709B W Rusk St #520

ADDRESS PO Box 192054

CITY, STATE & ZIP Rockwall, TX 75087

CITY, STATE & ZIP Dallas, TX 75219

PHONE (972) 772-0100

PHONE (214) 908-4684

E-MAIL david@davidstubblefield.com

E-MAIL ahamilton@realtyinvestments.com

NOTARY VERIFICATION [REQUIRED]

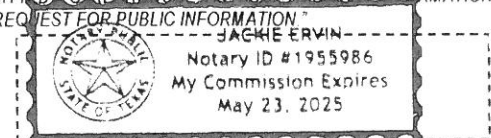
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Beulah Jean Robertson [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT. AND THE APPLICATION FEE OF \$ 2000.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 12 DAY OF December, 20 22. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 5th DAY OF December, 2022

OWNER'S SIGNATURE Beulah Jean Robertson

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Jackie Ervin



MY COMMISSION EXPIRES 05-23 2025



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

CC 9

PLANNING & ZONING CASE NO. [REDACTED]

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: [REDACTED]

CITY ENGINEER: [REDACTED]

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

MASTER PLAT (\$100.00 + \$15.00 ACRE)¹

PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹

FINAL PLAT (\$300.00 + \$20.00 ACRE)¹

REPLAT (\$300.00 + \$20.00 ACRE)¹

AMENDING OR MINOR PLAT (\$150.00)

PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

SITE PLAN (\$250.00 + \$20.00 ACRE)¹

AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹

SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}

PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

TREE REMOVAL (\$75.00)

VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS: 19922 MOTON, BLOCK 1, LOT 3, FRONTAGE

SUBDIVISION: 19923 MOTON, BLOCK 1, LOT 4, FRONTAGE

GENERAL LOCATION	LOT	BLOCK

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	PD-32	CURRENT USE	Undeveloped
PROPOSED ZONING	PD-32	PROPOSED USE	Condominium
ACREAGE	.22	LOTS [CURRENT]	N/A
		LOTS [PROPOSED]	N/A

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> OWNER	Judy Grace Bryant, individually and as Administrator of the Estate of Douglass Frederick Wygal, Deceased	<input checked="" type="checkbox"/> APPLICANT	RIV Properties LLC RIV Rockwall LLC
CONTACT PERSON	David Stubblefield	CONTACT PERSON	Asher Hamilton
ADDRESS	709B W Rusk St #520	ADDRESS	PO Box 192054
CITY, STATE & ZIP	Rockwall, TX 75087	CITY, STATE & ZIP	Dallas, TX 75219
PHONE	(972) 772-0100	PHONE	(214) 908-4684
E-MAIL	david@davidstubblefield.com	E-MAIL	ahamilton@realtyinvestments.com

NOTARY VERIFICATION [REQUIRED]

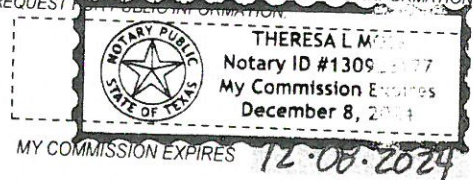
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Judy Grace Bryant [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 1200.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 12 DAY OF December, 2022 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 9th DAY OF December, 2022

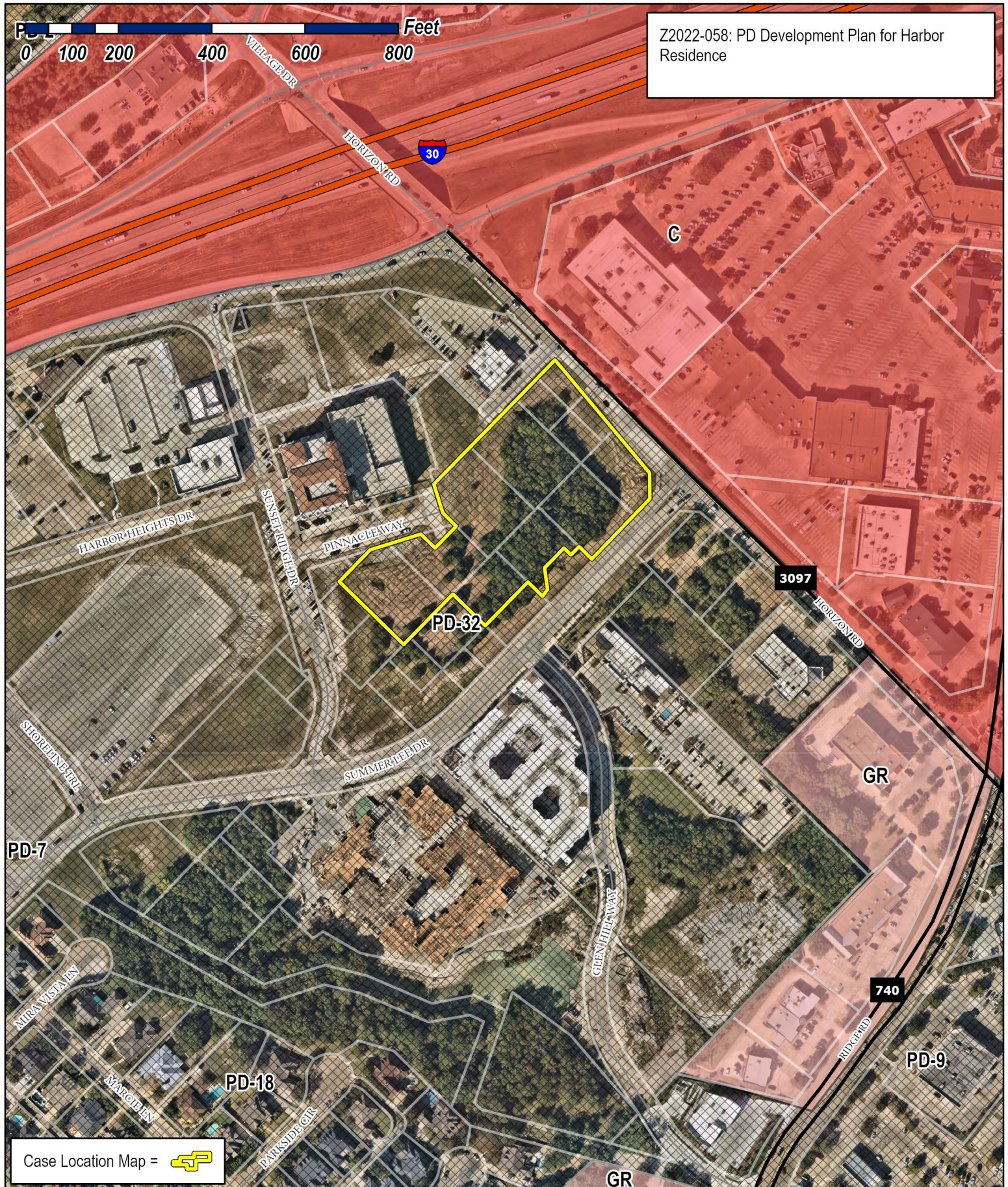
OWNER'S SIGNATURE: Judy Grace Bryant


NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS: Theresa L. M...





Z2022-058: PD Development Plan for Harbor Residence



Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

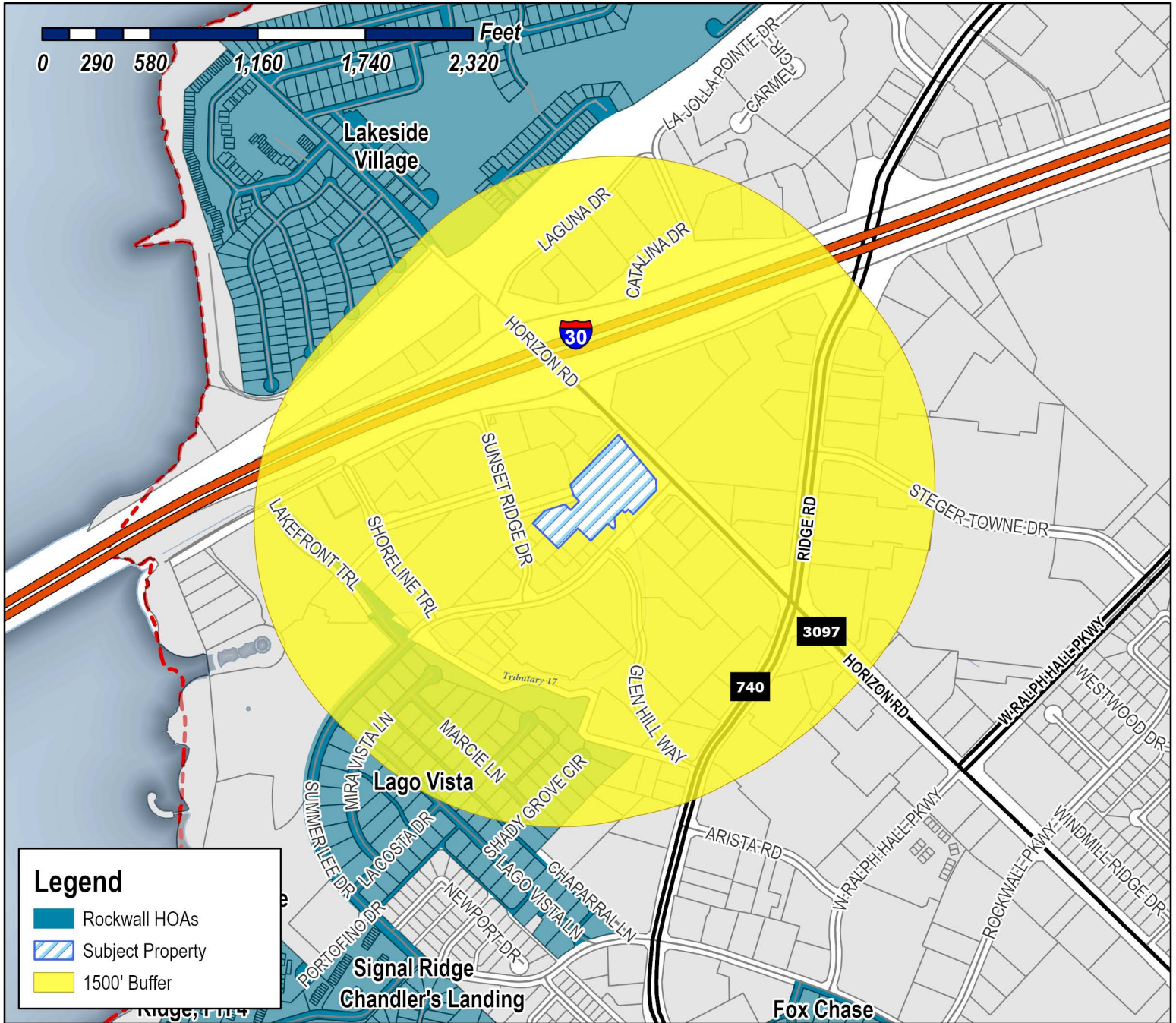




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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Case Number: Z2022-058
Case Name: PD Development Plan for Harbor Residence
Case Type: Zoning
Zoning: Planned Development District 32 (PD-32)
Case Address:

Date Saved: 12/12/2022

For Questions on this Case Call (972) 771-7745



Lee, Henry

From: Guevara, Angelica
Sent: Wednesday, December 14, 2022 3:03 PM
Cc: Miller, Ryan; Ross, Bethany; Chapin, Sarah; Lee, Henry
Subject: Neighborhood Notification Program [Z2022-058]
Attachments: Public Notice Z2022-058.pdf; HOA Map Z2022-058.pdf

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [December 16, 2022](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, January 10, 2023 at 6:00 PM](#), and the City Council will hold a public hearing on [Tuesday, January 17, 2023 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2022-058: PD Development Plan for a 176-Unit Condominium Building

Hold a public hearing to discuss and consider a request by Asher Hamilton on behalf of RIV Properties, Alvin Moton Jr., James Moton, Terra Moton, Debra Heard, Beulah Robertson, Tony Moton, and Kathy Moton for the approval of a [PD Development Plan](#) for a 176-unit condominium building on a 3.59-acre tract of land identified as Lots 1 & 2, Block 1; Lots 1, 2, 3, & 4, Block 2; Lots 1, 2, 3, & 4, Block 3; Lots 1, 2, 3, & 4, Block 5; Lots 1 & 2 and a portion of Lots 3 & 4, Block 6; Lots 2, 3, & 4, Block 7; Lots 1 & 2, Block 8; and Lots 1, 2, 3, & 4, Block 9, Moton Addition, City of Rockwall, Rockwall County, Texas, situated within the *Hillside Mixed Use Subdistrict* and the *Horizon/Summer Lee Subdistrict* of Planned Development District 32 (PD-32), generally located at the southwest corner of the intersection of Horizon Road and Summer Lee Drive, and take any action necessary.

Thank you,

Angelica Guevara

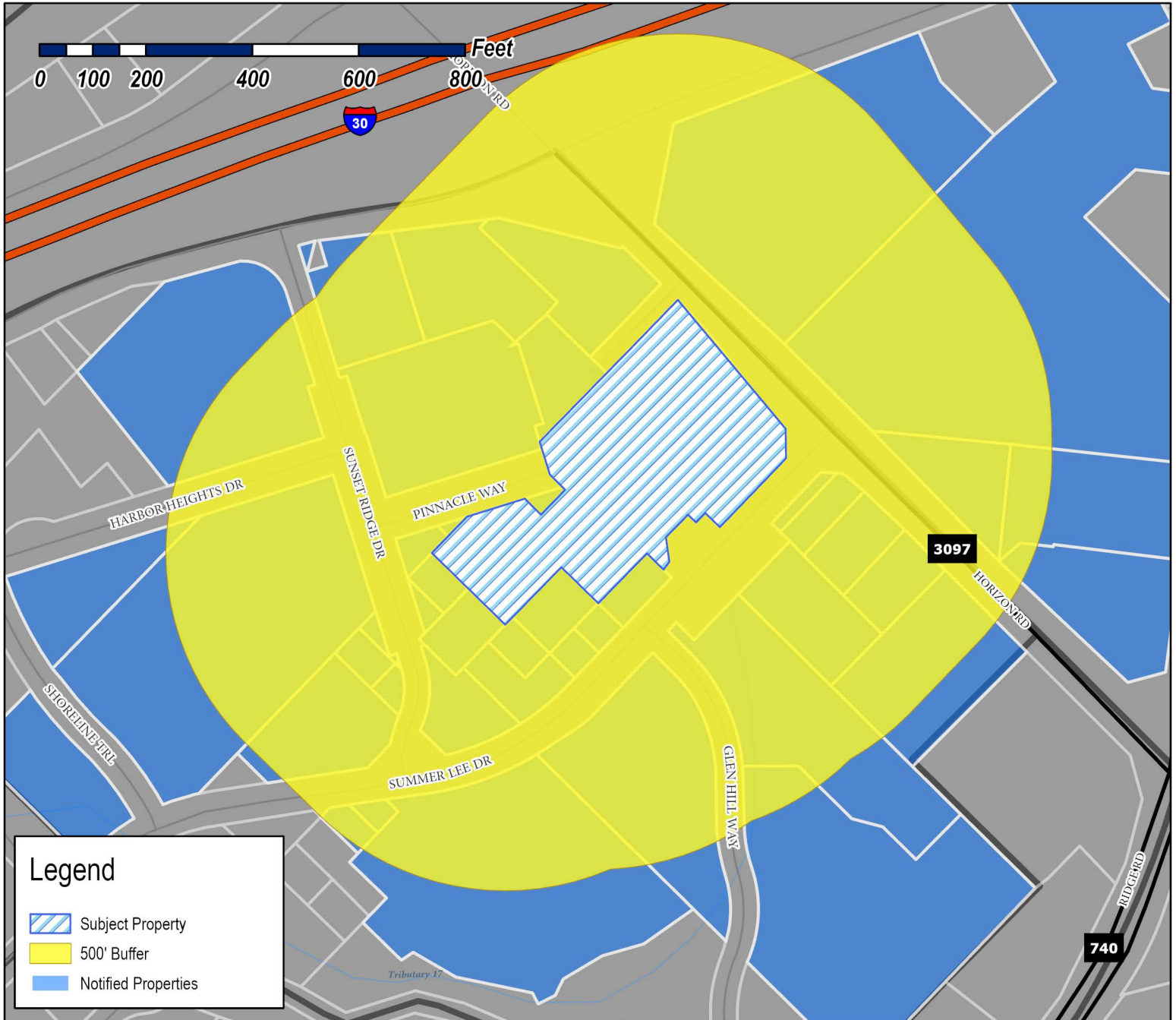
Planning Technician
City of Rockwall Planning & Zoning
385 S. Goliad Street
Rockwall, TX 75087
Office: 972-771-7145
Direct: 972-772-6438



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2022-058
Case Name: PD Development Plan for Harbor Residence
Case Type: Zoning
Zoning: Planned Development District 32 (PD-32)
Case Address:

Date Saved: 12/12/2022

For Questions on this Case Call: (972) 771-7746



SONG CORPORATION
1200 HORIZON RD
ROCKWALL, TX 75032

CAIN DOYLE E
1375 COUNTY ROAD 2290
MINEOLA, TX 75773

CAIN DOYLE
1375 COUNTY ROAD 2290
MINEOLA, TX 75773

MHC ROCKWALL LLC
1468 KIMBROUGH RD SUITE 103
GERMANTOWN, TN 38138

ROCKWALL HARBOR HILL, LTD
15653 HIGHWAY 243
KAUFMAN, TX 75142

BENT TREE REALTY CO
16475 DALLAS PKWY STE 880
ADDISON, TX 75001

ADEBOWALE OLUMIDE
17639 TRINITY MEADOW LANE
RICHMOND, TX 77407

WHITE MICHAEL AND
MARION E WILSON AND DIMENSIONS REAL
ESTATE SERVICES LLC
2304 W WHEATLAND RD
DALLAS, TX 75232

RESIDENT
2400 SUMMER LEE DR
ROCKWALL, TX 75032

RESIDENT
2500 SUMMER LEE DR
ROCKWALL, TX 75032

RESIDENT
2500 SUMMER LEE DR
ROCKWALL, TX 75032

BRYANT JUDY GRACE AND
DOUGLASS FREDERICK WYGAL
2528 MARK
MESQUITE, TX 75150

RESIDENT
2620 SUNSET RIDGE DR
ROCKWALL, TX 75032

RESIDENT
2651 SUNSET RIDGE DR
ROCKWALL, TX 75032

RESIDENT
2701 SUNSET RIDGE
ROCKWALL, TX 75032

101 HUBBARD DR LLC
2701 SUNSET RIDGE DR SUITE 610
ROCKWALL, TX 75032

HH RETAIL CENTER LP
2701 SUNSET RIDGE DR SUITE 610
ROCKWALL, TX 75032

HARBOR HEIGHTS INVESTORS LP
2701 SUNSET RIDGE DR SUITE 610
ROCKWALL, TX 75032

101 HUBBARD DR LLC
2701 SUNSET RIDGE DR SUITE 610
ROCKWALL, TX 75032

RESIDENT
2850 RIDGE RD
ROCKWALL, TX 75032

RESIDENT
2860 RIDGE RD
ROCKWALL, TX 75032

MOTON ALVIN D SR & ETHEL
3419 LILY LN
ROWLETT, TX 75089

MOTON ETHEL REED
C/O OF TONY C MOTON
3419 LILY LN
ROWLETT, TX 75089

CITY OF ROCKWALL
ATTN;MARY SMITH
385 S GOLIAD ST
ROCKWALL, TX 75087

KATHERINE BANNER FAMILY TRUST
KATHERINE BANNER- TRUSTEE
4 CHURCH HILL ROAD
HIGH FALLS, NY 12240

RESIDENT
405 I30
ROCKWALL, TX 75032

ATTICUS REAL ESTATE SERVICES INC
5339 ALPHA RD STE 300
DALLAS, TX 75240

ATTICUS SUMMER LEE TOWNHOMES LLC
5339 ALPHA ROAD SUITE 300
DALLAS, TX 75240

EIGHTYTWO REAL ESTATE HOLDINGS LLC
5740 PROSPECT AVE SUITE 2001
DALLAS, TX 75206

RESIDENT
600 HORIZON DR
ROCKWALL, TX 75032

CARSON MARK R
701 N MUNSON RD
ROYSE CITY, TX 75189

BUILDERS ASSOCIATES #3
ATTN: ARNOLD SCHLESINGER
9595 WILSHIRE BLVD STE 700
BEVERLY HILLS, CA 90212

TX FLORENCE APARTMENTS LLC
9757 NE JUANITA DRIVE SUITE 300
KIRKLAND, WA 98034

SPATEX GROUP PARTNERSHIP
C/O GARY SHULTZ
PO BOX 190569
DALLAS, TX 75219

CULPEPPER /SPATEX JV
%GARY SHULTZ
PO BOX 190569
DALLAS, TX 75219

SPATEX GROUP PARTNERSHIP
C/O GARY SHULTZ
PO BOX 190569
DALLAS, TX 75219

W & R PROPERTIES INC
PO BOX 657
KAUFMAN, TX 75142

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2022-058: PD Development Plan for a 176-Unit Condominium Building

Hold a public hearing to discuss and consider a request by Asher Hamilton on behalf of RIV Properties, Alvin Moton Jr., James Moton, Terra Moton, Debra Heard, Beulah Robertson, Tony Moton, and Kathy Moton for the approval of a PD Development Plan for a 176-unit condominium building on a 3.59-acre tract of land identified as Lots 1 & 2, Block 1; Lots 1, 2, 3, & 4, Block 2; Lots 1, 2, 3, & 4, Block 3; Lots 1, 2, 3, & 4, Block 5; Lots 1 & 2 and a portion of Lots 3 & 4, Block 6; Lots 2, 3, & 4, Block 7; Lots 1 & 2, Block 8; and Lots 1, 2, 3, & 4, Block 9, Moton Addition, City of Rockwall, Rockwall County, Texas, situated within the Hillside Mixed Use Subdistrict and the Horizon/Summer Lee Subdistrict of Planned Development District 32 (PD-32), generally located at the southwest corner of the intersection of Horizon Road and Summer Lee Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, January 10, 2023 at 6:00 PM, and the City Council will hold a public hearing on Tuesday, January 17, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Tuesday, January 17, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2022-058: PD Development Plan for a 176-Unit Condominium Building

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

[Redacted area]

Name: [Redacted]
Address: [Redacted]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

[PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE](#)

Lee, Henry

From: Tiki Sherman <tiki_sherman@msn.com>
Sent: Wednesday, December 14, 2022 11:33 AM
To: Lee, Henry
Subject: Condos at Summer Lee and Horizon

Good afternoon Mr. Lee,

I am opposed to more multi family condos being built in Rockwall.

My property backs up to Summer Lee. I don't want to hear even more traffic on my road. It already takes 15-20 minutes to get on I-30 and I live less than 2 miles away.

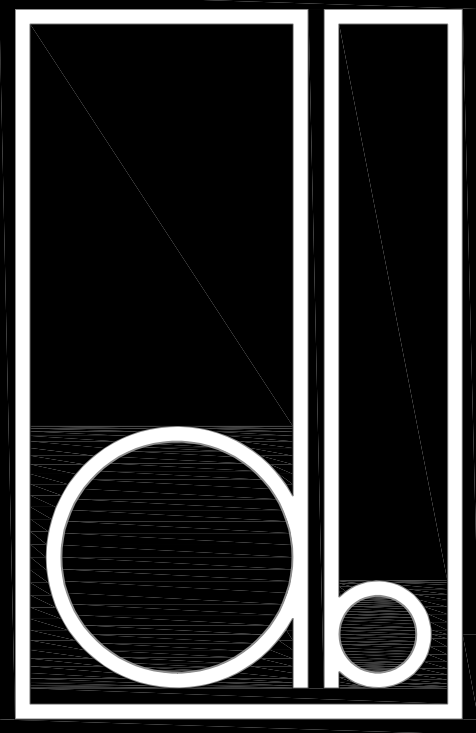
I will be at the meeting on 12/27 and I will be voicing my opposition.

Sincerely,

Tiki Sherman
112 Mayflower CT
214-796-5291

Sent from my iPhone

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.



DESIGN BALANCE, INC.
2231 RIDGE ROAD, SUITE 200
ROCKWALL, TEXAS 75087
214.668.2306

OWNER:
RIV PROPERTIES, LLC
P.O. BOX 192054
DALLAS, TX 75219
214.908.4684

HARBOR RESIDENCE

ROCKWALL, TEXAS

PROJECT NUMBER:
22008

DATE ISSUED:
12/12/2022

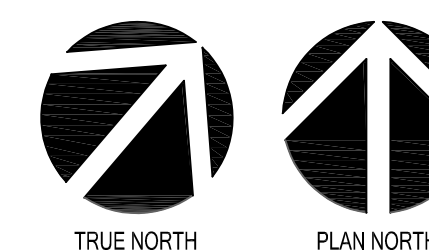
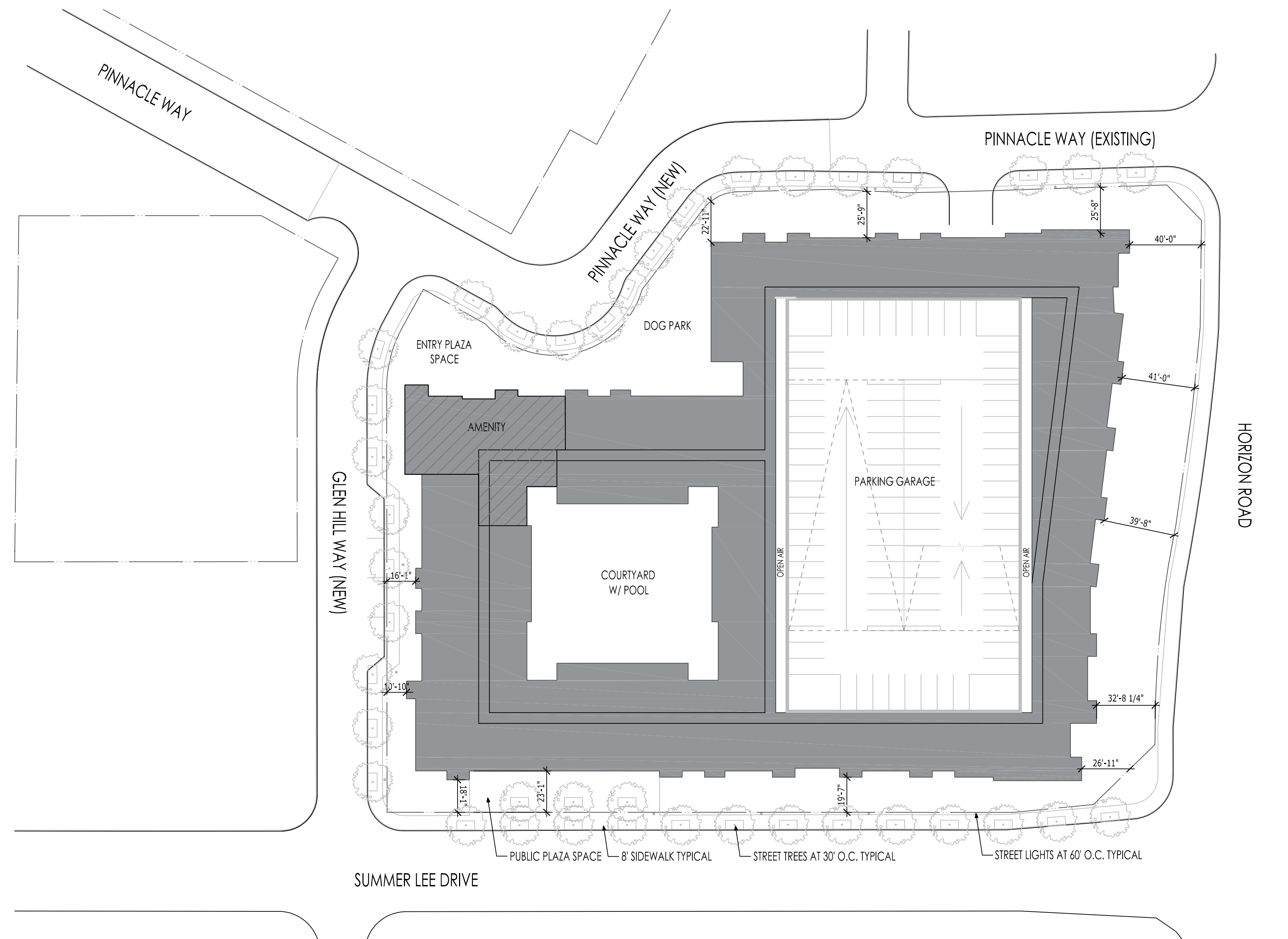
REVISIONS:

SHEET TITLE:
PD DEVELOPMENT
PLAN

SHEET NAME:
A100

CASE NUMBER:
Z2022-001

PROJECT DATA		
SITE AREA: 3.2 ACRES (ESTIMATED) 76% LOT COVERAGE		
REQUIRED PARKING:		
1 BR UNITS	108 UNITS	162 SPACES
2 BR UNITS	60 UNITS	120 SPACES
3 BR UNITS	8 UNITS	20 SPACES
TOTAL UNITS	176 UNITS	302 SPACES
(1) THREE/FOUR STORY BUILDING 421,964 GSF 1,58,923 NRSF 890 SF AVG. UNIT SIZE 176 UNITS		
PROVIDED PARKING:		
GARAGES		305 SPACES
TOTAL PARKING		305 SPACES
INTERIOR AMENITY SPACE 6,850 GSF	302 PARKING SPACES PROVIDED @ 1.7 SPACE / UNIT	



01

PD DEVELOPMENT PLAN

Scale: 1" = 40'-0"

CITY OF ROCKWALL

ORDINANCE NO. 22-10

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 32 (PD-32) [ORDINANCE NO. 17-22] AND THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO APPROVE A PD DEVELOPMENT PLAN FOR A CONDOMINIUM BUILDING ON A 3.59-ACRE TRACT OF LAND IDENTIFIED AS LOTS 1, 2, 3, & 4, BLOCK 2; LOTS 1, 2, 3, & 4, BLOCK 3; LOTS 1, 2, 3, & 4, BLOCK 5; LOTS 1 & 2 AND A PORTION OF LOTS 3 & 4, BLOCK 6; LOTS 2, 3, & 4, BLOCK 7; LOTS 1 & 2, BLOCK 8; AND LOTS 1, 2, 3, & 4, BLOCK 9, MOTON ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED AND DEPICTED HEREIN BY EXHIBIT 'A'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Asher Hamilton of RIV Properties, on behalf of Michael Gibson of Marion E. Wilson, Michael White, Dimensions Real Estates Services, LLC; Mark R. Carson; Allen Anderson; Gary Shultz of Culpepper/Spatex JV; and Robert Fields of In the Estate of Ernest Fields for the approval of a *PD Development Plan* for a 176-unit, condominium building to be situated within the *Hillside Mixed-Use Subdistrict* and the *Horizon/Summer Lee*, on a 3.95-acre tract of land identified as Lots 1, 2, 3, & 4, Block 2; Lots 1, 2, 3, & 4, Block 3; Lots 1, 2, 3, & 4, Block 5; Lots 1 & 2 and a portion of Lots 3 & 4, Block 6; Lots 2, 3, & 4, Block 7; Lots 1 & 2, Block 8; and Lots 1, 2, 3, & 4, Block 9, Moton Addition, City of Rockwall, Rockwall County, Texas and more fully described and depicted in *Exhibit 'A'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that Planned Development District 32 (PD-32) [*Ordinance No. 17-22*] and the Unified Development Code [*Ordinance No. 20-02*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That Planned Development District 32 (PD-32) [*Ordinance No. 17-22*] and the Unified Development Code [*Ordinance No. 20-02*], as heretofore amended, shall be further amended by adopting this *PD Development Plan* and amending the official zoning map of the City of Rockwall for the *Subject Property*; and,

SECTION 2. That development of the *Subject Property* shall generally be in accordance with the *Concept Plan*, depicted in *Exhibit 'B'* of this ordinance, attached hereto and incorporated

herein by reference as *Exhibit 'B'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*; and,

SECTION 3. That development of the *Subject Property* shall generally be in accordance with the *Conceptual Building Elevations*, depicted in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*; and,

SECTION 4. That the *Subject Property* shall be used only in the manner and for the purposes provided for in Planned Development District 32 (PD-32) [*Ordinance No. 17-22*], the Unified Development Code [*Ordinance No. 20-02*], and in compliance with the following conditions and requirements:

- (1) The development of the subject property shall generally conform to the *Concept Plan* depicted in *Exhibit 'B'* of this ordinance.
- (2) The development of the subject property shall generally conform to the proposed *Conceptual Building Elevations* depicted in *Exhibit 'C'* of this ordinance and to the design guidelines contained in *Resolution No. 10-40*.
- (3) The proposed condominium building shall not contain more than 176 urban residential units.
- (4) All building materials and color schemes proposed for this development should conform to the requirements stipulated by Planned Development District 32 (PD-32) [*as amended*].
- (5) Prior to the issuance of a building permit the applicant shall submit and seek approval for a detailed *PD Site Plan* that demonstrates compliance with all applicable standards of Planned Development District 32 (PD-32) [*as amended*] and with the requirements approved in this ordinance.
- (6) All buildings throughout the development shall be constructed with a consistent design scheme, incorporate four (4) sided architecture that creates an entry appearance on all four (4) sides, and be approved by the Architectural Review Board (ARB) at the time of the *PD Site Plan*.

SECTION 5. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

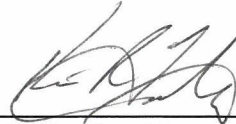
SECTION 6. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 7. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is

different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

SECTION 8. That this ordinance shall take effect immediately from and after its passage;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 7TH DAY OF MARCH, 2022.



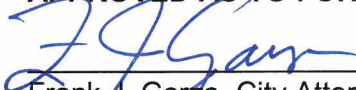
Kevin Fowler, Mayor

ATTEST:



Kristy Teague, City Secretary

APPROVED AS TO FORM:



Frank J. Garza, City Attorney

1st Reading: February 22, 2022

2nd Reading: March 7, 2022



Exhibit 'A':
Legal Description and Location Map

PARCEL 1 (TRACTS 1 & 2)

TRACT 1: All that certain 0.705-acre tract of land in the Edward Teal Survey, Abstract No. 207, Rockwall County, Texas and being Lot 2 and part of Lots 1, 3 and 4, of Block 2 and Lots 1 and 2 and part of Lots 3 and 4, of Block 4 of George Morton Estate, an addition to the City of Rockwall, recorded in Cabinet A, Slide 47B of the Plat Records of said county, and being part of the tract of land described in a Warranty Deed to Culpepper/Spatex Joint Venture, recorded in Volume 209, Page 475 of the Deed Records of said county, and being more particularly described by metes and bounds as follows:

BEGINNING at a ½-inch iron rebar with a cap (illegible) found at the north end of a corner clip at the intersection of Summer Lee Drive, a variable width public right-of-way and Horizon Drive, a variable width public right-of-way per the right-of-way dedication to the City of Rockwall recorded in Instrument Number 2005-0000338484 of the Official Public Records of said county;

THENCE with the northwest right-of-way line of Summer Lee Drive the following courses and distances;

South 38°15'10" West, a distance of 44.84-feet to a ½-inch iron rebar with a cap (illegible) found for corner;

South 43°54'47" West, a distance of 14.91-feet to a ½-inch iron rebar with a cap (illegible) found for corner;

South 43°55'59" West, a distance of 131.01-feet to a ½-inch iron rebar with a cap (illegible) found for corner in the southwest line of said Lot 3, Block 4 and in the northeast line of Lot 4, Block 6 of said addition;

THENCE North 45°23'07" West, with said southwest line and said northeast line, passing at a distance of 38.12-feet, to a ½-inch iron rebar with a cap stamped "RPLS 6484" set for corner in said northwest right-of-way line and the east corner of a called 0.160-acre tract of land described in a General Warranty Deed to Mark R. Carson, recorded in Instrument Number 2008-00394439 of said Official Public Records, continuing with said southwest line of said Lot 3, Block 4, the southwest line of Lot 2, Block 4, the northwest line of said Lot 4, Block 6, the northwest line of Lot 1, Block 6 of said addition, and the northwest line of said 0.160-acre tract, in all, a total distance of 139.41-feet to a ½-inch iron rebar with a cap stamped "RPLS6484" set for the west corner of said Lot 2, Block 4, the north corner of said Lot 1, Block 6 and in the southeast line of a 40 foot wide easement, recorded in said addition;

THENCE North 43°50'43" East, with the northwest lines of said Lot 1 and Lot 2 Block 4 and said Lot 1 and Lot 2, Block 2 and said southeast line of said 40 foot wide easement, a distance of 230.94-feet to a ½-inch iron rebar with a cap stamped "RPLS 6484" set for corner in the southwest right-of-way line of said Horizon Drive at the beginning of a non-tangent curve to the left, with a radius of 510.50-feet and a chord which bears South 37°22'46" East, a distance of 14.17-feet;

THENCE with said southwest right-of-way line of Horizon drive the following courses and distances;

Along said curve to the left, with a central angle of 01°35'26" and an arc distance of 14.17-feet to a ½-inch iron rebar with a cap (illegible) found for the beginning of a compound curve to the left, with a radius of 576.50-feet, and a chord which bears South 41°42'06" East, a distance of 70.67-feet;

Along said curve to the left, with a central angle of 07°01'39" and an arc distance of 70.71-feet to a ½-inch iron rebar with a cap (illegible) found for corner;

South 45°16'48" East, a distance of 17.37-feet to the *POINT OF BEGINNING* and containing 0.705-acres (30,690 square-feet) of land.

TRACT 2: All that certain 0.463-acre tract of land in the Edward Teal Survey, Abstract No. 207, Rockwall

Exhibit 'A':
Legal Description and Location Map

County, Texas and being Lots 1, 2, 3 and 4, Block 3 of George Morton Estate, an addition to the City of Rockwall, recorded in Cabinet A, Slide 47B of the Plat Records of said county, and being part of the tract of land described in a Warranty Deed to Culpepper/Spatex Joint Venture, recorded in Volume 209, Page 475 of the Deed Records of said county, and being more particularly described by metes and bounds as follows:

BEGINNING at a ½-inch iron rebar with a cap stamped "RPLS 6484" set for the west corner of said Lot 2, Block 3, and at the intersection of a 20 foot wide easement, recorded in said addition, from which a ½-inch iron rebar with a cap stamped "RPLS 5034" found bears North 73°52'22" West a distance of 22.02-feet and a 5/8 inch iron rebar with a cap stamped "Sam Inc" found bears North 88°48'34" East, a distance of 27.56-feet;

THENCE North 43°50'43" East, with the northwest line of said Lot 1 and Lot 2, Block 3 and the southeast line of the 20-foot-wide easement, a distance of 131.01-feet to a ½-inch iron rebar with a cap stamped "RPLS 6484" set for the north corner of said Lot 1, Block 3 and the west corner of Lot 2, Block 1 of said addition;

THENCE South 45°21'44" East, with the northeast line of said Lot 1 and Lot 4, Block 3 and the southwest line of said Lot 2, Block 1 and Lot 3, Block 1 of said addition, a distance of 154.01-feet to a ½-inch iron rebar with a cap stamped "RPLS 6484" set for the east corner of said Lot 4, Block 3, the south corner of said Lot 3, Block 1 and in the northwest line of a 40 foot wide easement as recorded in said addition;

THENCE South 43°50'43" West, with the southeast line of said Lot 3 and Lot 4 Block 3 and said northwest line of said 40 foot wide easement, a distance of 131.01feet to a ½-inch iron rebar with a cap stamped "RPLS 6484" set for the south corner of said Lot 3, Block 3 and at the intersection of said northwest line of the 40 foot wide easement and the northeast line of said 20 foot wide easement;

THENCE North 45°21'44" West, with the southwest line of said Lot 2 and Lot 3, Block 3, and the northeast line of said 20-feet wide easement, a distance of 154.01-feet to the *POINT OF BEGINNING* and containing 0.463-acres (20,176 square-feet) of land.

Parcel 2

All that certain 0.160-acre tract of land in the Edward Teal Survey, Abstract No. 207, Rockwall County, Texas and being Lot 1 and part of Lot 4, Block 6 of George Morton Estate, an addition to the City of Rockwall, recorded in Cabinet A, Slide 47B of the Plat Records of said county, and being same 0.160-acre tract of land described a General Warranty Deed to Mark R. Carson, recorded in Instrument Number 2008-00394439 of the Official Public Records of said county, and being more particularly described by metes and bounds as follows:

BEGINNING at a ½-inch iron rebar with a cap stamped "RPLS 6484" set for the east corner of said 0.160-acre tract, in the northeast line of said Lot 4, Block 6, the southwest line of Lot 3, Block 4 of said addition and in the northwest right-of-way line of Summer Lee Drive, a variable width public right-of-way, from which a ½-inch iron rebar with a cap (illegible) found in said northwest right-of-way line bears South 45°23'07" East, a distance of 38.12-feet;

THENCE with the southeast line of said 0.160-acre tract and said northwest right-of-way line, the following courses and distances;

South 49°50'10" West, a distance of 25.57-feet to a ½-inch iron rebar with a cap stamped "RPLS 5034" found for corner;

North 45°40'41" West, a distance of 20.93-feet to a ½-inch iron rebar with a cap stamped "RPLS 6484" set for corner in the southeast line of said Lot 1, Block 6 and the northwest line of said Lot 4, Block 6;

South 44°13'18" West, a distance of 39.98-feet to a ½-inch iron rebar with a cap stamped "RPLS 6484" set for the south corner of said 0.160-acre tract, the south corner of said Lot 1, Block 6, the west corner

Exhibit 'A':
Legal Description and Location Map

of said Lot 4, Block 6 the north corner of Lot 3, Block 6 of said addition, the east corner of Lot 2, Block 6 of said addition, and the east corner of a called 0.18-acre tract described in a General Warranty Deed to Allen Anderson, recorded in Instrument No. 2008-00394440 of said Official Public Records;

THENCE North 45°21'44" West, with the southwest line of said 0.160-acre tract, the southwest line of said Lot 1, Block 6, the northeast line of said 0.18-acre tract, and the northeast line of said Lot 2, Block 6, passing at a distance of 77.43-feet, a 1/2inch iron rebar with a cap stamped "RPLS 6484" set for the west corner of said Lot 1, Block 6, the north corner of said Lot 2, Block 6 and in the southeast line of a 40foot wide easement, recorded in said addition, in all, a total distance of 97.43-feet to the west corner of said 0.160-acre tract, the north corner of said 0.18-acre tract and in the center of said 40 foot wide easement;

THENCE North 43°50'43" East, with the center of said 40-foot-wide easement, a distance of 65.51-feet to the north corner of said 0.160-acre tract;

THENCE South 45°23'21" East, with the northeast line of said 0.160-acre tract, passing at a distance of 20.00-feet, a 1/2-inch iron rebar with a cap stamped "RPLS 6484" set for the north corner of said Lot 1, Block 6, the west corner of said Lot 2, Block 4 of said addition, continuing with said northeast line of the 0.160-acre tract, the northeast line of said Lot 1 and Lot 4, Block 6, and the southwest line of said Lot2 and Lot 3, Block 4, in all, a total distance of 121.30-feet to the *POINT OF BEGINNING* and containing 0.160-acres (6,964 square-feet) of gross area, 0.130-acres (5,654 square-feet) of net area of land.

Parcel 3

All that certain 0.175-acre tract of land in the Edward Teal Survey, Abstract No. 207, Rockwall County, Texas and being Lot 2 and part of Lot 3, Block 6 of George Morton Estate, an addition to the City of Rockwall, recorded in Cabinet A, Slide 47B of the Plat Records of said county, and being a called 0.18-acre tract of land described a General Warranty Deed to Allen Anderson, recorded in Instrument No. 2008-00394440 of the Official Public Records of said county, and being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2-inch iron rebar with a cap stamped "RPLS 5034" found for the south corner of said 0.18-acre tract, in the southwest line of said Lot 3, Block 6 and in the northwest right-of-way line of Summer Lee Drive, a variable width public right-of-way, from which a 1/2-inch iron rebar with a cap stamped "RPLS 5034" found in said right-of-way bears South 45°21'27" East, a distance of 19.89-feet;

THENCE North 45°21'27" West, with the southwest line of said 0.18-acre tract, said southwest line of Lot 3, Block 6 and, in said northwest right-of-way line, passing at a distance of 43.01-feet, a 1/2-inch iron rebar with a cap stamped "RPLS 6484" set for the south corner of said Lot 2, Block 6, the west corner of said Lot 3, Block 6 and the west corner of Lot 1, Block 8 of said addition, departing said northwest right-of-way line and continuing with said southwest line of the 0.18-acre tract, the southwest line of said Lot 2, Block 6 and the northwest line of said Lot 1, Block 8, passing at a distance of 119.67-feet, a 1/2-inch iron rebar with a cap stamped "RPLS 6484" set for the west corner of said Lot 2, Block 6, the north corner of said Lot 1, Block 8 and in the southeast line of a 40 foot wide easement recorded in said addition, continuing with said southwest line of the 0.18-acre tract, in all, a total distance of 139.67-feet to the west corner of said 0.18-acre tract and in the center of said 40 foot wide easement;

THENCE North 43°50'43" East, with the northwest line of said 0.18-acre tract and in the center of said 40 foot wide easement, a distance of 65.50-feet to the north corner of said 0.18-acre tract and the west corner of a called 0.160-acre tract of land described a General Warranty Deed to Mark R. Carson, recorded in Instrument Number 2008-00394439 of said Official Public Records;

THENCE South 45°21'44" East, with the northeast line of said 0.18-acre tract and the southwest line of said 0.160-acre tract, passing at a distance of 20.00-feet, a 1/2-inch iron rebar with a cap stamped "RPLS 6484" set for the north corner of said Lot 2, Block 6 and the west corner of said Lot 1, Block 6, continuing with said northeast line of the 0.18-acre tract, the northeast line of said Lot 2, Block 6, said southwest line of the 0.160-acre tract and the southwest line of said Lot 1, Block 6, in all, a total distance of 97.43-feet to

Exhibit 'A':
Legal Description and Location Map

a ½-inch iron rebar with a cap stamped "RPLS 6484" set for the west corner of said 0.18-acre tract, the west corner of said Lot 2, Block 6, the south corner of said 0.160-acre tract, the south corner of said Lot 1, Block 6 and, in said northwest right-of-line of Summer Lee Drive;

THENCE with the southeast line of said 0.18-acre tract and said northwest right-of-way line, the following courses and distances;

South 44°13'18" West, a distance of 19.50-feet to a ½-inch iron rebar with a cap stamped "RPLS 5034" found for corner;

South 09°43'47" East, a distance of 46.51-feet to a ½-inch iron rebar with a cap stamped "RPLS 5034" found for corner;

South 29°14'41" West, a distance of 19.61-feet to the *POINT OF BEGINNING* and containing 0.175-acres (7,635 square-feet) of gross area and 0.145-acres (6,325 square-feet) of net area of land.

Parcel 4

All that certain 0.230-acre tract of land in the Edward Teal Survey, Abstract No. 207, Rockwall County, Texas and being Lots 1 and 2, Block 8 of George Morton Estate, an addition to the City of Rockwall, recorded in Cabinet A, Slide 47B of the Plat Records of said county, and being more particularly described by metes and bounds as follows:

BEGINNING at a ½-inch iron rebar with a cap stamped "RPLS 5034" found for the south corner of said Lot 2, Block 8, the west corner of Lot 3, Block 8 of said addition, the east corner of Lot 1, Block 10 of said addition and the north corner of Lot 4, Block 8 of said addition, from which, a ½-inch iron rebar with a cap stamped "RPLS5034" found bears South 45°21'46" East, a distance of 63.39-feet;

THENCE North 45°21'46" West, with the southwest line of said Lot 2, Block 8 and the northeast line of said Lot 1, Block 10, a distance of 76.12-feet to a ½-inch iron rebar with a cap stamped "RPLS 6484" set for the west corner of said Lot 2, Block 8, the north corner of said Lot 1, Block 10 and in the southeast line of a 40 foot wide easement recorded in said addition;

THENCE North 43°50'43" East, with the northwest line of said Lot 1 and Lot 2 Block 8 and said southeast line of the 40 foot wide easement, a distance of 130.96feet to a ½-inch iron rebar with a cap stamped "RPLS 6484" set for the north corner of said Lot 1, Block 8, the west corner of Lot 2, Block 6 of said addition and in the southwest line of a called 0.18-acre tract of land described a General Warranty Deed to Allen Anderson, recorded in Instrument No. 2008-00394440 of the Official Public Records of said county;

THENCE South 45°21'27" East, with the northeast line of said Lot 1, Block 8, the southwest line of said Lot 2, Block 6 and said southwest line of the 0.18-acre tract, a distance of 76.66-feet to a ½-inch iron rebar with a cap stamped "RPLS 6484" set for the east corner of said Lot 1, Block 8, the south corner of said Lot 2, Block 6, the west corner of Lot 3, Block 6 of said addition and the north corner of said Lot 4, Block 8, from which a ½-inch iron rebar with a cap stamped "RPLS 5034" found for the south corner of said 0.18-acre tract and in the northwest right-of-way line of Summer Lee Drive, a variable width public right-of-way bears South 45°21'27" East, a distance of 43.01-feet;

THENCE South 44°04'51" West, with the southeast line of said Lot 1 and Lot 2, Block 8 and the northwest line of said Lot 3 and Lot 4, Block 8, passing at a distance of 114.25-feet, a ½-inch iron rebar found, in all, a total distance of 130.95feet to the *POINT OF BEGINNING* and containing 0.230-acres (10,002 square-feet) of land.

Parcel 5

All that certain 1.245-acre tract of land in the Edward Teal Survey, Abstract No. 207, Rockwall County, Texas and being Lots 1, 3 and 4, and part of Lot 2 Block 5, Lots 3 and 4 and part of Lot 2, Block 7 and Lots 1, 2, 3 and 4, Block 9 of George Morton Estate, an addition to the City of Rockwall, recorded in Cabinet A,

Exhibit 'A':
Legal Description and Location Map

Slide 47B of the Plat Records of said county, and being all of the tract of land described in a General Warranty Deed to Dimensions Real Estate Services, recorded in Instrument No.2011-00451974 of the Official Public Records of said county, and being more particularly described by metes and bounds as follows:

BEGINNING at a ½-inch iron rebar with a cap stamped "RPLS 6484" set for the west corner of Lot 2, Block 9, the north corner of Lot 1, Block 11 of said addition, and in the southwest line of a 20 foot wide easement recorded in said addition;

THENCE North 43°50'43" East, with the northwest lines of said Lot 1 and Lot 2, Block 9 and Lot 2, Block 7 and said southeast line of the 20 foot wide easement, a distance of 135.22-feet to a ½-inch iron rebar with a cap stamped "RPLS 6484" set for corner in the northwest line of said Lot 2, Block 7 and in the south right-of-way line of Pinnacle Way, a 58 foot wide public right-of-way, from which a ½-inch iron rebar found at the intersection of said south right-of-way line of Pinnacle Way and the east right-of-way line of Sunset Ridge Drive, a variable width public right-of-way bears South 72°49'03" West, a distance of 184.95-feet;

THENCE North 72°49'03" East, with said south right-of-way line of Pinnacle Way, a distance of 69.48-feet to a ½-inch iron rebar with a cap stamped "RPLS 5034" found for corner in the northeast line of said Lot 2, Block 9;

THENCE South 45°37'46" East, continuing with said south right-of-way line of Pinnacle Way and with the northeast line of said Lot 2, Block 9, a distance of 42.61-feet to a ½-inch iron rebar with a cap stamped "RPLS 5034" found for the east corner of said Lot 2, Block 9, the north corner of said Lot 3, Block 9 and the west corner of said Lot 4, Block 7;

THENCE North 44°12'16" East, continuing with said south right-of-way line of Pinnacle Way and with the northwest line of said Lot 4, Block 7, a distance of 65.39feet to a 5/8 inch iron rebar with a cap stamped "Maddox" found for the north corner of said Lot 4, Block 7, the west corner of said Lot 3, Block 7, the south corner of said Lot 2, Block 7, and the east corner of the terminus of said Pinnacle Way;

THENCE North 45°28'03" West, with the east right-of-way line of said Pinnacle Way and the southwest line of said Lot 2, Block 7, a distance of 41.44-feet to a 5/8-inch iron rebar with a cap stamped "Maddox" found in said east right-of-way line of Pinnacle Way;

THENCE North 17°34'51" West, departing said southwest line of said Lot 2, Block 7 and continuing with said east right-of-way line of Pinnacle Way, passing at a distance of 28.13-feet to the north corner of the terminus of said Pinnacle Way, in all, a total distance of 40.12-feet to a ½-inch iron rebar with a cap stamped "RPLS6484" set in the northwest line of said Lot 2, Block 5 and in the southeast line of a20 foot wide easement recorded in said addition;

THENCE North 43°50'43" East, with the northwest lines of said Lot 1 and Lot 2, Block 5 and said southeast line of the 20 foot wide easement, a distance of 112.80feet to a ½-inch iron rebar with a cap stamped "RPLS 6484" set for the north corner of said Lot 1, Block 5 and the intersection of said southeast line of the 20 foot wide easement and the southwest line of another 20 foot wide easement recorded in said addition, from which a 5/8 inch iron rebar with a cap stamped "Sam Inc" bears North 44°39'37" West, a distance of 19.25-feet;

THENCE South 45°21'44" East, with the northwest lines of said Lot 1 and Lot 4, Block 5 and said southwest line of the 20 foot wide easement, a distance of 154.01-feet to a ½-inch iron rebar with a cap stamped "RPLS 6484" set for the west corner of said Lot 4, Block 5 and the intersection of said southwest line of the 20 foot wide easement and the northwest line of a 40 foot wide easement recorded in said addition;

THENCE South 43°50'43" West, with the southeast lines of said Lots 3 and 4, Block 5, Lots 3 and 4, Block 7 and Lots 3 and 4, Block 9 and said northwest line of the 40 foot wide easement, a distance of 393.33-feet to a ½-inch iron rebar with a cap stamped "RPLS 6484" set for the south corner of said Lot 3, Block 9 and the east corner of said Lot 4, Block 11 of said addition, from which a ½-inch iron rebar found bears South

Exhibit 'A':
Legal Description and Location Map

45°25'13" East, a distance of 18.07-feet;

THENCE North 45°25'13" West, with the southwest lines of said Lots 2 and 3, Block 9 and the northwest lines of said Lots 1 and 4, Block 11, passing at a distance of 78.94-feet, a ½-inch iron rebar with a cap stamped "RPLS 5034" found for the west corner of said Lot 3, Block 9, the south corner of said Lot 2, Block 9, the east corner of said Lot 1, Block 11, and the north corner of said Lot 4, Block 11, in all, a total distance of 154.01-feet to the *POINT OF BEGINNING* and containing 1.245-acres (54,217 square-feet) of land.

Exhibit 'A':
Legal Description and Location Map

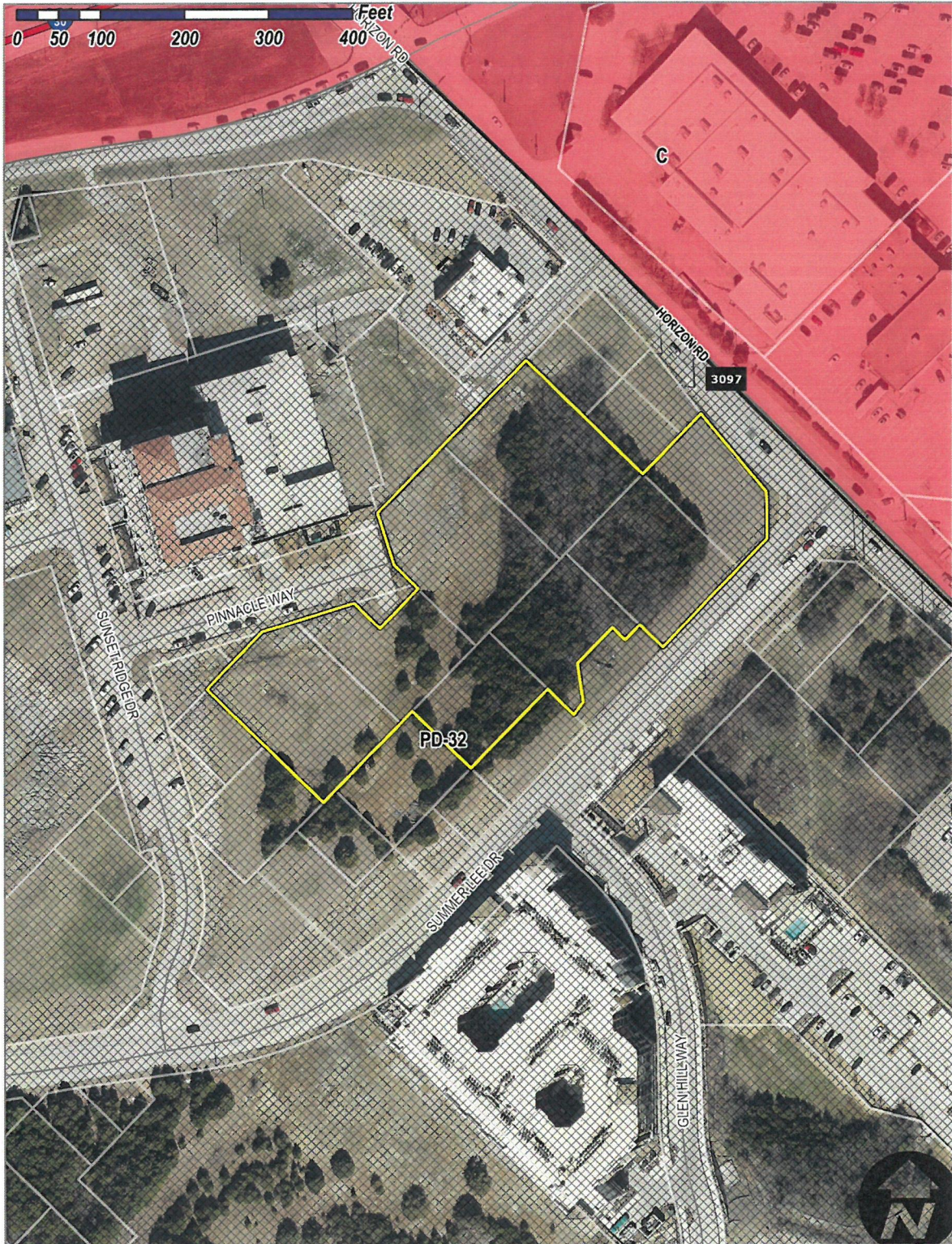
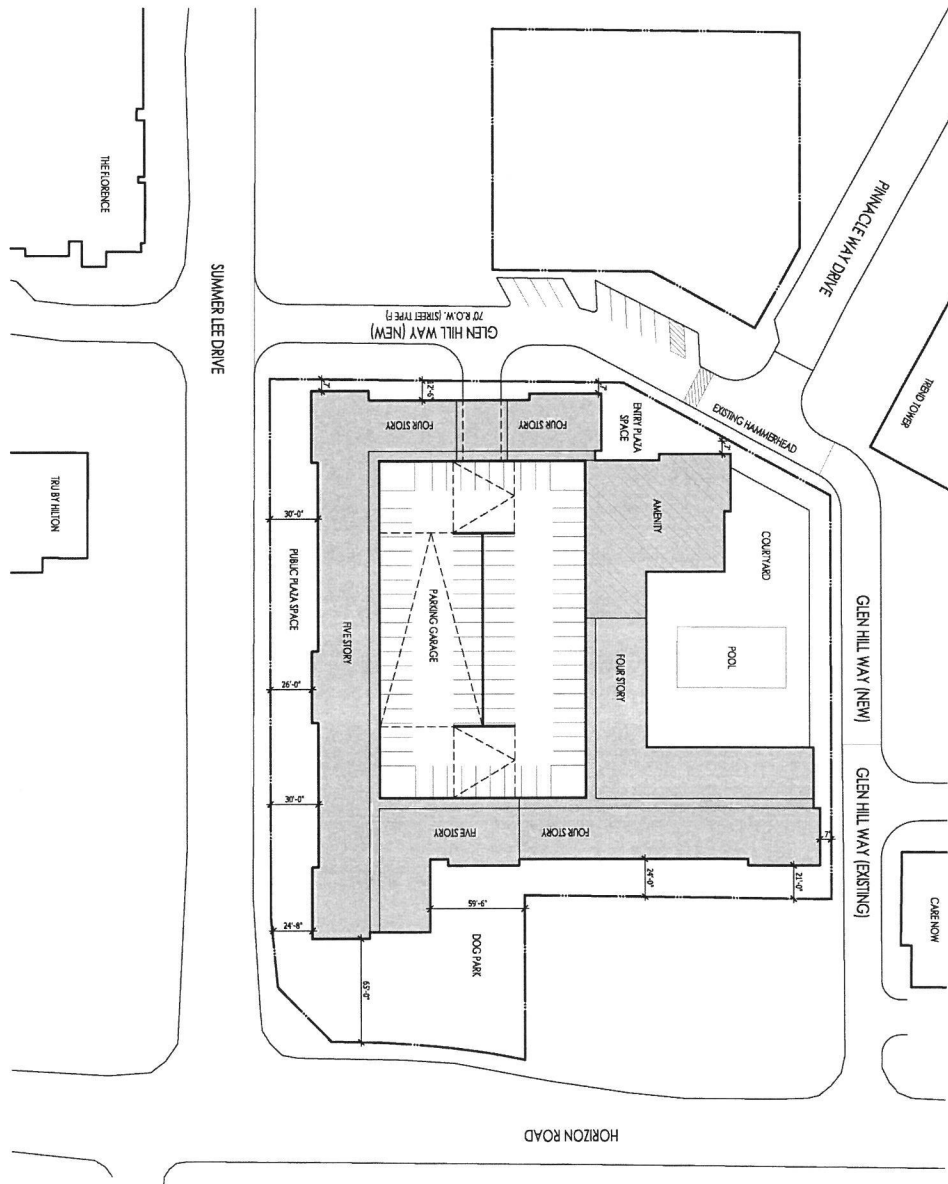


Exhibit 'B': Concept Plan

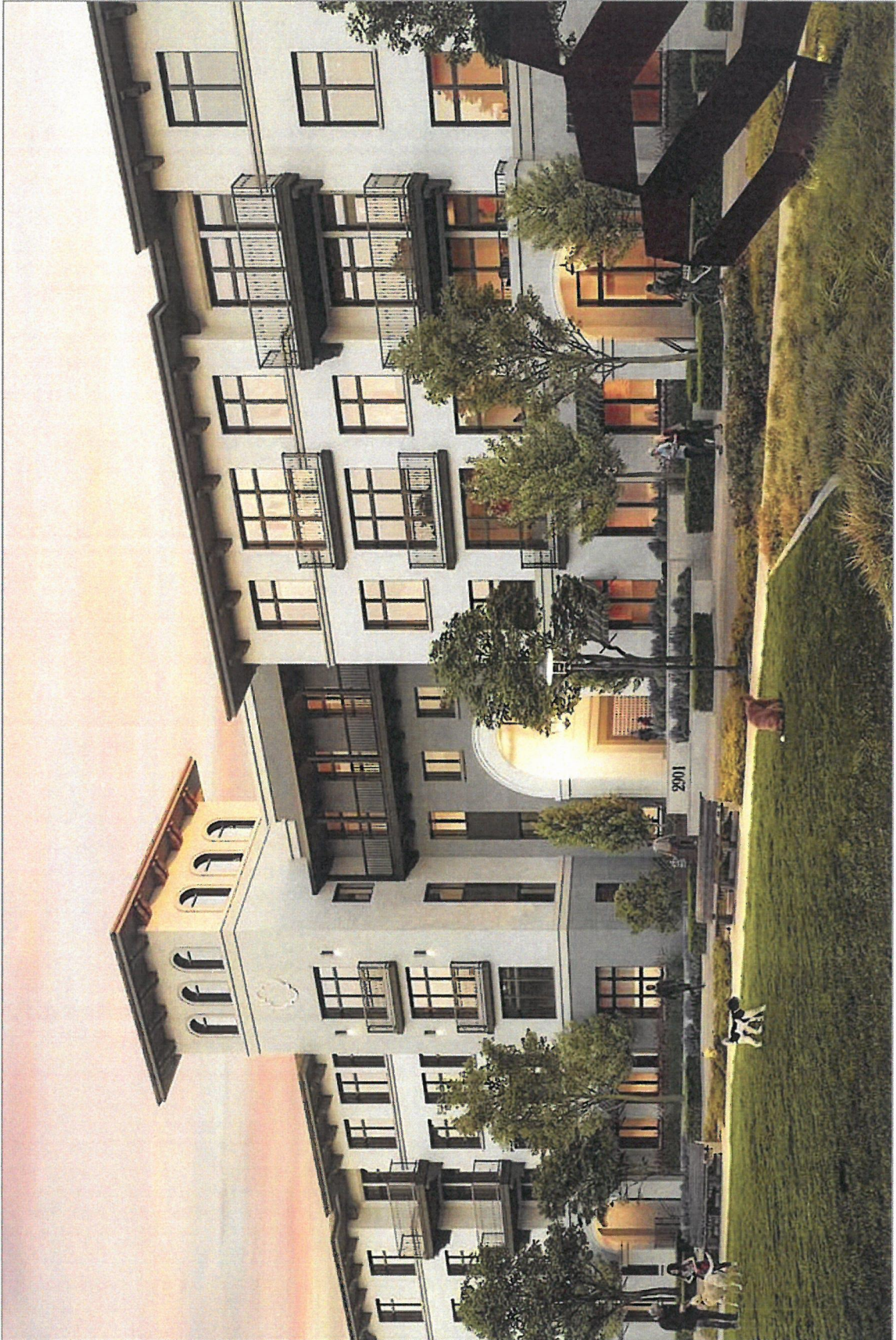
PROJECT DATA	
SITE AREA: 2.84 ACRES (ESTIMATED)	REQUIRED PARKING: 1.8X UNITS
698,407 COVERAGE	2.8X UNITS
(1) FOUR/FIVE STORY BUILDING	TOTAL UNITS
297,000 GSF	174 UNITS
167,200 NSF	144 SPACES
950 SF AVG. UNIT SIZE	GAZONED
174 UNITS	TOTAL PARKING
INTERIOR AMBIENT SPACE	300 PARKING SPACES PROVIDED
7,200 GSF	@ 1.7 SPACE / UNIT



01

PD DEVELOPMENT PLAN
Scale: 1" = 40'-0"

Exhibit 'C':
Conceptual Building Elevations



CITY OF ROCKWALL

ORDINANCE NO. 23-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 32 (PD-32) [ORDINANCE NO. 17-22] AND THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO APPROVE A PD DEVELOPMENT PLAN FOR A CONDOMINIUM BUILDING ON A 3.59-ACRE TRACT OF LAND IDENTIFIED AS LOTS 1 & 2, BLOCK 1; LOTS 1, 2, 3, & 4, BLOCK 2; LOTS 1, 2, 3, & 4, BLOCK 3; LOTS 1, 2, 3, & 4, BLOCK 5; LOTS 1 & 2 AND A PORTION OF LOTS 3 & 4, BLOCK 6; LOTS 2, 3, & 4, BLOCK 7; LOTS 1 & 2, BLOCK 8; AND LOTS 1, 2, 3, & 4, BLOCK 9, MOTON ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED AND DEPICTED HEREIN BY EXHIBIT 'A'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Asher Hamilton on behalf of RIV Properties; Alvin Moton Jr.; James Moton; Debra Heard; Beulah Robertson; Tony Moton; and Kathy Moton for the approval of a *PD Development Plan* for a 176-unit, condominium building to be situated within the *Hillside Mixed-Use Subdistrict* and the *Horizon/Summer Lee*, on a 3.95-acre tract of land identified as Lots 1 & 2, Block 1; Lots 1, 2, 3, & 4, Block 2; Lots 1, 2, 3, & 4, Block 3; Lots 1, 2, 3, & 4, Block 5; Lots 1 & 2 and a portion of Lots 3 & 4, Block 6; Lots 2, 3, & 4, Block 7; Lots 1 & 2, Block 8; and Lots 1, 2, 3, & 4, Block 9, Moton Addition, City of Rockwall, Rockwall County, Texas and more fully described and depicted in *Exhibit 'A'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that Planned Development District 32 (PD-32) [Ordinance No. 17-22] and the Unified Development Code [Ordinance No. 20-02] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the approval of this ordinance shall supersede *Ordinance No. 22-10*; and,

SECTION 2. That Planned Development District 32 (PD-32) [Ordinance No. 17-22] and the Unified Development Code [Ordinance No. 20-02], as heretofore amended, shall be further amended by adopting this *PD Development Plan* and amending the official zoning map of the City of Rockwall for the *Subject Property*; and,

SECTION 3. That development of the *Subject Property* shall generally be in accordance with

the *Concept Plan*, depicted in *Exhibit 'B'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'B'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*; and,

SECTION 4. That development of the *Subject Property* shall generally be in accordance with the *Conceptual Building Elevations*, depicted in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*; and,

SECTION 5. That the *Subject Property* shall be used only in the manner and for the purposes provided for in Planned Development District 32 (PD-32) [*Ordinance No. 17-22*], the Unified Development Code [*Ordinance No. 20-02*], and in compliance with the following conditions and requirements:

- (1) The development of the subject property shall generally conform to the *Concept Plan* depicted in *Exhibit 'B'* of this ordinance.
- (2) The development of the subject property shall generally conform to the proposed *Conceptual Building Elevations* depicted in *Exhibit 'C'* of this ordinance and to the design guidelines contained in *Resolution No. 10-40*.
- (3) The proposed condominium building shall not contain more than 176 urban residential units.
- (4) All building materials and color schemes proposed for this development should conform to the requirements stipulated by Planned Development District 32 (PD-32) [*as amended*].
- (5) Prior to the issuance of a building permit the applicant shall submit and seek approval for a detailed *PD Site Plan* that demonstrates compliance with all applicable standards of Planned Development District 32 (PD-32) [*as amended*] and with the requirements approved in this ordinance.
- (6) All buildings throughout the development shall be constructed with a consistent design scheme, incorporate four (4) sided architecture that creates an entry appearance on all four (4) sides, and be approved by the Architectural Review Board (ARB) at the time of the *PD Site Plan*.

SECTION 6. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 7. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 8. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

SECTION 9. That this ordinance shall take effect immediately from and after its passage;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 6TH DAY OF FEBRUARY, 2023.

Kevin Fowler, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: January 17, 2023

2nd Reading: February 6, 2023

Exhibit 'A':
Legal Description and Location Map

PARCEL 1 (TRACTS 1 & 2)

TRACT 1: All that certain 0.705-acre tract of land in the Edward Teal Survey, Abstract No. 207, Rockwall County, Texas and being Lot 2 and part of Lots 1, 3 and 4, of Block 2 and Lots 1 and 2 and part of Lots 3 and 4, of Block 4 of George Morton Estate, an addition to the City of Rockwall, recorded in Cabinet A, Slide 47B of the Plat Records of said county, and being part of the tract of land described in a Warranty Deed to Culpepper/Spatex Joint Venture, recorded in Volume 209, Page 475 of the Deed Records of said county, and being more particularly described by metes and bounds as follows:

BEGINNING at a ½-inch iron rebar with a cap (illegible) found at the north end of a corner clip at the intersection of Summer Lee Drive, a variable width public right-of-way and Horizon Drive, a variable width public right-of-way per the right-of-way dedication to the City of Rockwall recorded in Instrument Number 2005-0000338484 of the Official Public Records of said county;

THENCE with the northwest right-of-way line of Summer Lee Drive the following courses and distances:

South 38°15'10" West, a distance of 44.84-feet to a ½-inch iron rebar with a cap (illegible) found for corner;

South 43°54'47" West, a distance of 14.91-feet to a ½-inch iron rebar with a cap (illegible) found for corner;

South 43°55'59" West, a distance of 131.01-feet to a ½-inch iron rebar with a cap (illegible) found for corner in the southwest line of said Lot 3, Block 4 and in the northeast line of Lot 4, Block 6 of said addition;

THENCE North 45°23'07" West, with said southwest line and said northeast line, passing at a distance of 38.12-feet, to a ½-inch iron rebar with a cap stamped "RPLS 6484" set for corner in said northwest right-of-way line and the east corner of a called 0.160-acre tract of land described in a General Warranty Deed to Mark R. Carson, recorded in Instrument Number 2008-00394439 of said Official Public Records, continuing with said southwest line of said Lot 3, Block 4, the southwest line of Lot 2, Block 4, the northwest line of said Lot 4, Block 6, the northwest line of Lot 1, Block 6 of said addition, and the northwest line of said 0.160-acre tract, in all, a total distance of 139.41-feet to a ½-inch iron rebar with a cap stamped "RPLS6484" set for the west corner of said Lot 2, Block 4, the north corner of said Lot 1, Block 6 and in the southeast line of a 40 foot wide easement, recorded in said addition;

THENCE North 43°50'43" East, with the northwest lines of said Lot 1 and Lot 2 Block 4 and said Lot 1 and Lot 2, Block 2 and said southeast line of said 40 foot wide easement, a distance of 230.94-feet to a ½-inch iron rebar with a cap stamped "RPLS 6484" set for corner in the southwest right-of-way line of said Horizon Drive at the beginning of a non-tangent curve to the left, with a radius of 510.50-feet and a chord which bears South 37°22'46" East, a distance of 14.17-feet;

THENCE with said southwest right-of-way line of Horizon drive the following courses and distances:

Along said curve to the left, with a central angle of 01°35'26" and an arc distance of 14.17-feet to a ½-inch iron rebar with a cap (illegible) found for the beginning of a compound curve to the left, with a radius of 576.50-feet, and a chord which bears South 41°42'06" East, a distance of 70.67-feet;

Along said curve to the left, with a central angle of 07°01'39" and an arc distance of 70.71-feet to a ½-inch iron rebar with a cap (illegible) found for corner;

South 45°16'48" East, a distance of 17.37-feet to the *POINT OF BEGINNING* and containing 0.705-acres (30,690 square-feet) of land.

TRACT 2: All that certain 0.463-acre tract of land in the Edward Teal Survey, Abstract No. 207, Rockwall

Exhibit 'A':
Legal Description and Location Map

County, Texas and being Lots 1, 2, 3 and 4, Block 3 of George Morton Estate, an addition to the City of Rockwall, recorded in Cabinet A, Slide 47B of the Plat Records of said county, and being part of the tract of land described in a Warranty Deed to Culpepper/Spatex Joint Venture, recorded in Volume 209, Page 475 of the Deed Records of said county, and being more particularly described by metes and bounds as follows:

BEGINNING at a ½-inch iron rebar with a cap stamped "RPLS 6484" set for the west corner of said Lot 2, Block 3, and at the intersection of a 20 foot wide easement, recorded in said addition, from which a ½-inch iron rebar with a cap stamped "RPLS 5034" found bears North 73°52'22" West a distance of 22.02-feet and a 5/8 inch iron rebar with a cap stamped "Sam Inc" found bears North 88°48'34" East, a distance of 27.56-feet;

THENCE North 43°50'43" East, with the northwest line of said Lot 1 and Lot 2, Block 3 and the southeast line of the 20-foot-wide easement, a distance of 131.01-feet to a ½-inch iron rebar with a cap stamped "RPLS 6484" set for the north corner of said Lot 1, Block 3 and the west corner of Lot 2, Block 1 of said addition;

THENCE South 45°21'44" East, with the northeast line of said Lot 1 and Lot 4, Block 3 and the southwest line of said Lot 2, Block 1 and Lot 3, Block 1 of said addition, a distance of 154.01-feet to a ½-inch iron rebar with a cap stamped "RPLS 6484" set for the east corner of said Lot 4, Block 3, the south corner of said Lot 3, Block 1 and in the northwest line of a 40 foot wide easement as recorded in said addition;

THENCE South 43°50'43" West, with the southeast line of said Lot 3 and Lot 4 Block 3 and said northwest line of said 40 foot wide easement, a distance of 131.01 feet to a ½-inch iron rebar with a cap stamped "RPLS 6484" set for the south corner of said Lot 3, Block 3 and at the intersection of said northwest line of the 40 foot wide easement and the northeast line of said 20 foot wide easement;

THENCE North 45°21'44" West, with the southwest line of said Lot 2 and Lot 3, Block 3, and the northeast line of said 20-foot wide easement, a distance of 154.01-feet to the *POINT OF BEGINNING* and containing 0.463-acres (20,176 square-feet) of land.

Parcel 2

All that certain 0.160-acre tract of land in the Edward Teal Survey, Abstract No. 207, Rockwall County, Texas and being Lot 1 and part of Lot 4, Block 6 of George Morton Estate, an addition to the City of Rockwall, recorded in Cabinet A, Slide 47B of the Plat Records of said county, and being same 0.160-acre tract of land described a General Warranty Deed to Mark R. Carson, recorded in Instrument Number 2008-00394439 of the Official Public Records of said county, and being more particularly described by metes and bounds as follows:

BEGINNING at a ½-inch iron rebar with a cap stamped "RPLS 6484" set for the east corner of said 0.160-acre tract, in the northeast line of said Lot 4, Block 6, the southwest line of Lot 3, Block 4 of said addition and in the northwest right-of-way line of Summer Lee Drive, a variable width public right-of-way, from which a ½-inch iron rebar with a cap (illegible) found in said northwest right-of-way line bears South 45°23'07" East, a distance of 38.12-feet;

THENCE with the southeast line of said 0.160-acre tract and said northwest right-of-way line, the following courses and distances;

South 49°50'10" West, a distance of 25.57-feet to a ½-inch iron rebar with a cap stamped "RPLS 5034" found for corner;

North 45°40'41" West, a distance of 20.93-feet to a ½-inch iron rebar with a cap stamped "RPLS 6484" set for corner in the southeast line of said Lot 1, Block 6 and the northwest line of said Lot 4, Block 6;

Exhibit 'A':
Legal Description and Location Map

South 44°13'18" West, a distance of 39.98-feet to a ½-inch iron rebar with a cap stamped "RPLS 6484" set for the south corner of said 0.160-acre tract, the south corner of said Lot 1, Block 6, the west corner of said Lot 4, Block 6 the north corner of Lot 3, Block 6 of said addition, the east corner of Lot 2, Block 6 of said addition, and the east corner of a called 0.18-acre tract described in a General Warranty Deed to Allen Anderson, recorded in Instrument No. 2008-00394440 of said Official Public Records;

THENCE North 45°21'44" West, with the southwest line of said 0.160-acre tract, the southwest line of said Lot 1, Block 6, the northeast line of said 0.18-acre tract, and the northeast line of said Lot 2, Block 6, passing at a distance of 77.43-feet, a 1/2inch iron rebar with a cap stamped "RPLS 6484" set for the west corner of said Lot 1, Block 6, the north corner of said Lot 2, Block 6 and in the southeast line of a 40foot wide easement, recorded in said addition, in all, a total distance of 97.43-feet to the west corner of said 0.160-acre tract, the north corner of said 0.18-acre tract and in the center of said 40 foot wide easement;

THENCE North 43°50'43" East, with the center of said 40-foot-wide easement, a distance of 65.51-feet to the north corner of said 0.160-acre tract;

THENCE South 45°23'21" East, with the northeast line of said 0.160-acre tract, passing at a distance of 20.00-feet, a ½-inch iron rebar with a cap stamped "RPLS 6484" set for the north corner of said Lot 1, Block 6, the west corner of said Lot 2, Block 4 of said addition, continuing with said northeast line of the 0.160-acre tract, the northeast line of said Lot 1 and Lot 4, Block 6, and the southwest line of said Lot2 and Lot 3, Block 4, in all, a total distance of 121.30-feet to the *POINT OF BEGINNING* and containing 0.160-acres (6,964 square-feet) of gross area, 0.130-acres (5,654 square-feet) of net area of land.

Parcel 3

All that certain 0.175-acre tract of land in the Edward Teal Survey, Abstract No. 207, Rockwall County, Texas and being Lot 2 and part of Lot 3, Block 6 of George Morton Estate, an addition to the City of Rockwall, recorded in Cabinet A, Slide 47B of the Plat Records of said county, and being a called 0.18-acre tract of land described a General Warranty Deed to Allen Anderson, recorded in Instrument No. 2008-00394440 of the Official Public Records of said county, and being more particularly described by metes and bounds as follows:

BEGINNING at a ½-inch iron rebar with a cap stamped "RPLS 5034" found for the south corner of said 0.18-acre tract, in the southwest line of said Lot 3, Block 6 and in the northwest right-of-way line of Summer Lee Drive, a variable width public right-of-way, from which a ½-inch iron rebar with a cap stamped "RPLS 5034" found in said right-of-way bears South 45°21'27" East, a distance of 19.89-feet;

THENCE North 45°21'27" West, with the southwest line of said 0.18-acre tract, said southwest line of Lot 3, Block 6 and, in said northwest right-of-way line, passing at a distance of 43.01-feet, a ½-inch iron rebar with a cap stamped "RPLS 6484" set for the south corner of said Lot 2, Block 6, the west corner of said Lot 3, Block 6 and the west corner of Lot 1, Block 8 of said addition, departing said northwest right-of-way line and continuing with said southwest line of the 0.18-acre tract, the southwest line of said Lot 2, Block 6 and the northwest line of said Lot 1, Block 8, passing at a distance of 119.67-feet, a ½-inch iron rebar with a cap stamped "RPLS 6484" set for the west corner of said Lot 2, Block 6, the north corner of said Lot 1, Block 8 and in the southeast line of a 40 foot wide easement recorded in said addition, continuing with said southwest line of the 0.18-acre tract, in all, a total distance of 139.67-feet to the west corner of said 0.18-acre tract and in the center of said 40 foot wide easement;

THENCE North 43°50'43" East, with the northwest line of said 0.18-acre tract and in the center of said 40 food wide easement, a distance of 65.50-feet to the north corner of said 0.18-acre tract and the west corner of a called 0.160-acre tract of land described a General Warranty Deed to Mark R. Carson, recorded in Instrument Number 2008-00394439 of said Official Public Records;

THENCE South 45°21'44" East, with the northeast line of said 0.18-acre tract and the southwest line of said 0.160-acre tract, passing at a distance of 20.00-feet, a ½-inch iron rebar with a cap stamped "RPLS

Exhibit 'A':
Legal Description and Location Map

6484" set for the north corner of said Lot 2, Block 6 and the west corner of said Lot 1, Block 6, continuing with said northeast line of the 0.18-acre tract, the northeast line of said Lot 2, Block 6, said southwest line of the 0.160-acre tract and the southwest line of said Lot 1, Block 6, in all, a total distance of 97.43-feet to a ½-inch iron rebar with a cap stamped "RPLS 6484" set for the west corner of said 0.18-acre tract, the west corner of said Lot 2, Block 6, the south corner of said 0.160-acre tract, the south corner of said Lot 1, Block 6 and, in said northwest right-of-line of Summer Lee Drive;

THENCE with the southeast line of said 0.18-acre tract and said northwest right-of-way line, the following courses and distances;

South 44°13'18" West, a distance of 19.50-feet to a ½-inch iron rebar with a cap stamped "RPLS 5034" found for corner;

South 09°43'47" East, a distance of 46.51-feet to a ½-inch iron rebar with a cap stamped "RPLS 5034" found for corner;

South 29°14'41" West, a distance of 19.61-feet to the *POINT OF BEGINNING* and containing 0.175-acres (7,635 square-feet) of gross area and 0.145-acres (6,325 square-feet) of net area of land.

Parcel 4

All that certain 0.230-acre tract of land in the Edward Teal Survey, Abstract No. 207, Rockwall County, Texas and being Lots 1 and 2, Block 8 of George Morton Estate, an addition to the City of Rockwall, recorded in Cabinet A, Slide 47B of the Plat Records of said county, and being more particularly described by metes and bounds as follows:

BEGINNING at a ½-inch iron rebar with a cap stamped "RPLS 5034" found for the south corner of said Lot 2, Block 8, the west corner of Lot 3, Block 8 of said addition, the east corner of Lot 1, Block 10 of said addition and the north corner of Lot 4, Block 8 of said addition, from which, a ½-inch iron rebar with a cap stamped "RPLS5034" found bears South 45°21'46" East, a distance of 63.39-feet;

THENCE North 45°21'46" West, with the southwest line of said Lot 2, Block 8 and the northeast line of said Lot 1, Block 10, a distance of 76.12-feet to a ½-inch iron rebar with a cap stamped "RPLS 6484" set for the west corner of said Lot 2, Block 8, the north corner of said Lot 1, Block 10 and in the southeast line of a 40 foot wide easement recorded in said addition;

THENCE North 43°50'43" East, with the northwest line of said Lot 1 and Lot 2 Block 8 and said southeast line of the 40 foot wide easement, a distance of 130.96feet to a ½-inch iron rebar with a cap stamped "RPLS 6484" set for the north corner of said Lot 1, Block 8, the west corner of Lot 2, Block 6 of said addition and in the southwest line of a called 0.18-acre tract of land described a General Warranty Deed to Allen Anderson, recorded in Instrument No. 2008-00394440 of the Official Public Records of said county;

THENCE South 45°21'27" East, with the northeast line of said Lot 1, Block 8, the southwest line of said Lot 2, Block 6 and said southwest line of the 0.18-acre tract, a distance of 76.66-feet to a ½-inch iron rebar with a cap stamped "RPLS 6484" set for the east corner of said Lot 1, Block 8, the south corner of said Lot 2, Block 6, the west corner of Lot 3, Block 6 of said addition and the north corner of said Lot 4, Block 8, from which a ½-inch iron rebar with a cap stamped "RPLS 5034" found for the south corner of said 0.18-acre tract and in the northwest right-of-way line of Summer Lee Drive, a variable width public right-of-way bears South 45°21'27" East, a distance of 43.01-feet;

THENCE South 44°04'51" West, with the southeast line of said Lot 1 and Lot 2, Block 8 and the northwest line of said Lot 3 and Lot 4, Block 8, passing at a distance of 114.25-feet, a ½-inch iron rebar found, in all, a total distance of 130.95feet to the *POINT OF BEGINNING* and containing 0.230-acres (10,002 square-feet) of land.

Exhibit 'A':
Legal Description and Location Map

Parcel 5

All that certain 1.245-acre tract of land in the Edward Teal Survey, Abstract No. 207, Rockwall County, Texas and being Lots 1, 3 and 4, and part of Lot 2 Block 5, Lots 3 and 4 and part of Lot 2, Block 7 and Lots 1, 2, 3 and 4, Block 9 of George Morton Estate, an addition to the City of Rockwall, recorded in Cabinet A, Slide 47B of the Plat Records of said county, and being all of the tract of land described in a General Warranty Deed to Dimensions Real Estate Services, recorded in Instrument No.2011-00451974 of the Official Public Records of said county, and being more particularly described by metes and bounds as follows:

BEGINNING at a ½-inch iron rebar with a cap stamped "RPLS 6484" set for the west corner of Lot 2, Block 9, the north corner of Lot 1, Block 11 of said addition, and in the southwest line of a 20 foot wide easement recorded in said addition;

THENCE North 43°50'43" East, with the northwest lines of said Lot 1 and Lot 2, Block 9 and Lot 2, Block 7 and said southeast line of the 20 foot wide easement, a distance of 135.22-feet to a ½-inch iron rebar with a cap stamped "RPLS 6484" set for corner in the northwest line of said Lot 2, Block 7 and in the south right-of-way line of Pinnacle Way, a 58 foot wide public right-of-way, from which a ½-inch iron rebar found at the intersection of said south right-of-way line of Pinnacle Way and the east right-of-way line of Sunset Ridge Drive, a variable width public right-of-way bears South 72°49'03" West, a distance of 184.95-feet;

THENCE North 72°49'03" East, with said south right-of-way line of Pinnacle Way, a distance of 69.48-feet to a ½-inch iron rebar with a cap stamped "RPLS 5034" found for corner in the northeast line of said Lot 2, Block 9;

THENCE South 45°37'46" East, continuing with said south right-of-way line of Pinnacle Way and with the northeast line of said Lot 2, Block 9, a distance of 42.61-feet to a ½-inch iron rebar with a cap stamped "RPLS 5034" found for the east corner of said Lot 2, Block 9, the north corner of said Lot 3, Block 9 and the west corner of said Lot 4, Block 7;

THENCE North 44°12'16" East, continuing with said south right-of-way line of Pinnacle Way and with the northwest line of said Lot 4, Block 7, a distance of 65.39feet to a 5/8 inch iron rebar with a cap stamped "Maddox" found for the north corner of said Lot 4, Block 7, the west corner of said Lot 3, Block 7, the south corner of said Lot 2, Block 7, and the east corner of the terminus of said Pinnacle Way;

THENCE North 45°28'03" West, with the east right-of-way line of said Pinnacle Way and the southwest line of said Lot 2, Block 7, a distance of 41.44-feet to a 5/8-inch iron rebar with a cap stamped "Maddox" found in said east right-of-way line of Pinnacle Way;

THENCE North 17°34'51" West, departing said southwest line of said Lot 2, Block 7 and continuing with said east right-of-way line of Pinnacle Way, passing at a distance of 28.13-feet to the north corner of the terminus of said Pinnacle Way, in all, a total distance of 40.12-feet to a ½-inch iron rebar with a cap stamped "RPLS6484" set in the northwest line of said Lot 2, Block 5 and in the southeast line of a 20 foot wide easement recorded in said addition;

THENCE North 43°50'43" East, with the northwest lines of said Lot 1 and Lot 2, Block 5 and said southeast line of the 20 foot wide easement, a distance of 112.80feet to a ½-inch iron rebar with a cap stamped "RPLS 6484" set for the north corner of said Lot 1, Block 5 and the intersection of said southeast line of the 20 foot wide easement and the southwest line of another 20 foot wide easement recorded in said addition, from which a 5/8 inch iron rebar with a cap stamped "Sam Inc" bears North 44°39'37" West, a distance of 19.25-feet;

THENCE South 45°21'44" East, with the northwest lines of said Lot 1 and Lot 4, Block 5 and said southwest line of the 20 foot wide easement, a distance of 154.01-feet to a ½-inch iron rebar with a cap stamped "RPLS 6484" set for the west corner of said Lot 4, Block 5 and the intersection of said southwest

Exhibit 'A':
Legal Description and Location Map

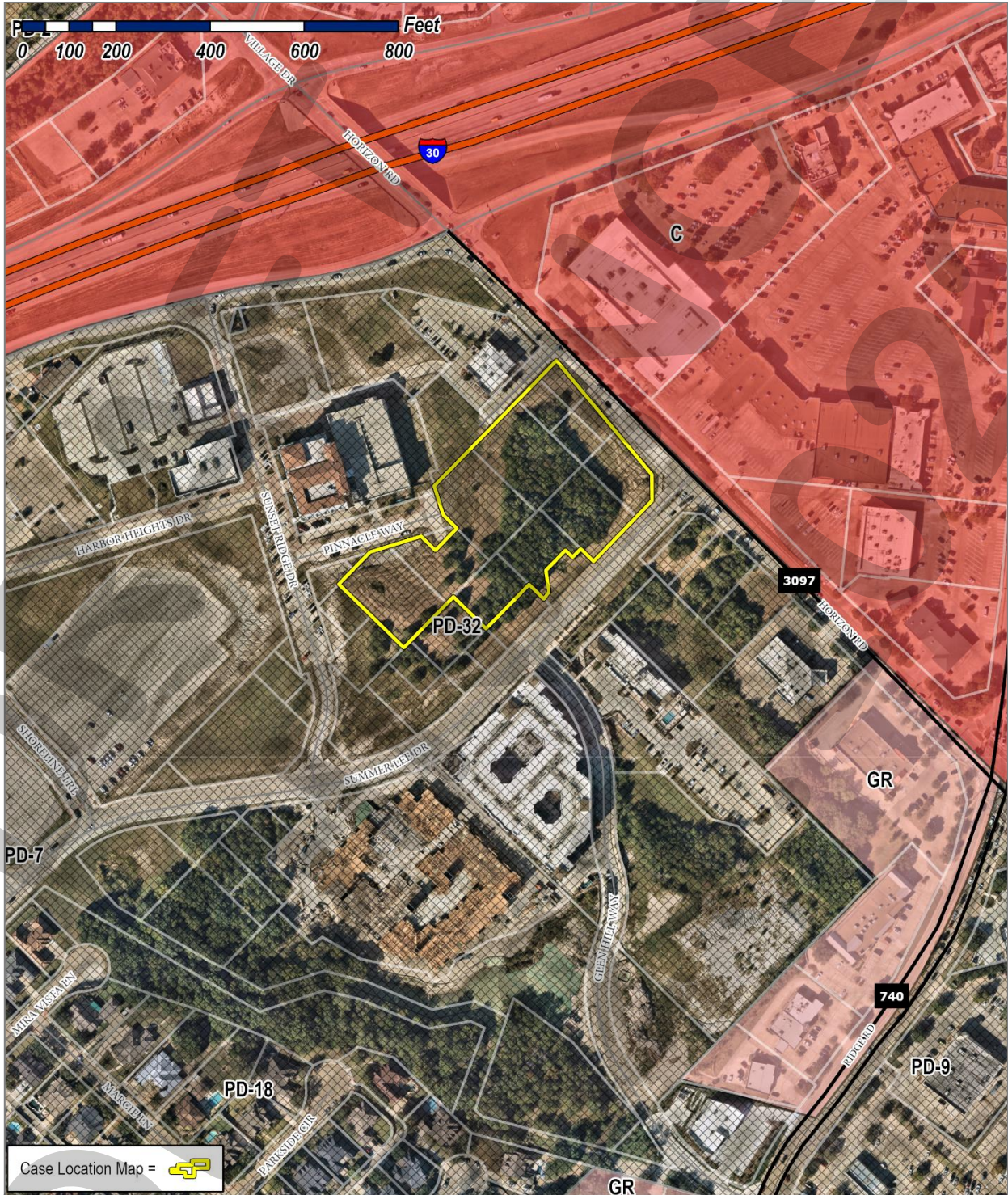
line of the 20 foot wide easement and the northwest line of a 40 foot wide easement recorded in said addition;

THENCE South 43°50'43" West, with the southeast lines of said Lots 3 and 4, Block 5, Lots 3 and 4, Block 7 and Lots 3 and 4, Block 9 and said northwest line of the 40 foot wide easement, a distance of 393.33-feet to a ½-inch iron rebar with a cap stamped "RPLS 6484" set for the south corner of said Lot 3, Block 9 and the east corner of said Lot 4, Block 11 of said addition, from which a ½-inch iron rebar found bears South 45°25'13" East, a distance of 18.07-feet;

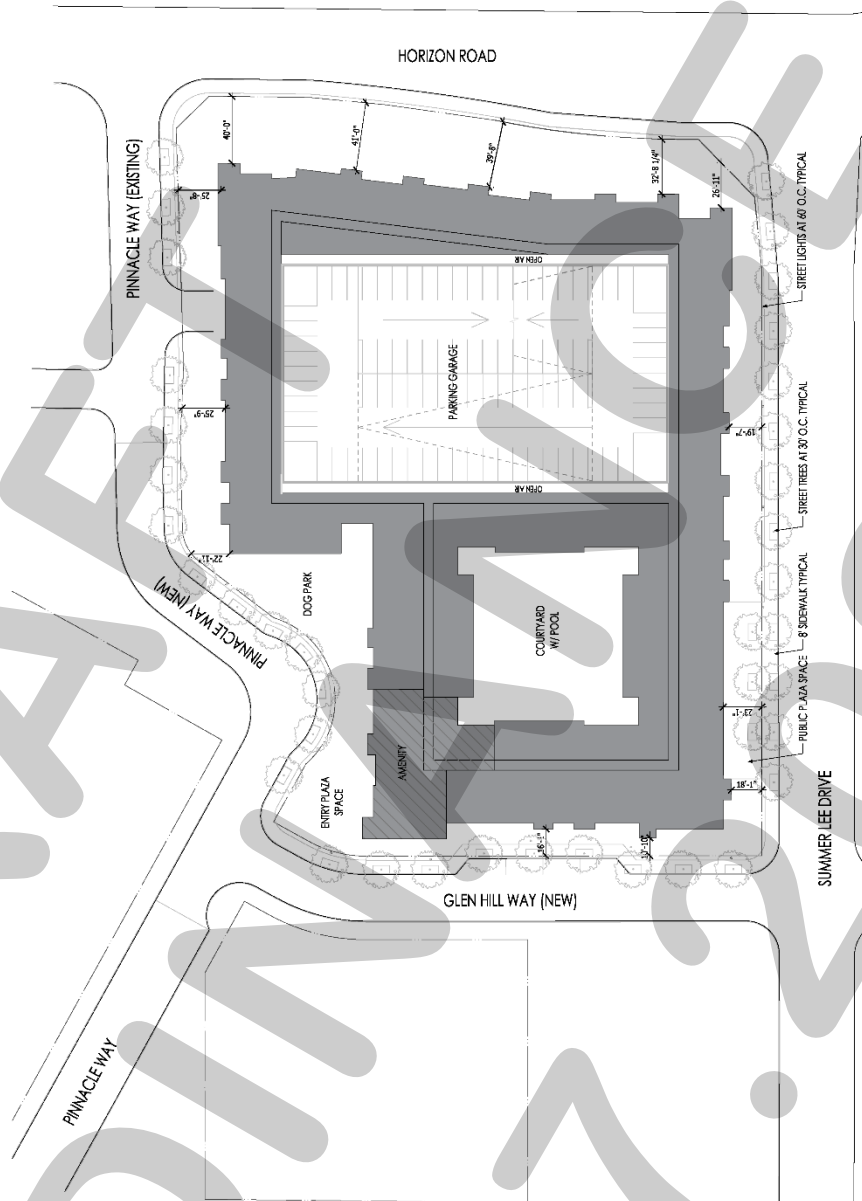
THENCE North 45°25'13" West, with the southwest lines of said Lots 2 and 3, Block 9 and the northwest lines of said Lots 1 and 4, Block 11, passing at a distance of 78.94-feet, a ½-inch iron rebar with a cap stamped "RPLS 5034" found for the west corner of said Lot 3, Block 9, the south corner of said Lot 2, Block 9, the east corner of said Lot 1, Block 11, and the north corner of said Lot 4, Block 11, in all, a total distance of 154.01-feet to the *POINT OF BEGINNING* and containing 1.245-acres (54,217 square-feet) of land.

Exhibit 'A':
Legal Description and Location Map

Legal Description: Lots 1 & 2, Block 1; Lots 1, 2, 3, & 4, Block 2; Lots 1, 2, 3, & 4, Block 3; Lots 1, 2, 3, & 4, Block 5; Lots 1 & 2 and a portion of Lots 3 & 4, Block 6; Lots 2, 3, & 4, Block 7; Lots 1 & 2, Block 8; and Lots 1, 2, 3, & 4, Block 9, Moton Addition



**Exhibit 'B':
Concept Plan**



PROJECT DATA	
SITE AREA:	32 ACRES (ESTIMATED)
78% LOT COVERAGE	162 SPACES
(1) THREE-FOUR STORY BUILDING	108 UNITS
121,594 GSF	28 UNITS
138,723 NBSF	60 UNITS
890 SF AVG. UNIT SIZE	8 UNITS
176 UNITS	20 SPACES
	176 UNITS
	302 SPACES
INTERIOR AMENITY SPACE	305 SPACES
6,850 GSF	305 SPACES
	302 PARKING SPACES PROVIDED
	@ 1.7 SPACE / UNIT

Exhibit 'C':
Conceptual Building Elevations

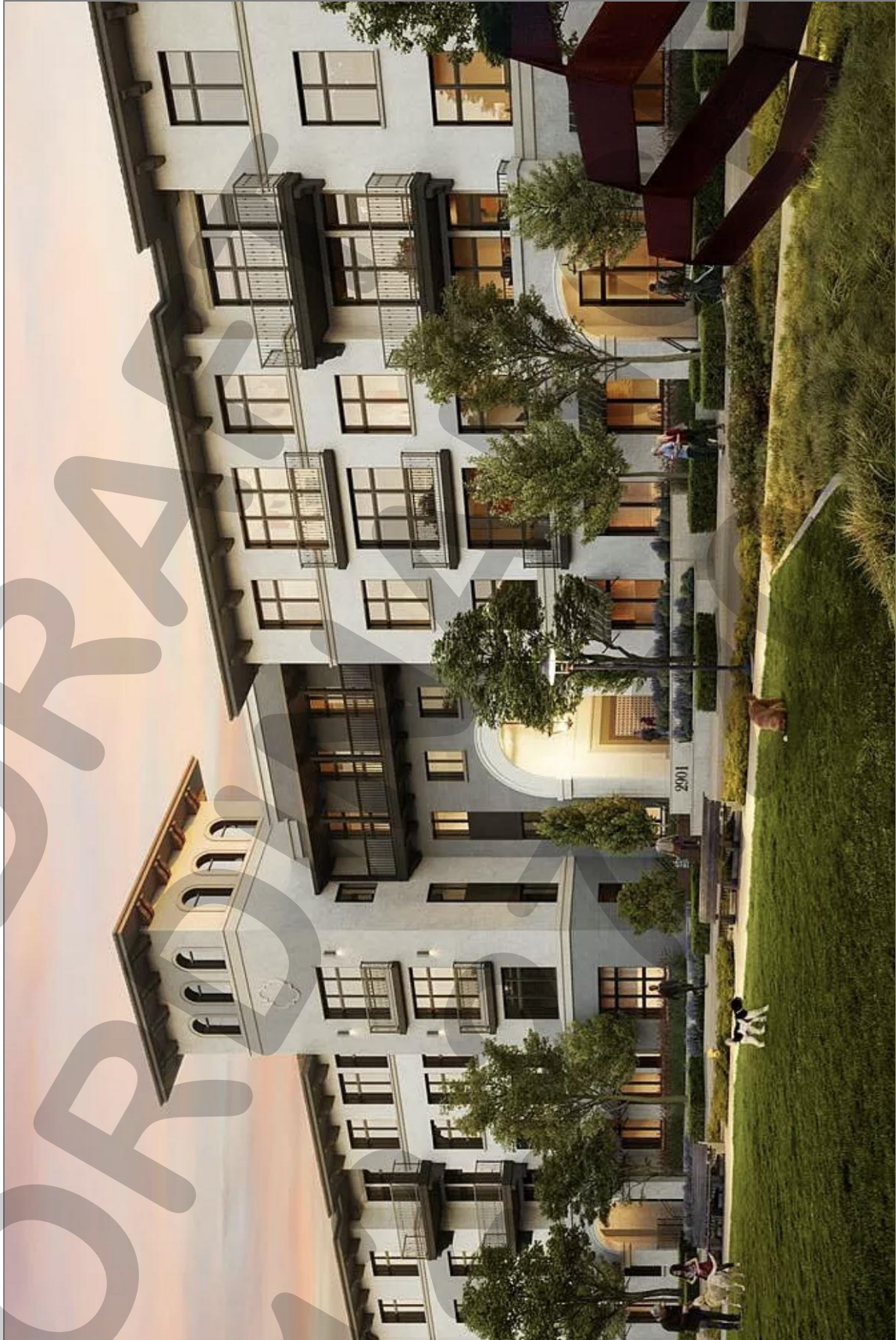


Exhibit 'C':
Conceptual Building Elevations



PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 12/19/2022

PROJECT NUMBER: Z2022-059
PROJECT NAME: SUP for Smoothie King Rockwall
SITE ADDRESS/LOCATIONS: 3003 N GOLIAD ST

CASE MANAGER: Henry Lee
CASE MANAGER PHONE: 972.772.6434
CASE MANAGER EMAIL: hlee@rockwall.com

CASE CAPTION: Hold a public hearing to discuss and consider a request by Dewayne Zinn of Cross Engineering Consultants, Inc. on behalf of Chad Dubose of JCDB Goliad Holdings, LLC for the approval of a Specific Use Permit (SUP) for a Restaurant with 2,000 SF or more with a Drive-Through (i.e. Smoothie King) on a 0.579-acre portion of a larger 2.542-acre parcel of land identified as Lot 1, Block A, Pecan Valley Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, located at the northwest corner of the intersection of Pecan Valley Drive and N. Goliad Street [SH-205], and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Henry Lee	12/19/2022	Approved w/ Comments

12/19/2022: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This request is for the approval of a Specific Use Permit (SUP) for a Restaurant with 2,000 SF or more with a Drive-Through (i.e. Smoothie King) on a 0.579-acre portion of a larger 2.542-acre parcel of land identified as Lot 1, Block A, Pecan Valley Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, located at the northwest corner of the intersection of Pecan Valley Drive and N. Goliad Street [SH-205], and addressed as 150 Pecan Valley Drive.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (Z2022-059) in the lower right-hand corner of all pages on future submittals.

I.4 According to the conditional use standards for a Restaurant, Less Than 2,000 SF, with Drive-Through or Drive-In contained in Article 04, Permissible Uses, of the Unified Development Code (UDC), "(d)rive-through lanes shall not have access to a local residential street."

M.5 Quail Run Road is identified as an R2 (residential, two {2} lane, undivided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. This will require discretionary approval from the City Council pending a recommendation from the Planning and Zoning Commission.

I.6 According to Subsection 06.02 (C)(7), Architectural Standards, of Article 05, District Development Standards, of the Unified Development Code (UDC), "(a)ll buildings within a common retail, commercial or office development shall incorporate complementary architectural styles, materials, and colors.

I.7 According to Subsection 01.05, Screening Standards, of Article 05, District Development Standards, of the Unified Development Code (UDC), "...these (trash enclosures) shall be located to the side or rear of the primary building and shall not front onto a public street."

I.8 According to the conditional use standards for a Restaurant, Less Than 2,000 SF, with Drive-Through or Drive-In contained in Article 04, Permissible Uses, of the Unified Development Code (UDC), "...stacking lanes for a drive-through service window shall accommodate a minimum of six (6) standard sized motor vehicles per lane."

M.9 Please show the stacking from the point of order to ensure compliance with the requirements of the Unified Development Code (UDC).

I.10 No trees are permitted within five (5) feet of an existing or proposed utility line. With the number of utility easements adjacent to Pecan Valley Drive and Quail Run Road it may be difficult for this property to meet the headlight screening requirements and the required landscaping along these roadways. This means that it may be necessary to provide a three (3) foot masonry wall adjacent to the drive-through to provide sufficient headlight screening and to cluster the trees on the site to meet the landscaping requirements. This will need to be done at the time of site plan, and has been added as an operational condition to the draft ordinance.

M.11 Please indicate how headlights will be screened from all adjacent roadways utilizing berms and evergreen shrubs.

I.12 Please review the attached Draft Ordinance prior to the December 27, 2022 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than January 3, 2023.

I.13 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on January 3, 2023; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the January 10, 2023 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on December 27, 2022.

I.14 The projected City Council meeting dates for this case will be January 17, 2023 (1st Reading) and February 6, 2023 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	12/16/2022	Approved w/ Comments

12/16/2022: - Flood study is required to be approved to change the floodplain limits.

The following items are informational for the engineering design process.

General Items:

- 4% Engineering fees
- Impact fees
- Engineering Review fees apply.
- Retaining walls 3' and over must be engineered.
- All retaining walls to be rock or stone face. No smooth concrete walls.
- No walls, structures in easements, including detention.
- Must meet all City Standards of Design and Construction.

Street/Paving Items:

- Parking against the building and nose-to-nose must be 20'x9'. Other parking must be 18'x9' with 2' clear overhang.
 - Minimum 25' Curb Return radius to street.
 - Dumpster area to drain to oil/water separator then storm lines.
 - Full panel replacement for water line taps in roadways.
 - Sidewalk along Pecan Valley required.
 - Parking to be 18'x9' with 2' clear overhang.
 - Drive isle must be 24' wide with 10' radius.
 - Driveway spacing to be 50' minimum from Pecan Valley Label on plans.
 - Run a turning radius analysis to verify that cars and fire trucks can make the turn without backing up.
- Review City's allowable running slopes for firelanes.

Drainage Items:

- Will need a Flood Study to change the floodplain. Review fees are required.
- Development may not raise floodplain water on any other site.

- Detention is required for the site.
- TxDOT permits required.
- Structures not allowed within drainage easements.
- Drainage easement for floodplain must be abandoned.
- Waters of the US and Wetland determination will be needed for site plan

Water & Wastewater Items:

- Water available in Pecan Valley
- Sewer available in Pecan Valley
- Minimum public utilities to be 8". Utilities to be located in an easement.
- Fire Hydrants will be required.

Landscaping Items:

- No trees within 5' of utilities for public utilities less than 10". Trees must be 10' away from public utilities 10" or greater.
- No trees within 5' of water line along SH 205, No trees with 10' from 18" sewer line.
- No trees or landscaping in easements along Pecan Valley.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	12/14/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	12/15/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	12/13/2022	Approved w/ Comments

12/13/2022: Assigned Address will be 3003 N Goliad St, Rockwall, TX 75087
Please use suite numbers 110, 120, 130 etc. (similar to next door at 3005).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	12/13/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Henry Lee	12/19/2022	N/A

No Comments



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	150 Pecan Valley Drive			
SUBDIVISION	Pecan Valley Retail	LOT	2	BLOCK A
GENERAL LOCATION	NW corner of Pecan Valley Drive and SH 205			

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	PD-65	CURRENT USE	Vacant	
PROPOSED ZONING	PD-65	PROPOSED USE	Retail/Restaurant	
ACREAGE	0.579	LOTS [CURRENT]	1	LOTS [PROPOSED] 1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	JCDB Goliad Holdings, LLC	<input checked="" type="checkbox"/> APPLICANT	Cross Engineering Consultants, Inc.	
CONTACT PERSON	Chad Dubose	CONTACT PERSON	Dwayne Zinn	
ADDRESS	8350 N. Central Expressway Suite 1300	ADDRESS	1720 W. Virginia St.	
CITY, STATE & ZIP	Dallas, TX 75206	CITY, STATE & ZIP	McKinney, TX 75069	
PHONE	214-561-6522	PHONE	972-562-4409	
E-MAIL	chad@foremark.com	E-MAIL	Dwayne@crossengineering.biz	

NOTARY VERIFICATION [REQUIRED]

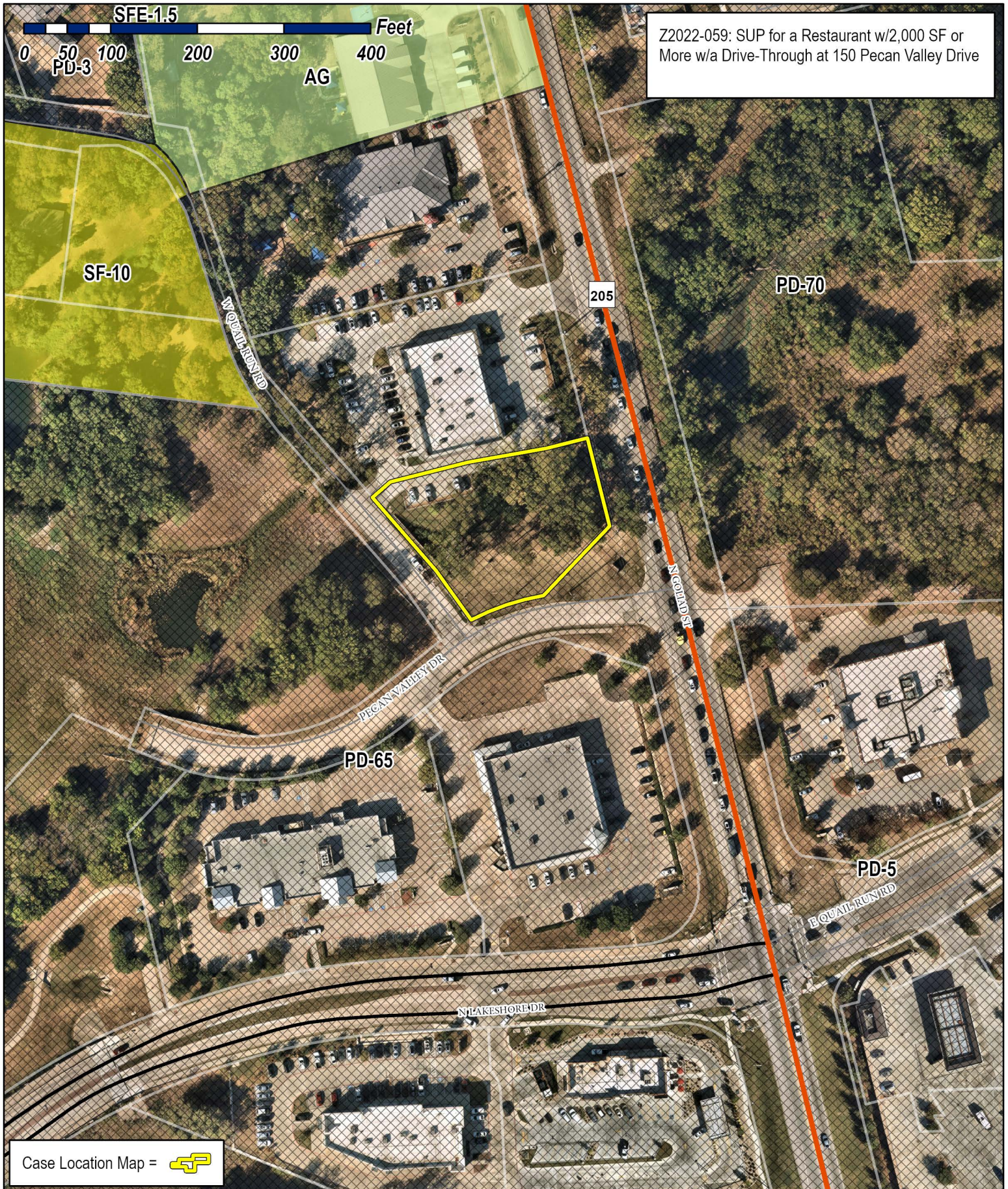
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Chad Dubose [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 12th DAY OF December, 2022. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."


GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 12 DAY OF December 2022
OWNER'S SIGNATURE Chad Dubose

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





Z2022-059: SUP for a Restaurant w/2,000 SF or More w/a Drive-Through at 150 Pecan Valley Drive

Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

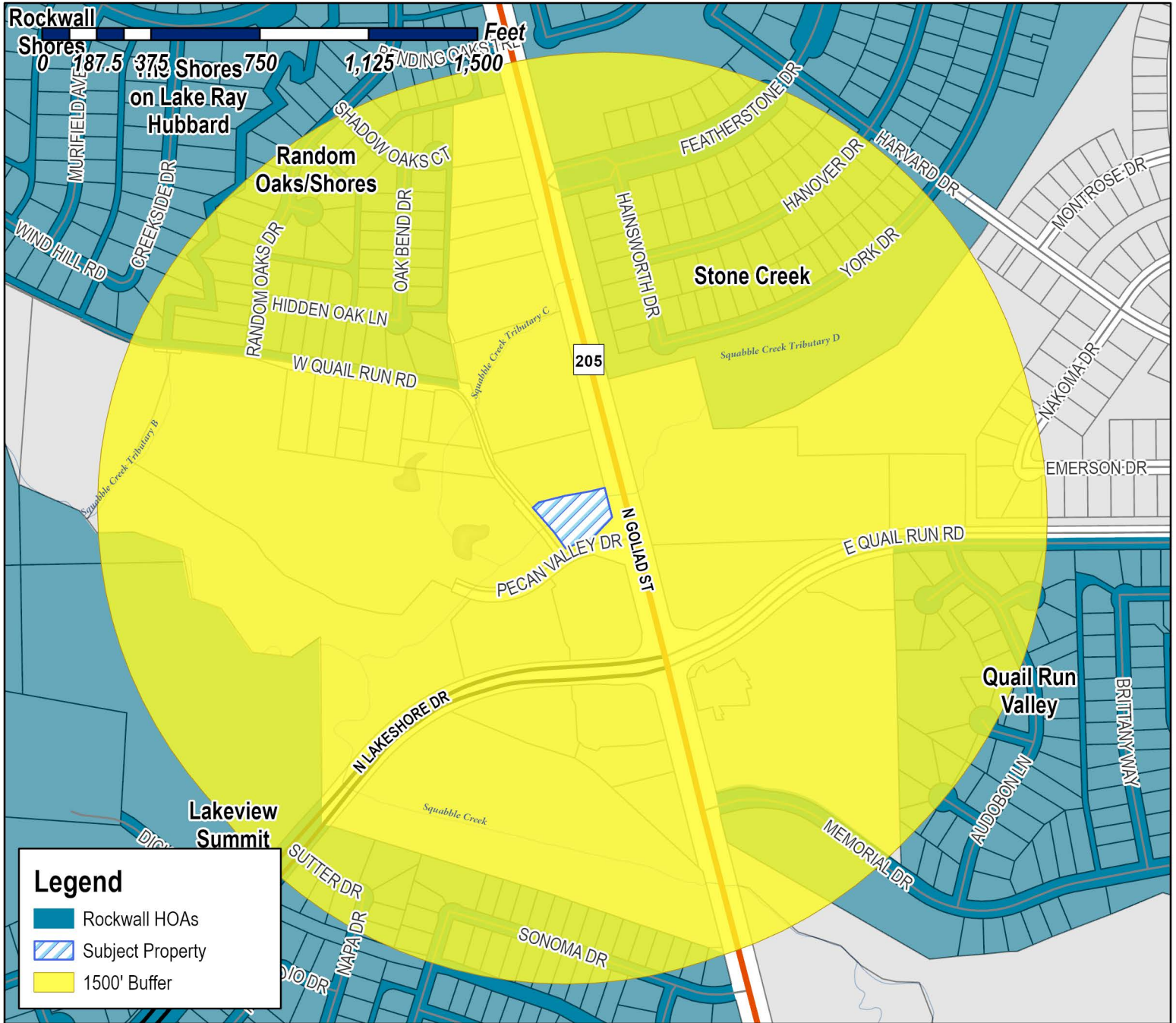




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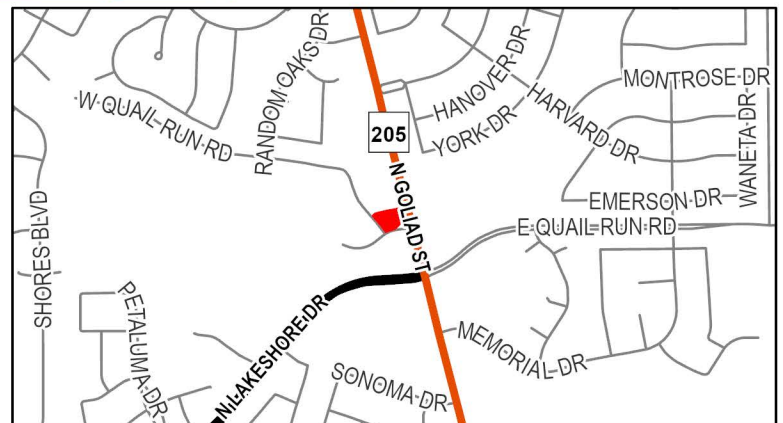
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Case Number: Z2022-059
Case Name: SUP for Restaurant w/2,000 SF or More w/a Drive Through
Case Type: Zoning
Zoning: Planned Development District 65 (PD-65)
Case Address: 150 Pecan Valley Drive

Date Saved: 12/13/2022

For Questions on this Case Call (972) 771-7745



Lee, Henry

From: Guevara, Angelica
Sent: Wednesday, December 14, 2022 3:03 PM
Cc: Miller, Ryan; Ross, Bethany; Chapin, Sarah; Lee, Henry
Subject: Neighborhood Notification Program [Z2022-059]
Attachments: Public Notice Z2022-059.pdf; HOA Map (12.13.2022).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *December 16, 2022*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, January 10, 2023 at 6:00 PM*, and the City Council will hold a public hearing on *Tuesday, January 17, 2023 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2022-059: SUP for a Restaurant w/2,000 SF or More w/a Drive-Through

Hold a public hearing to discuss and consider a request by Dewayne Zinn of Cross Engineering Consultants, Inc. on behalf of Chad Dubose of JCDB Goliad Holdings, LLC for the approval of a *Specific Use Permit (SUP)* for a *Restaurant with 2,000 SF or more with a Drive-Through (i.e. Smoothie King)* on a 0.579-acre portion of a larger 2.542-acre parcel of land identified as Lot 1, Block A, Pecan Valley Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, located at the northwest corner of the intersection of Pecan Valley Drive and N. Goliad Street [SH-205], and take any action necessary.

Thank you,

Angelica Guevara

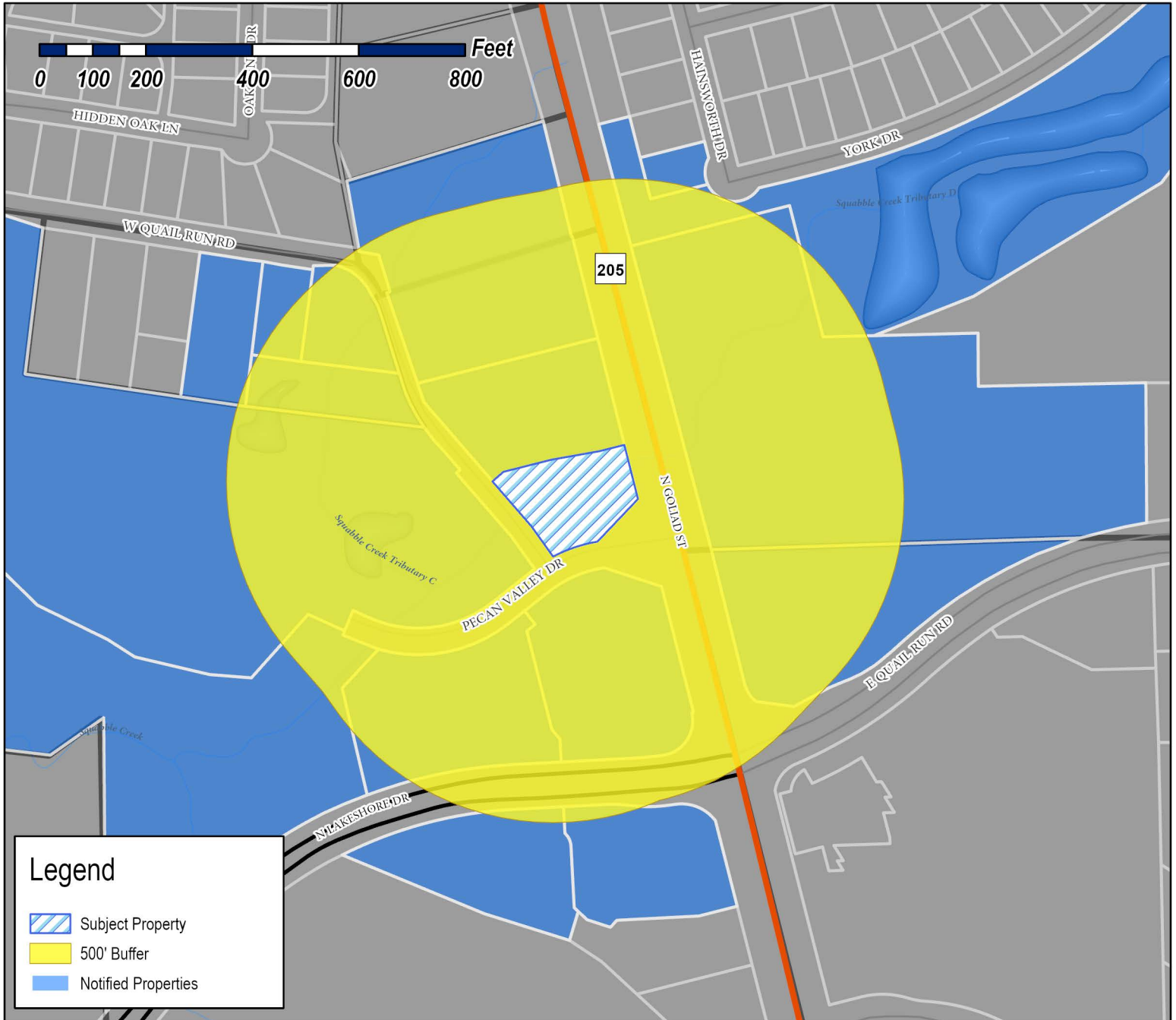
Planning Technician
City of Rockwall Planning & Zoning
385 S. Goliad Street
Rockwall, TX 75087
Office: 972-771-7745
Direct: 972-772-6438



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2022-059
Case Name: SUP for Restaurant w/2,000 SF or More w/a Drive-Through
Case Type: Zoning
Zoning: Planned Development District 65 (PD-65)
Case Address: 150 Pecan Valley Drive

Date Saved: 12/13/2022

For Questions on this Case Call: (972) 771-7746



ROCKWALL STONE CREEK ESTATES
HOMEOWNERS ASSOCIATION INC
C/O NEIGHBORHOOD MANAGEMENT INC
1024 S GREENVILLE AVE SUITE 230
ALLEN, TX 75002

RESIDENT
165 E QUAIL RUN RD
ROCKWALL, TX 75087

CHAPMAN BOBBY E II AND AMY L CHAMPMAN
1821 HAINSWORTH DRIVE
ROCKWALL, TX 75087

RESIDENT
1979 N GOLIAD
ROCKWALL, TX 75087

RESIDENT
2004 N GOLIAD
ROCKWALL, TX 75087

RESIDENT
2007 N GOLIAD
ROCKWALL, TX 75087

DEAN LANTY W & MARY F
216 W QUAIL RUN RD
ROCKWALL, TX 75087

HYDE TRENT D & DEBRA A
218 W QUAIL RUN RD
ROCKWALL, TX 75087

RESIDENT
2265 NORTH LAKESHORE DR
ROCKWALL, TX 75087

RESIDENT
2268 N Lakeshore
ROCKWALL, TX 75087

RESIDENT
3005 N GOLIAD ST
ROCKWALL, TX 75087

RESIDENT
3009 N GOLIAD
ROCKWALL, TX 75087

COLE HC ROCKWALL TX LLC
C/O ROCKWALL REGIONAL HOSPITAL, LLC; ATTN
LEGAL DEPT.
3150 HORIZON RD
ROCKWALL, TX 75032

CH RETAIL FUN II/DALLAS LAKESHORE LP
3819 MAPLE AVENUE
DALLAS, TX 75219

CITY OF ROCKWALL
385 S GOLIAD ST
ROCKWALL, TX 75087

JAVKER REALTY CORP
42 BOND ST
NEW YORK, NY 10012

ROCKWALL BROXY LLC
C/O KABATECK LLP
633 WEST FIFTH STREET SUITE 3200
LOS ANGELES, CA 90071

STONE CREEK BALANCE LTD
8214 WESTCHESTER STE 900
DALLAS, TX 75225

JCDB GOLIAD HOLDINGS LLC C/O DA GOLIAD
PARTNERS LP AND
DAVID R NELSON-ROTH IRA AND DAVID NELSON
8350 N CENTRAL EXPRESSWAY SUITE 1300
DALLAS, TX 75206

MOORE WORTH INVESTMENTS LLC
8445 FREEPORT PKWY SUITE 175
IRVING, TX 75063

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2022-059: SUP for a Restaurant w/2,000 SF or More w/ A Drive-Through

Hold a public hearing to discuss and consider a request by Dewayne Zinn of Cross Engineering Consultants, Inc. on behalf of Chad Dubose of JCDB Goliad Holdings, LLC for the approval of a Specific Use Permit (SUP) for a Restaurant with 2,000 SF or more with a Drive-Through (i.e. Smoothie King) on a 0.579-acre portion of a larger 2.542-acre parcel of land identified as Lot 1, Block A, Pecan Valley Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, located at the northwest corner of the intersection of Pecan Valley Drive and N. Goliad Street [SH-205], and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, January 10, 2023 at 6:00 PM, and the City Council will hold a public hearing on Tuesday, January 17, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Tuesday, January 17, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2022-059: SUP for a Restaurant w/2,000 SF or More w/ A Drive-Through

Please place a check mark on the appropriate line below:

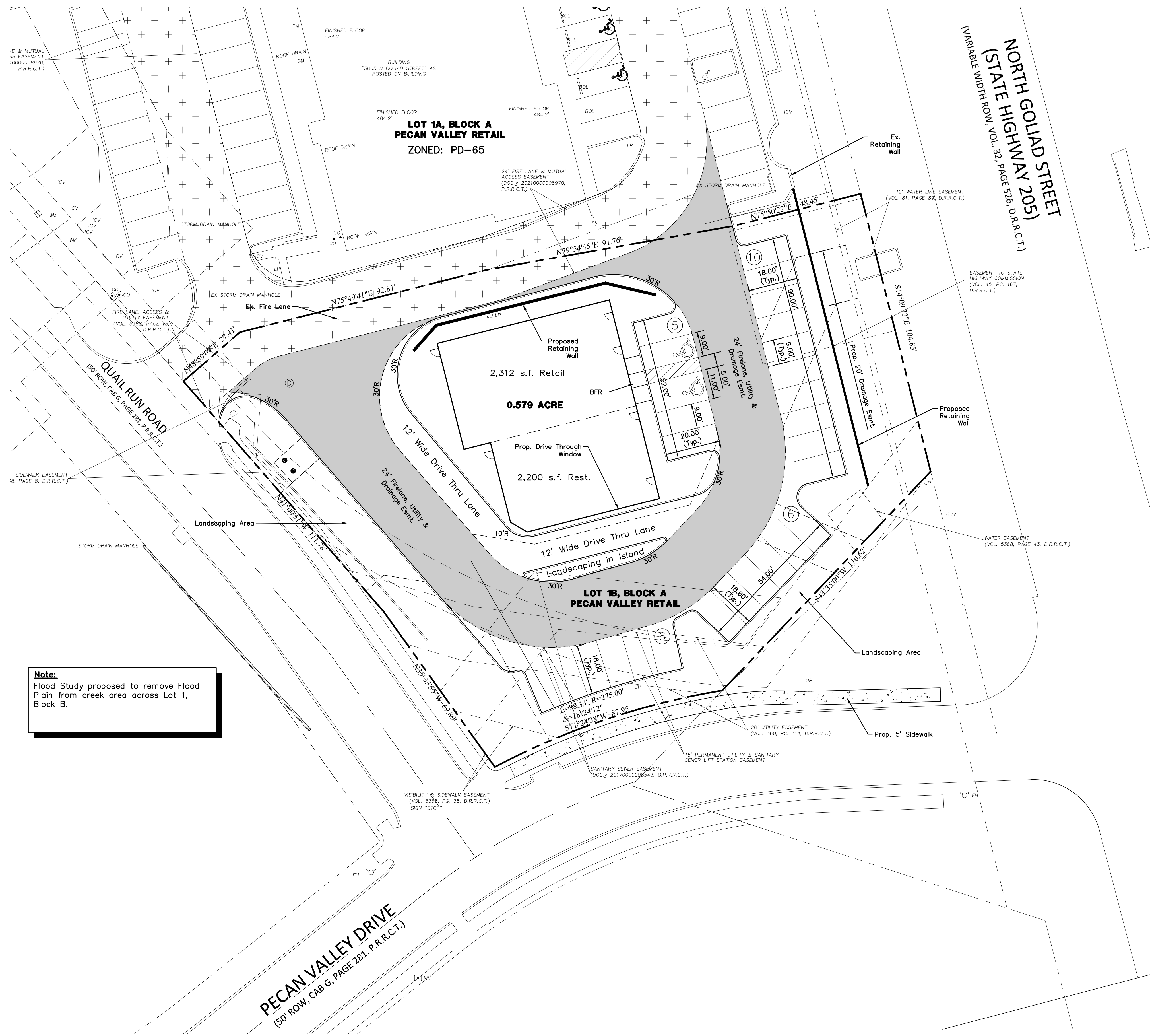
- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

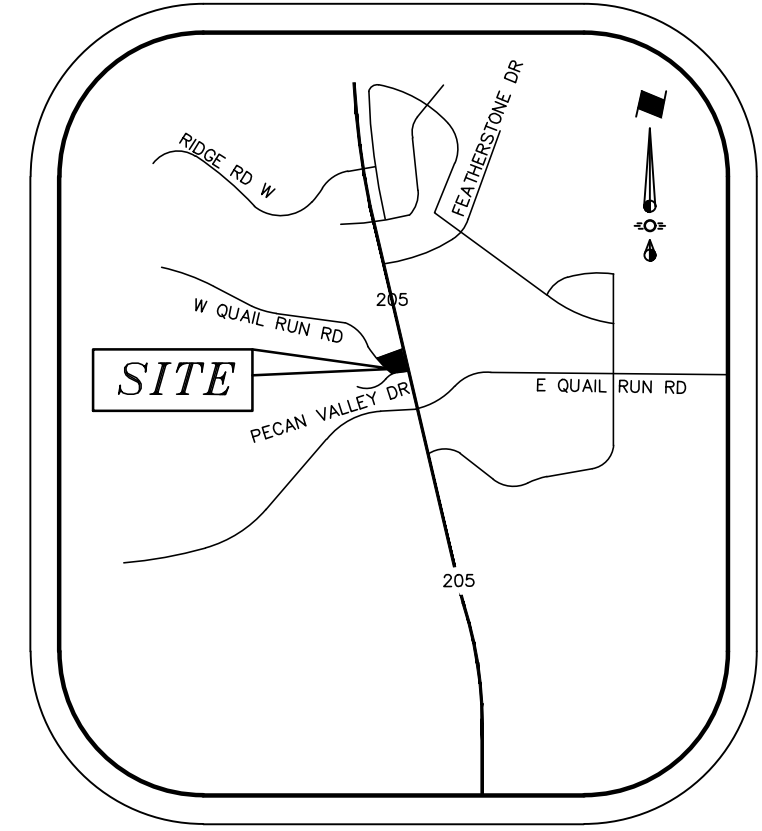
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



Note:
Flood Study proposed to remove Flood Plain from creek area across Lot 1, Block B.



VICINITY MAP
NTS

LEGEND

- Proposed Firelane
- Proposed Sidewalk
- Ex. Firelane
- Proposed Retaining Wall
- Proposed Wheel Stop Typical
- Existing Fire Hydrant
- Proposed Fire Hydrant
- Barrier Free Ramp

SYNOPSIS

Zoning: PD-65 w/ N. SH 205 Overlay
 Proposed Use: Retail/Restaurant
 Lot Area: 0.7621 Acres (33,198 sf)
 Building Areas: Building 4,512 sf
 Lot Coverage: 13.59% (Total Bldg Area 4,512 sf)
 Floor Area Ratio: 0.14 : 1
 Building Height: 25'

Required Parking: Retail 1:250 (2,312/250) = 9 Spcs.
 Restaurant 1:100 (2200/100) = 22 Spcs

Parking Required Total:	31 Parking Spaces
Parking Provided Total:	27 Parking Spaces (2 HC)

Note: 4 Parking Spaces to be provided by Lot 1A, Block A, via a shared parking agreement, to be effective after plat has been recorded.

ENGINEER:
 Cross Engineering Consultants, Inc.
 1720 W. Virginia Street
 McKinney, Texas 75069
 Phone (972) 562-4409
 Fax (972) 562-4471
 Contact: Jon David Cross, P.E.

ARCHITECT:
 Matt King Architect
 4308 Cherry Lane
 Melissa, Tx 75454
 Phone (469) 742-0678
 Contact: Matt King

SURVEYOR:
 Barton Chapa Surveying
 5200 SH 121
 Colleyville, TX. 76034
 Phone (817) 864-1957
 Contact: Jack Barton

NOTE: THIS IS NOT A CONSTRUCTION DOCUMENT.
 THIS DOCUMENT IS FOR CONCEPTUAL PLANNING PURPOSES ONLY.

Issue Dates:	Revision & Date:
1	1
2	2
3	3
4	4
5	5
6	6

CROSS ENGINEERING CONSULTANTS

1720 W. Virginia Street McKinney, Texas 75069
 972.562.4409 Texas P.E. Firm No. F-5935

Drawn By: C.E.C.I. Checked By: C.E.C.I. Scale: 1"=40'

SUP SITE PLAN
 SMOOTHIE KING ROCKWALL
 DA Goliad Partners, LP
 CITY OF ROCKWALL, TEXAS

Sheet No.
SUP
 Project No.
 20089

SMOOTHIE KING ROCKWALL

PRELIMINARY NOT
 FOR REGULATORY APPROVAL,
 PERMITTING OR CONSTRUCTION.
 FOR INTERIM REVIEW ONLY.
 MATTHEW P. KING
 ARCHITECT
 TX REGISTRATION
 NO. 17957
 9-15-22

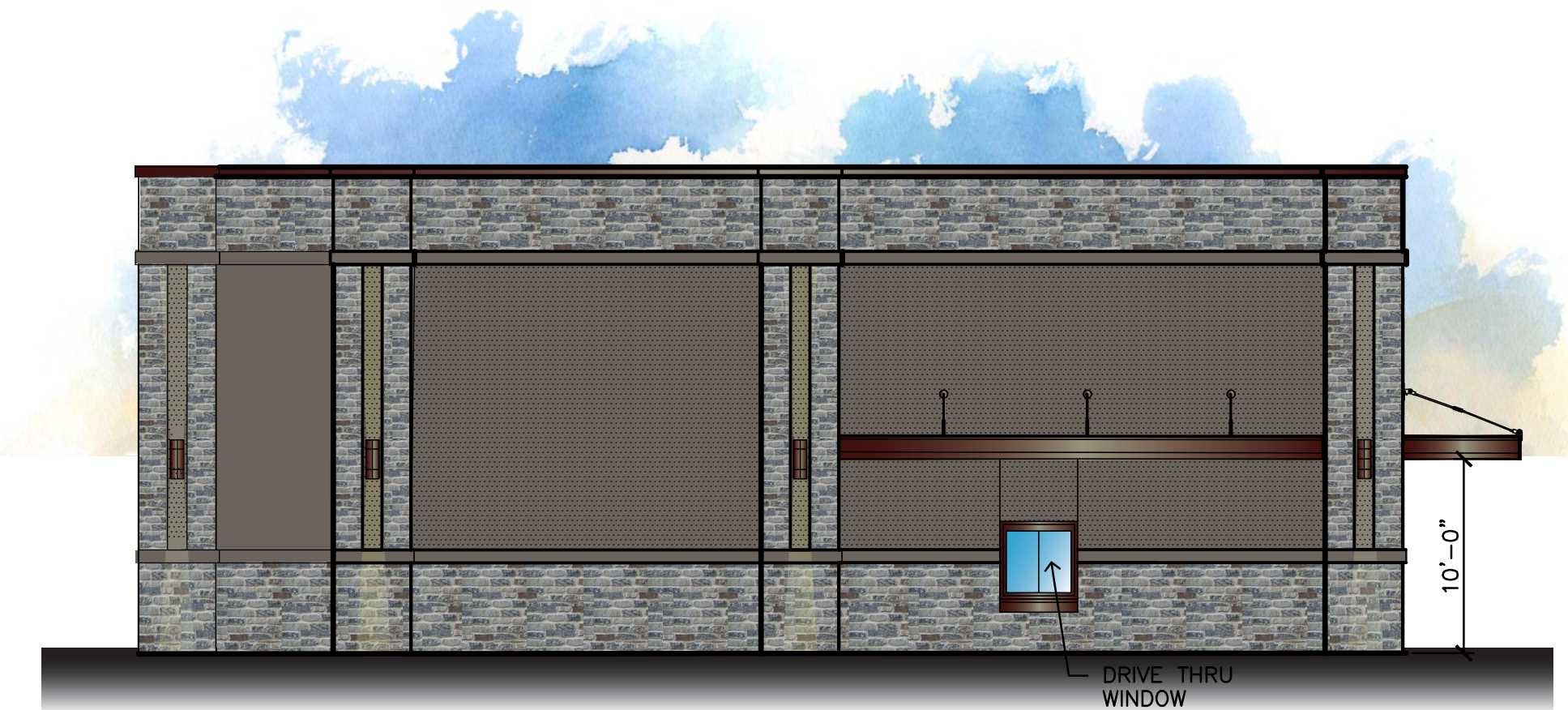
DO NOT SCALE
 THESE PLANS



1 east elevation
 scale: 3/16" = 1'-0"



2 west elevation
 scale: 1/8" = 1'-0"



3 south elevation
 scale: 1/8" = 1'-0"



4 north elevation
 scale: 1/8" = 1'-0"

EXTERIOR MATERIALS:
 1. STOREFRONT, AWNINGS & ROOFING; DARK BRONZE ANODIZED ALUMINUM.
 2. THREE STEP STUCCO COLOR: SW 7047 PORPOISE
 3. STONE: 1 1/2" THICK SILVER MIST LIMESTONE; RANDOM ASHLAR PATTERN. CALL CARTER LYON AT SPECIFIED PRODUCTS
 MITERED OUTSIDE CORNER RETURNS
 SUBMIT SAMPLES TO OWNER TO CONFIRM

Owner:
 DA 3009 Goliad Partners, LP
 14114 Dallas Parkway #670
 Dallas, Texas 75254

Project:
Shell Building
 3005 N. Goliad
 Rockwall, Texas 75087

Scale: as noted
 Issue For:
 submittal 9-15-22

Sheet Number:

A1

Exterior Elevations

LANDSCAPE NOTES:

- ALL LANDSCAPE REQUIREMENTS AND UNDERGROUND IRRIGATION SYSTEM WILL CONFORM TO THE LOCAL CITY ORDINANCE AND DESIGN STANDARDS AND ANY REQUIREMENTS OF THE STATE, IF APPLICABLE.
- NO PLANT MATERIAL SHALL BE PLANTED UNTIL THE LANDSCAPE IRRIGATION SYSTEM HAS BEEN INSTALLED AND IS OPERATING WITH 100% COVERAGE OF PROPOSED LANDSCAPE AREAS.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, CABLES, STRUCTURES AND LINE RUNS.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL QUANTITIES BASED ON THE DRAWING(S) AND ACTUAL FIELD DIMENSIONS. PLANT QUANTITIES HAVE BEEN PROVIDED AS A CONVENIENCE ONLY TO THE OWNER(S) AND SHALL NOT BE CONSIDERED ABSOLUTE. CONTRACTOR SHALL FOLLOW DESIGN INTENT.
- NOTIFY THE OWNER OF ANY DISCREPANCIES THAT ARISE DURING THE CONSTRUCTION PERIOD. FAILURE TO MAKE SUCH DISCREPANCIES KNOWN TO OWNER WILL RESULT IN THE CONTRACTOR'S LIABILITY TO REDO WORK AS NECESSARY TO ACHIEVE THE DESIGN INTENT.
- PROTECT EXISTING VEGETATION, EQUIPMENT, STRUCTURES, UTILITIES, AND OTHER IMPROVEMENTS AT THE PROJECT SITE AND ON ADJACENT PROPERTIES, EXCEPT THOSE INDICATED TO BE REMOVED OR ALTERED. ALL AREAS DISTURBED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SHALL BE REPAIRED AND RESTORED TO THEIR PRE-CONSTRUCTION CONDITION INCLUDING: PAVEMENTS, LANDSCAPE AREAS, IRRIGATION AND LIGHTING.
- PROVIDE MEASURES AS REQUIRED TO PREVENT EROSION AND DISCHARGE OF SOIL-BEARING RUNOFF AND AIRBORNE DUST TO UNDISTURBED AREAS AND ADJACENT PROPERTIES, SIDEWALKS, STREETS, AND OTHER PAVED SURFACES.
- ALL PROPOSED SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR INSTALLATION.
- NOTIFY THE LANDSCAPE ARCHITECT IF LAYOUT OF TREES, BEDS AND/OR PLANTS REQUIRE ALTERATION FROM THE LANDSCAPE PLAN. NOTIFICATION WILL BE REQUIRED PRIOR TO ALTERING THE LAYOUT.
- TREES SHALL BE HANDLED BY ROOT BALLS ONLY. DO NOT DAMAGE BALL, TRUNK, OR LOOSEN TRUNK FROM BALL. TREE TRUNKS ARE TO BE PLANTED STRAIGHT AND MAY BE REQUIRED BY THE OWNER AND/OR THE LANDSCAPE ARCHITECT TO BE STAKED.
- WHERE NEWLY PLANTED TREES ARE NOT ABLE TO STAND ON THEIR OWN, TREES SHALL BE STAKED WITH AN AT-GRADE ROOT BALL SECURING SYSTEM. THE SYSTEM SHALL SECURELY ANCHOR THE ROOT BALL, WHILE ALLOWING THE TRUNK AND CROWN TO MOVE NATURALLY. THE SYSTEM SHALL NOT USE MATERIALS AND METHODS THAT PENETRATE OR DAMAGE THE ROOT BALL. ABOVE GRADE STAKING SYSTEMS SUCH AS "T" POSTS WITH WIRES, HOSES, STRAPS, OR GUY WIRES WRAPPED AROUND THE TREE TRUNK SHALL NOT BE ALLOWED UNLESS AUTHORIZED BY THE LANDSCAPE ARCHITECT.
- ALL TREES TO BE UNIFORM BY SPECIES WITH STRAIGHT TRUNKS AND MATCHING CHARACTER AND BRANCHING STRUCTURE.
- ALL TREE LOCATIONS SHALL BE APPROVED BY THE OWNER OR OWNER'S REPRESENTATIVE PRIOR TO PLANTING.
- FINAL LOCATIONS OF PLANT MATERIAL IS SUBJECT FOR REVIEW AND APPROVAL BY OWNER PRIOR TO PLANTING.
- PROVIDE POSITIVE DRAINAGE THROUGHOUT THE PROJECT AREA. NO PONDING OR STANDING WATER IS ACCEPTABLE.
- CONTRACTOR SHALL PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL BUILDINGS.
- AT NO TIME WILL ANY PLANT MATERIAL BE ALLOWED TO SETTLE BEYOND THE TOP OF THE ROOT FLARE OR POTTED SOIL LINE. SHOULD PLANT MATERIAL SETTLE, THE PLANT(S) WILL BE REPLANTED AT THE PROPER HEIGHT AND/OR REPLACED IF NECESSARY AT THE CONTRACTOR'S COST.
- ALL PROPOSED BED AREAS SHALL BE TILLED TO A DEPTH OF SIX INCHES (6"), ADDING A THREE INCH (3") MINIMUM LAYER OF ORGANIC COMPOST DURING THE PROCESS. THE LEVEL OF THE BED AREAS SHOULD BE LEFT THREE INCHES (3") ABOVE THE PROPOSED FINISHED GRADE TO ALLOW FOR COMPACTION AND SETTLEMENT.
- ALL BED AREAS SHALL BE SEPARATED FROM TURF AREAS USING 1/8" X 4" STEEL EDGING, PAINTED GREEN. ALL ENDS OF STEEL EDGE RUNS SHALL HAVE A RADIUS OR 45 DEGREE ANGLE TO ELIMINATE SHARP EDGES. HAND FILING MAY BE REQUIRED TO ACHIEVE A SMOOTH EDGE.
- TRIM STEEL EDGING AT A 45 DEGREE ANGLE WHEN EDGING INTERSECTS WITH A WALK OR CURB. DO NOT INSTALL EDGING ALONG CURBS OR WALKS.
- ALL LANDSCAPE BEDS SHALL RECEIVE A TWO INCH (2") TOP DRESS LAYER OF HARDWOOD MULCH AND ALL TREE WELLS SHALL RECEIVE A THREE INCH (3") LAYER OF SHREDDED HARDWOOD MULCH. DO NOT COVER ROOT FLARE.
- TOP OF MULCH SHALL BE 1/2" MINIMUM BELOW THE TOP OF WALKS AND CURBS.
- TURF AREAS SHALL BE CLEAN OF DEBRIS AND RAKED (GRADED) SMOOTH PRIOR TO HYDROMULCH OR SOD INSTALLATION. LANDSCAPE CONTRACTOR TO RECEIVE GRADE WITHIN APPROX. 1/10th OF FINAL GRADE.
- OWNER RESPONSIBLE TO PROVIDE ELECTRICAL SERVICE FOR THE IRRIGATION SYSTEM, WHICH INCLUDES A HARDWARE OF 110 VOLTS AT MINIMUM FOR THE CONTROLLER.
- ALL LANDSCAPING LOCATED WITHIN THE VISIBILITY TRIANGLES SHALL COMPLY WITH THE VISIBILITY TRIANGLE REQUIREMENTS AS PER THE CITY STANDARDS.
- ALL LIGHT POLES MAY NOT BE SHOWN ON THE PROJECT SITE OR ADJACENT PROPERTIES. IF A PROPOSED TREE IS IN CONFLICT WITH ANY LIGHT OR UTILITY POLE, THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT, TO DETERMINE OPTIONS, PRIOR TO PLANTING.
- ALL PLANTS AND TREES ARE TO CONFORM TO AMERICAN ASSOCIATION OF NURSERYMEN AND TEXAS ASSOCIATION OF NURSERYMEN STANDARDS.
- THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REFUSE ANY LANDSCAPE MATERIAL ON SITE.

EXISTING TREE SCHEDULE

NUMBER	SIZE & TYPE	STATUS
2561	22" PECAN	MITIGATE
2562	16" PECAN	MITIGATE
2563	24" PECAN	MITIGATE
2596	8" PECAN	MITIGATE
2597	24" PECAN	UTILITY
2598	20" PECAN	UTILITY
2599	24" PECAN	MITIGATE
2655	6" CHINABERRY	NOT PROTECTED
2656	9" CHINABERRY (MT)	OFF PROPERTY
2676	5" CHINABERRY	OFF PROPERTY
2677	15" CHINABERRY (MT)	OFF PROPERTY
2701	19" PECAN	OFF PROPERTY
2707	24" PECAN	OFF PROPERTY
2708	16" PECAN	OFF PROPERTY
2709	24" PECAN	OFF PROPERTY
2710	7" PECAN	OFF PROPERTY
2714	17" PECAN	MITIGATE
2716	27" BOIS D'ARC (MT)	NOT PROTECTED
2750	12" ELM	UTILITY
2751	16" ELM	UTILITY
2752	16" ELM	UTILITY
2753	16" ELM	UTILITY
2806	40" ELM (MT)	MITIGATE 2:1
2834	48" ELM	UTILITY

(7) PROTECTED TREES TO MITIGATE- TOTAL = 191 INCHES

(17) 5" NEW TREES TO PLANT- TOTAL = 85 INCHES
106 INCHES

106" x 20% = 21" x \$200 = \$4,200 PAID INTO TREE FUND.

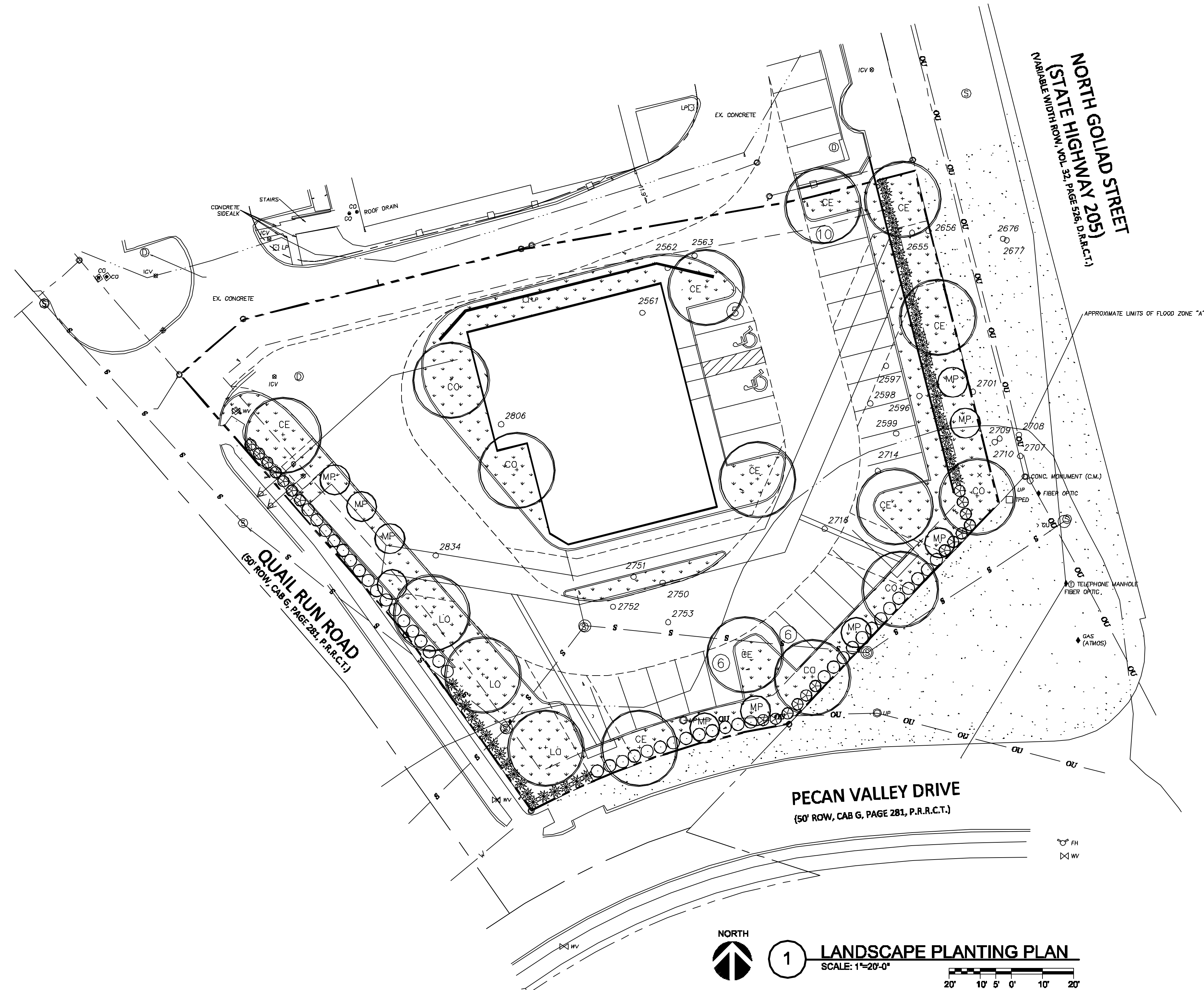
REMAINING INCHES TO MITIGATE = 85

LANDSCAPE CALCULATIONS

ZONING - COMM (20%) LANDSCAPE AREA REQUIRED.
LOT AREA = 32,676 SF
20% = 6,535 SF
LANDSCAPE AREA PROVIDED = 9,308 SF = 28.4%
WITH 7,513 SF = IN FRONT YARD.

LANDSCAPE BUFFER AT STREET R.O.W. =
10' WITH 1-CANOPY TREE & 1-ACCENT TREE/50'
AND A ROW OF SHRUBS.
QUAIL RUN = 180' 180'/50' = 4+4
PECAN VALLEY = 185' 185'/50' = 4+4
N. GOLIAD ST. = 110' 110'/50' = 2+2

10 CANOPY TREES REQUIRED. 10-PROVIDED.
10 ACCENT TREES REQUIRED. 10-PROVIDED.
111 SHRUBS PROVIDED.
INTERIOR PARKING LOT LANDSCAPING:
4,374 SF PARKING LOT AREA
1,120 SF LANDSCAPE AREA PROVIDED = 25%



KEY	QUAN.	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS
CANOPY TREES				
CE	9	CEDAR ELM	Ulmus crassifolia	5" cal. 10'-12' tall, b&b.
CO	5	CHINQUAPIN OAK	Quercus muhlenbergi	5" cal. 10'-12' tall, b&b.
LO	3	LIVE OAK	Quercus virginiana	5" cal. 10'-12' tall, b&b.
ORNAMENTAL TREES				
MP	10	MEXICAN PLUM	Prunus mexicana	2" cal., 6'-8' tall, container
SHRUBS				
CTS	43	COMPACT TEXAS SAGE	Leucophyllum frutescens "Compacta"	5 gallon, 48" on center.
RM	20	ROSEMARY	Rosemary officinalis	5 gallon, 48" on center.
RY	48	RED YUCCA	Hesperaloe parvifolia	5 gallon, 48" on center.
GROUND COVER				
PW	-	PURPLE WINTERCREEPER	Euonymus fortunei 'Coloratus'	1 gallon, 18" on center.
TURF GRASS				
BG	-	BERMUDA GRASS	Cynodon dactylon	solid sod

REVISION	No.	DATE	<p>Don C. Wheeler Landscape Architect Planning Irrigation Design P.O. Box 470865 Office 817.335.1405 Fort Worth, Texas 76147 don@dcwla.com</p>	<p>FOR REVIEW ONLY</p> <p>THESE DOCUMENTS ARE FOR INTERIM REVIEW AND ARE NOT INTENDED FOR REGULATORY PERMITTING, BIDDING, OR CONSTRUCTION PURPOSES.</p> <p>DON C. WHEELER - TEXAS LANDSCAPE ARCHITECT # 787</p>	<p>CONCEPT LANDSCAPE PLAN</p> <p>SMOOTHIE KING ROCKWALL</p> <p>DA Goliad Partners. L.P.</p> <p>CITY OF ROCKWALL, TEXAS</p>	<p>Sheet No.</p> <p>L1</p>
PROJECT NO.	DATE:					
2K22-45	11/15/22					

PLAN PREPARED BY:
DON C. WHEELER, RLA
PO BOX 470865
FT. WORTH, TX 76147
817.335.1405
don@dcwla.com

CITY OF ROCKWALL

ORDINANCE NO. 23-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 65 (PD-65) [ORDINANCE NO. 17-03] AND THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR A *RESTAURANT WITH 2,000 SF OR MORE WITH A DRIVE-THROUGH OR DRIVE-IN* ON A 0.579-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 1, BLOCK A, PECAN VALLEY RETAIL ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Dewayne Zinn of Cross Engineering Consultants, Inc. for the approval of a Specific Use Permit (SUP) for a *Restaurant with 2,000 SF or more with a Drive-Through or Drive-In* for the purpose of constructing a restaurant on a 0.579-acre parcel of land described as Lot 1, Block A, Pecan Valley Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) [Ordinance No. 17-03] for General Retail (GR) District land uses, addressed as 150 Pecan Valley Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] and Planned Development District 65 (PD-65) [Ordinance No. 17-03] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That Planned Development District 65 (PD-65) [Ordinance No. 17-03] and the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for a *Restaurant with 2,000 SF or more with a Drive-Through or Drive-In* in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*, and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Planned Development District 65 (PD-65) [*Ordinance No. 17-03*]; and, Subsection 04.01, *General Commercial Districts Standards*, and Subsection 04.04, *General Retail (GR) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] -- as heretofore amended and may be amended in the future -- and the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *Restaurant with 2,000 SF or more with a Drive-Through or Drive-In* on the *Subject Property* and conformance to these conditions is required for continued operation:

- 1) The development of the *Subject Property* shall generally conform to the *Concept Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) Additional landscaping, a berm, and/or a masonry wall may be required by staff at the time of site plan along *Pecan Valley Drive* and *N. Goliad Street* to provide headlight screening for vehicles traveling along *N. Goliad Street* from vehicles in the drive-through and cueing lanes of the proposed restaurant.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Certificate of Occupancy (CO)*, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 6TH DAY OF FEBRUARY, 2023.**

Kevin Fowler, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: January 17, 2023

2nd Reading: February 6, 2023

Exhibit 'A'
Location Map and Legal Description

Address: 150 Pecan Valley Drive

Legal Description: Lot 1, Block A, Pecan Valley Retail Addition



Exhibit 'A'
Location Map and Legal Description

BEING A TRACT OF LAND LOCATED IN THE SAMUEL KING SURVEY, ABSTRACT NO. 131, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING A PORTION OF A TRACT OF LAND DESCRIBED IN A DEED TO JCDB GOLIAD HOLDINGS, LLC, RECORDED IN INSTRUMENT NUMBER 20190000009184, OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS (O.P.R.R.C.T.), AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A 1/2" IRON ROD FOUND WITH CAP STAMPED "STOVALL", BEING THE SOUTH CORNER OF SAID JCDB GOLIAD TRACT AND BEING THE INTERSECTION OF THE NORTH RIGHT-OF-WAY LINE OF PECAN VALLEY DRIVE (A 50' RIGHT-OF-WAY) WITH THE EAST RIGHT-OF-WAY LINE OF QUAIL RUN ROAD (A 50' RIGHT-OF-WAY);

ALONG THE WEST LINE OF SAID JCDB GOLIAD TRACT AND THE EAST RIGHT-OF-WAY LINE OF SAID QUAIL RUN ROAD AS FOLLOWS:

- (1) N 35°33'55" W, 69.89 FEET TO A 1/2" IRON ROD FOUND WITH A CAP STAMPED "STOVALL";
- (2) N 41°00'51" W, 69.59 FEET TO A POINT, FROM WHICH A 5/8" IRON ROD FOUND BEARS N 41°00'51" W, 95.11 FEET, SAID IRON ROD BEING THE NORTHEAST CORNER OF A RIGHT-OF-WAY DEDICATION FOR QUAIL RUN ROAD AS SHOWN ON THE PLAT RECORDED IN CABINET G, PAGE 281, PLAT RECORDS, ROCKWALL COUNTY, TEXAS (P.R.R.C.T.);

THENCE N 48°59'09" E, DEPARTING THE WEST LINE OF SAID JCDB GOLIAD TRACT AND THE EAST RIGHT-OF-WAY LINE OF SAID QUAIL RUN ROAD, 20.79 FEET TO A POINT;

THENCE N 75°49'41" E, 102.18 FEET TO A POINT; THENCE N 49°16'23" E, 59.99 FEET TO A POINT;

THENCE 75°50'22" E, 51.98 FEET TO A POINT;

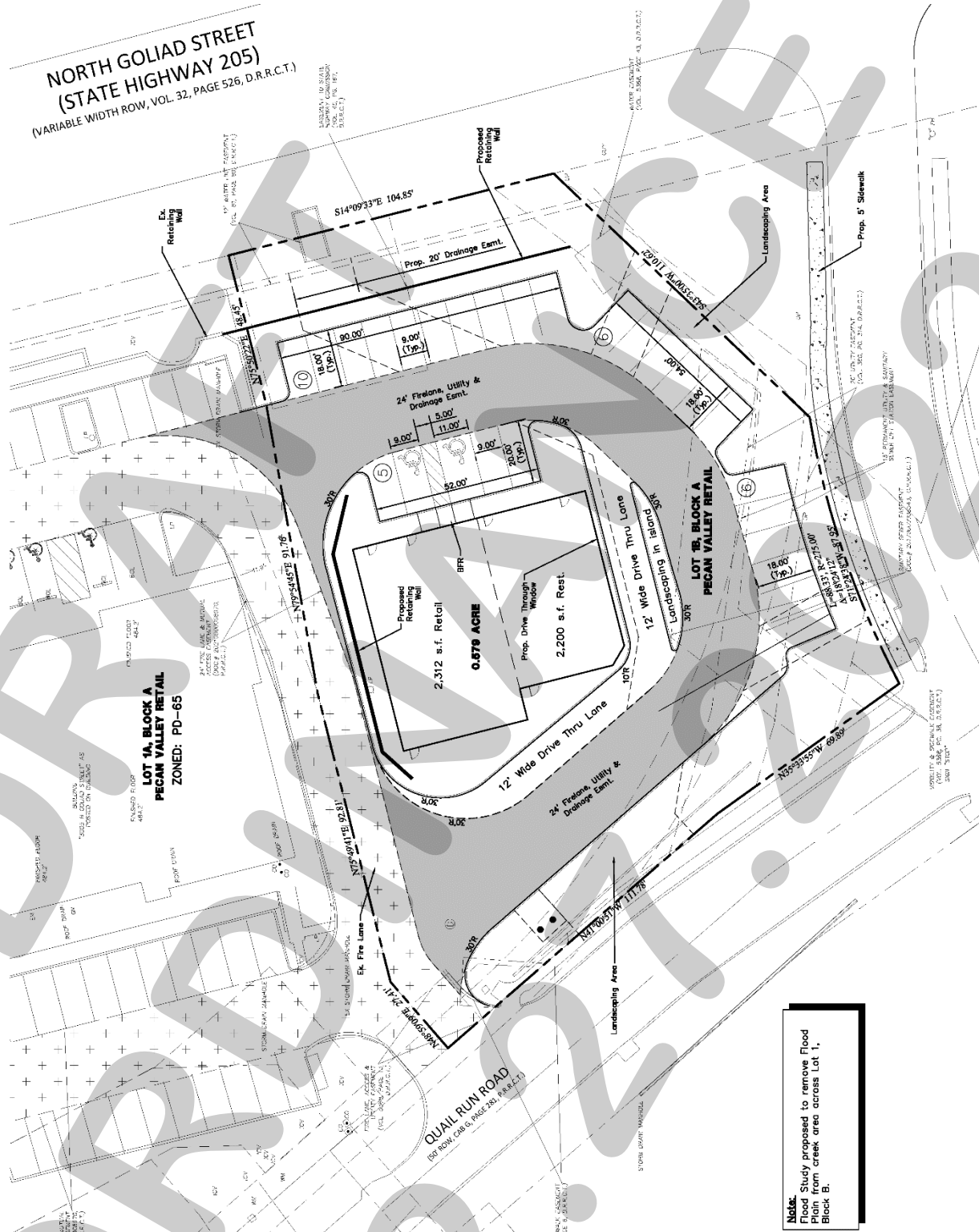
THENCE S 14°09'38" E, 100.31 FEET TO A POINT IN THE WEST RIGHT-OF-WAY LINE OF NORTH GOLIAD STREET (STATE HIGHWAY NO. 205) (A VARIABLE WIDTH RIGHT-OF-WAY), FROM WHICH A CONCRETE MONUMENT FOUND BEARS N 43°35'00" E, 11.82 FEET;

THENCE S 43°35'00" W, ALONG THE WEST RIGHT-OF-WAY LINE OF SAID NORTH GOLIAD STREET, 110.62 FEET TO A POINT, BEING THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF SAID NORTH GOLIAD STREET WITH THE NORTH RIGHT-OF-WAY LINE OF SAID PECAN VALLEY DRIVE AND THE BEGINNING OF A CURVE TO THE LEFT;

THENCE SOUTHWESTERLY, AN ARC LENGTH OF 88.33 FEET ALONG THE NORTH RIGHT-OF-WAY LINE OF SAID PECAN VALLEY DRIVE AND SAID CURVE TO THE LEFT, HAVING A RADIUS OF 275.00 FEET, A DELTA ANGLE OF 18°24'13", AND A CHORD BEARING S 71°24'37" W, 87.95 FEET TO THE PLACE OF BEGINNING, AND CONTAINING 0.579 ACRES (25,233 SQUARE FEET) OF LAND, MORE OR LESS.

**Exhibit 'B':
Concept Plan**

**NORTH GOLIAD STREET
(STATE HIGHWAY 205)**
(VARIABLE WIDTH ROW, VOL. 32, PAGE 526, D.R.R.C.T.)





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
FROM: Ryan Miller, *Director of Planning and Zoning*
DATE: December 27, 2022
SUBJECT: Z2022-060; Amendment to Subsection 02.03(K)(7), *Solar Energy Collector Panels and System, of Article 04, Permissible Uses, of the UDC*

Recently, the City of Rockwall has seen an increased number of building permits for *Solar Energy Collector Panels and Systems*. Since the City of Rockwall started tracking *Solar Energy Collector Panels and Systems* as a separate permit type in 2020, the number of permits has nearly doubled each year with 27 permits being issued in 2020, 64 permits being issued in 2021, and 124 permits being issued in 2022 (as of November 16, 2022). More recently, the City received a development application for a Specific Use Permit (SUP) [Case No. Z2022-045] requesting to exceed 1,000.00 SF coverage area for *Solar Energy Collector Panels* in a residentially zoned district. In reviewing this case on October 11, 2022, the Planning and Zoning Commission approved a motion to recommend approval of the case to the City Council, and requested that staff review the City's current requirements for *Solar Energy Collector Panels and Systems* and bring back recommendations concerning changes to the ordinance. On November 15, 2022, staff presented their findings to the Planning and Zoning Commission, and the Planning and Zoning Commission directed staff to bring forward a text amendment with the recommendations.

The attached text amendment proposes the following changes to Subsection 02.03(K)(7), *Solar Energy Collector Panels and System, of Article 04, Permissible Uses, of the Unified Development Code (UDC)*:

- (1) Remove the 1,000.00 SF coverage area maximum requirement, and change the coverage area to a scaled percentage of the roof area (i.e. 45.00%).
- (2) Add a requirement that *Solar Energy Collector Panels and Systems* not be located on accessory buildings or structures in a residentially zoned or used property.
- (3) Adds requirements that addresses *Solar Shingles*, and allows/requires them to be installed on 100.00% of the total roof area less any accent roofing materials (e.g. *metal roofs over gabled windows, porches, entryways, and etcetera*).
- (4) Adds a requirement that allows *Solar Shingles* on accessory structures.

For reference, an example of 45.00% roof coverage (that meets all applicable codes) has been provided in Figure 1. Staff should note that at the Planning and Zoning Commission's direction, staff has removed all requirements associated with the visibility of *Solar Energy Collector Panels and Systems* from public right-of-way.

To assist the Planning and Zoning Commission and City Council in evaluating the proposed text amendment, staff has provided a breakdown of all building permits issued for *Solar Collector Panels and Systems* -- from 2020 to present --, indicating the size (in square footage) and the type (i.e.

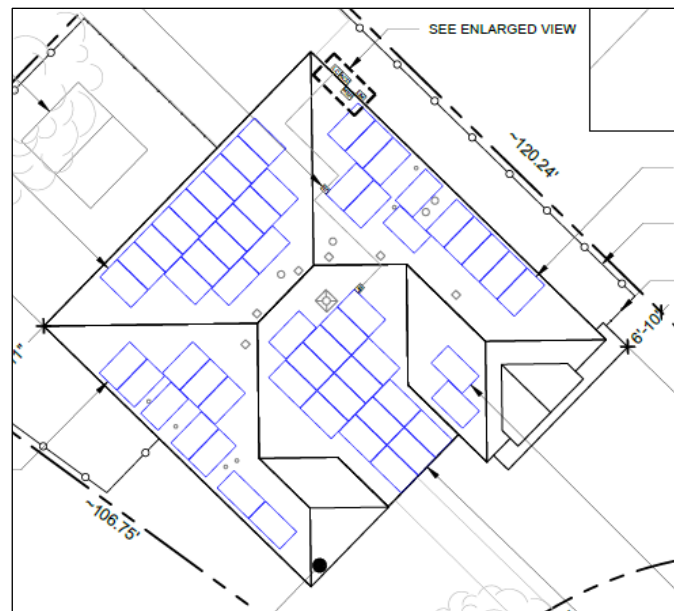


FIGURE 1: EXAMPLE OF 45% ROOF COVERAGE OF SOLAR ENERGY COLLECTOR PANELS

Solar Collector Panels or Solar Shingles) of the permitted system. Staff has also included a redlined copy of the proposed changes along with a draft ordinance in the attached packet. In accordance with Subsection 02.01(C) of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), the Director of Planning and Zoning is bringing forward the proposed text amendment to the City Council for consideration, and -- *in accordance with Section 02.04(B) of Article 11, Development Applications and Review Procedures, of the Unified Development Code (UDC)* -- staff is bringing the proposed amendment forward to the Planning and Zoning Commission for a recommendation to the City Council. The schedule for this text amendment is as follows:

Planning and Zoning Commission Work Session: December 27, 2022

Planning and Zoning Commission Public Hearing: January 10, 2023

City Council Public Hearing/First Reading: January 17, 2023

City Council Second Reading: February 6, 2023

Staff has sent out a 15-day notice to the Rockwall Herald Banner in accordance with all applicable state laws and Section 02.03(A)(3) of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC). Should the Planning and Zoning Commission have any questions staff will be available at the meeting on December 27, 2022.



(7) The antenna will meet all applicable requirements of [Subsection 03.06, Antennas](#).

(7) Solar Energy Collector Panels and System.

(a) ~~Solar energy~~ ~~Energy collector~~ ~~Collector panels~~ ~~Panels~~ installed on a pitched roof shall be of a flat configuration and shall be subject to the following requirements:

- (1) ~~Solar Energy Collector Panels~~ shall not extend beyond the roofline or eave lines of a roof.
- (2) ~~Solar Energy Collector Panels~~ shall not exceed more than 45.00% of the total roof area of the primary structure on a residentially zoned or used property.

~~(1)~~(3) Configuration of ~~Solar Energy Collector Panels~~ on a pitched roof ~~solar energy collector panels~~ shall be a regular quadrangular shape, flat to the roof or integrated with the roof, and aligned with the natural roof edges.

(4) The surface of the ~~solar Solar energy~~ ~~Energy collector~~ ~~Collector panel~~ ~~Panel~~ shall not be more than six (6) inches above the surface of the pitched roof.

~~(2)~~(5) ~~Solar Energy Collector Panels~~ shall not be located on an accessory building or structure of a residentially zoned or used property.

(b) ~~Solar Shingles~~ may be installed on a pitched roof; however, ~~Solar Shingles~~ are subject to the following requirements:

- (1) ~~Solar Shingles~~ shall be installed on 100.00% of the total roof area -- *excluding accent roof materials (e.g. metal roofs over gabled windows, porches, entryways, and etcetera)* --, and shall not be installed alongside another roof mounted ~~Solar Energy Collector System~~.
- (2) ~~Solar Shingles~~ may be located on the primary structure and accessory buildings of a residentially zoned or used property.

~~(b)~~(c) ~~Solar energy~~ ~~Energy collector~~ ~~Collector panels~~ ~~Panels~~ installed on a flat roof, whether rack-mounted or flat-mounted, shall be screened from public view, and meet the following requirements:-

- (1) The height of such screening, at the minimum, shall be the height of the ~~solar Solar energy~~ ~~Energy collector~~ ~~Collector panel~~ ~~Panel~~.
- (2) The screening may be by a parapet or screening wall replicating the materials of the building.

~~(e)~~(d) Reflective ~~flare~~ ~~glare~~ of ~~solar Solar energy~~ ~~Energy collector~~ ~~Collector panels~~ ~~Panels~~ shall be minimized by the positioning of the ~~solar Solar collector~~ ~~Collector panels~~ ~~Panels~~ or by the use of non-glare glazing.

~~(e)~~(e) Piping, wiring and other mechanical accessories shall be concealed within a roof mounted ~~solar Solar energy~~ ~~Energy collector~~ ~~Collector panel~~ ~~Panel~~. If some portion of the piping, wiring or other mechanical

accessories cannot be practically concealed then those portions shall be painted so as to blend with the roofing material.

~~(e)~~(f) Ground mounted or pole mounted ~~solar Solar energy~~ ~~Energy collector~~ ~~Collector panels~~ ~~Panels~~ shall be located behind the primary building, and shall be fully screened from public view by a solid screening fence or wall that meets all code requirements of the ~~city~~ City of Rockwall.

~~(f)~~(g) The maximum overall height of ground mounted or pole mounted ~~solar Solar energy~~ ~~Energy collector~~ ~~Collector panels~~ ~~Panels~~ shall not exceed ~~12~~eight (8) feet.

~~(g)~~ In residential zoning districts, the total coverage area of solar energy collector panels shall not exceed 1,000 SF on a single lot.

(h) Any ~~solar Solar energy~~ ~~Energy collector~~ ~~Collector panels~~ ~~Panels~~ or ~~systems~~ ~~Systems~~ not meeting these requirements, or any installation of ~~solar Solar energy~~ ~~Energy systems~~ ~~Systems~~ as the principal use on any property, shall require approval of a Specific Use Permit (SUP).

SECTION 03 | OTHER SPECIAL USE STANDARDS

SUBSECTION 03.01: FARM ANIMALS AND HORSES

(A) Grazing Animals. In the SF-E and SF-1 Districts, grazing animals 500 pounds or greater, including horses and cattle must have a minimum fenced or enclosed area of 40,000 square feet per animal. Grazing animals of less than 500 pounds, including sheep and goats, must have a minimum fenced or enclosed area of 15,000 square feet per animal.

(B) Other Animals. An SUP is required for other farm animals, including chickens and swine (except for "potbellied pigs" as defined in [Section 6-1, Definitions, of Chapter 6, Animals, of the Municipal Code of Ordinances](#)), and for a reduction in the land area required for grazing farm animals. The city shall not grant a SUP for any farm animal unless it is convinced that the presence of such animals will not injure the use and enjoyment of neighboring properties, including the impact of dust, flies and odor.

(C) General Conditions. Notwithstanding the conditions above,

(1) Ground accumulations of manure shall be collected and properly disposed of so as not to create offensive odors, fly breeding, or in any way pose a health hazard or nuisance to humans and animals;

(2) Fences or pens, corrals or similar enclosures shall be of sufficient height and strength to properly retain the animal; and

(3) In SF-E and SF-1 Districts, no swine or fowl are permitted, except for *potbellied pigs* as defined in [Section 6-1, Definitions, of Chapter 6, Animals, of the Municipal Code of Ordinances](#).

(4) In the Agricultural District or on unplatted tracts of land of five acres or more, standards for animals are found in [Section 6-1, Definitions, of Chapter 6, Animals, of the Municipal Code of Ordinances](#).



- (7) The antenna will meet all applicable requirements of [Subsection 03.06, Antennas](#).
- (7) Solar Energy Collector Panels and System.
- (a) *Solar Energy Collector Panels* installed on a pitched roof shall be of a flat configuration and shall be subject to the following requirements:
- (1) *Solar Energy Collector Panels* shall not extend beyond the roofline or eave lines of a roof.
 - (2) *Solar Energy Collector Panels* shall not exceed more than 45.00% of the total roof area of the primary structure on a residentially zoned or used property.
 - (3) Configuration of *Solar Energy Collector Panels* on a pitched roof shall be a regular quadrangular shape, flat to the roof or integrated with the roof, and aligned with the natural roof edges.
 - (4) The surface of the *Solar Energy Collector Panel* shall not be more than six (6) inches above the surface of the pitched roof.
 - (5) *Solar Energy Collector Panels* shall not be located on an accessory building or structure of a residentially zoned or used property.
- (b) *Solar Shingles* may be installed on a pitched roof; however, *Solar Shingles* are subject to the following requirements:
- (1) *Solar Shingles* shall be installed on 100.00% of the total roof area -- *excluding accent roof materials (e.g. metal roofs over gabled windows, porches, entryways, and etcetera)* --, and shall not be installed alongside another roof mounted *Solar Energy Collector System*.
 - (2) *Solar Shingles* may be located on the primary structure and accessory buildings of a residentially zoned or used property.
- (c) *Solar Energy Collector Panels* installed on a flat roof, whether rack-mounted or flat-mounted, shall be screened from public view, and meet the following requirements:
- (1) The height of such screening, at the minimum, shall be the height of the *Solar Energy Collector Panel*.
 - (2) The screening may be by a parapet or screening wall replicating the materials of the building.
- (d) Reflective glare of *Solar Energy Collector Panels* shall be minimized by the positioning of the *Solar Collector Panels* or by the use of non-glare glazing.
- (e) Piping, wiring and other mechanical accessories shall be concealed within a roof mounted *Solar Energy Collector Panel*. If some portion of the piping, wiring or other mechanical accessories cannot be practically concealed then those portions shall be painted so as to blend with the roofing material.
- (f) Ground mounted or pole mounted *Solar Energy Collector Panels* shall be located behind the primary building, and

shall be fully screened from public view by a solid screening fence or wall that meets all code requirements of the City of Rockwall.

- (g) The maximum overall height of ground mounted or pole mounted *Solar Energy Collector Panels* shall not exceed eight (8) feet.
- (h) Any *Solar Energy Collector Panels* or *Systems* not meeting these requirements, or any installation of *Solar Energy Systems* as the principal use on any property, shall require approval of a Specific Use Permit (SUP).

SECTION 03 | OTHER SPECIAL USE STANDARDS

SUBSECTION 03.01: FARM ANIMALS AND HORSES

- (A) *Grazing Animals*. In the SF-E and SF-1 Districts, grazing animals 500 pounds or greater, including horses and cattle must have a minimum fenced or enclosed area of 40,000 square feet per animal. Grazing animals of less than 500 pounds, including sheep and goats, must have a minimum fenced or enclosed area of 15,000 square feet per animal.
- (B) *Other Animals*. An SUP is required for other farm animals, including chickens and swine (except for “potbellied pigs” as defined in [Section 6-1, Definitions, of Chapter 6, Animals, of the Municipal Code of Ordinances](#)), and for a reduction in the land area required for grazing farm animals. The city shall not grant a SUP for any farm animal unless it is convinced that the presence of such animals will not injure the use and enjoyment of neighboring properties, including the impact of dust, flies and odor.
- (C) *General Conditions*. Notwithstanding the conditions above,
- (1) Ground accumulations of manure shall be collected and properly disposed of so as not to create offensive odors, fly breeding, or in any way pose a health hazard or nuisance to humans and animals;
 - (2) Fences or pens, corrals or similar enclosures shall be of sufficient height and strength to properly retain the animal; and
 - (3) In SF-E and SF-1 Districts, no swine or fowl are permitted, except for *potbellied pigs* as defined in [Section 6-1, Definitions, of Chapter 6, Animals, of the Municipal Code of Ordinances](#).
 - (4) In the Agricultural District or on unplatted tracts of land of five acres or more, standards for animals are found in [Section 6-1, Definitions, of Chapter 6, Animals, of the Municipal Code of Ordinances](#).

SUBSECTION 03.02: TEMPORARY ACCOMMODATION FOR EMPLOYEES, CUSTOMERS AND VISITORS

- (A) Temporary accommodations. Temporary accommodation for employees, customers and visitors may be provided as an ancillary use in commercial zoning districts provided that:
- (1) Such accommodation is clearly in support of the business operation;
 - (2) No rental of such facilities to the general transient public occurs;


Residential Solar Permits

	2020 (7/8-12/31)	2021	2022 (1/1-11/16)
Case Count	27	64	124
Avg. Size	577.35	556.68	665.78
Avg. %	19.50%	17.63%	20.77%
Over 1,000	2	4	10
Fronts	11	17	34
Sides	2	2	10





















Residential Solar Panel Permits 2020				
Type	Size	Percent	Fronts	Sides
Panel	571.70			
Panel	474.32			
Panel	695.28			
Panel	451.10			
Panel	366.05			
Shingles				
Panel	216.50			
Panel	446.00			
Panel	809.17			
Panel	627.39			
Panel	812.00			
Panel	1,061.40			
Panel	819.90			
Panel	655.90			
Panel	485.19	27.75%		
Panel	338.12			
Panel	575.04	18.86%		
Panel	262.70	6.70%		
Panel	1,019.40			
Panel	628.95	24.70%		
Panel	646.80			
Panel	836.30			
Panel	713.77			
Panel	539.20			
Panel	164.69			
Panel	215.70			
Panel	578.42			
Case Count	27			
Avg Size	577.35			
Avg %	19.50%			
Over 1,000	2			
Fronts	11			
Sides	2			


Residential Solar Panel Permits 2021				
Type	Size	Percent	Fronts	Sides
Panel	825.66			
Panel	598.02			
Panel	479.65			
Panel	714.00			
Panel	292.90			
Panel	145.00	9.79%		
Panel	470.60			
Panel	752.35			
Panel	306.00			
Panel	347.24			
Panel	1,089.37			
Panel	208.50			
Panel	210.50			
Panel	1,064.95	24.77%		
Panel	817.35	25.34%		
Panel	280.67			
Panel	395.24			
Panel	448.90			
Panel	529.40			
Panel	448.79			
Panel	540.65			
Panel	789.37			
Panel	443.69			
Panel	926.50			
Panel	422.05			
Panel	897.00			
Panel	89.63			
Panel	1,025.00			
Panel	643.50			
Panel	1,223.37			
Panel	948.92			
Panel	381.51			
Panel	561.90			
Panel	450.90			
Panel	315.20			
Panel	634.56			
Panel	594.90			
Panel	562.95			
Panel	636.90			
Panel	646.94	20.50%		
Panel	473.62			
Panel	997.51			
Panel	594.90			
Panel	754.79			
Panel	195.16			
Panel	415.38	13.00%		
Panel	247.40			
Panel	477.00			
Panel	299.20			
Shingle				
Panel	449.55			
Panel	360.00	15.60%		
Panel	757.31			
Panel	696.32	19.03%		
Panel	897.80			
Panel	358.00			
Panel	396.15			
Panel	532.86	14.96%		
Panel	506.90	15.72%		

Residential Solar Panel Permits 2022				
Type	Size	Percent	Fronts	Sides
Panel	374.83			
Panel	507.00	15.49%		
Panel	1,026.00			
Panel	1,252.38			
Panel	726.40			
Panel	983.92			
Panel	529.43			
Panel	289.80			
Panel	819.55	22.86%		
Panel	944.30			
Panel	331.50	11.97%		
Panel	778.77			
Panel	650.31			
Panel	638.82			
Panel	354.02			
Panel	1,288.37	30.00%		
Panel	760.00	19.00%		
Panel	275.35			
Panel	696.76			
Panel	464.98			
Panel	1,031.42			
Panel	749.20			
Panel	510.97			
Panel	532.98	31.00%		
Panel	908.20	19.45%		
Panel	697.50			
Panel	804.47			
Panel	710.10	44.65%		
Panel	454.73			
Panel	689.50	22.00%		
Panel	413.70	11.00%		
Panel	378.66			
Panel	612.51	24.20%		
Panel	336.00			
Panel	996.80	18.68%		
Panel	788.83	16.41%		
Panel	625.50			
Panel	311.69			
Panel	718.61			
Panel	588.00	19.33%		
Panel	894.00			
Panel	1,569.26			
Panel	394.81			
Panel	1,035.64			
Shingle				
Panel	943.00			
Panel	887.69			
Panel	504.00	21.10%		
Panel	421.17			
Panel	436.37			
Panel	733.48			
Panel	810.67	21.62%		
Panel	328.05			
Panel	375.30			
Panel	793.25			
Panel	359.05	16.25%		
Panel	570.30			
Panel	633.60			
Panel	673.53			

Panel	981.29	
Panel	270.08	
Panel	431.40	
Panel	350.00	
Panel	467.48	

Case Count	64
Avg Size	556.68
Avg %	17.63%
Over 1,000	4
Fronts	17
Sides	2

Panel	387.60	14.65%	
Panel	739.30		
Panel	525.00		
Panel	477.92		
Panel	249.35		
Panel	462.29		
Panel	510.96		
Panel	887.65		
Panel	503.93	11.14%	
Panel	401.23	27.22%	
Panel	317.10		
Panel	987.60		
Panel	477.92		
Panel	1,150.00	42.00%	
Panel	594.90		
Panel	1,365.90		
Panel	380.48	9.00%	
Panel	372.59	23.48%	
Panel	530.24		
Panel	735.00		
Panel	749.83	13.25%	
Panel	836.50		
Panel	510.96	23.04%	
Panel	431.30		
Panel	509.86		
Panel	654.75	26.61%	
Panel	533.78		
Panel	929.30		
Panel	992.68		
Panel	792.30		
Panel	985.44	18.96%	
Panel	354.45		
Panel	372.57	9.14%	
Panel	987.94	29.62%	
Panel	591.80		
Panel	546.35	13.81%	
Panel	987.94	29.62%	
Panel	609.56		
Panel	451.00	17.00%	
Panel	981.93		
Panel	1,336.88		
Panel	946.79	15.00%	
Panel	328.02		
Panel	745.01	27.00%	
Panel	991.50		
Panel	996.32	24.83%	
Panel	316.00		
Panel	196.63		
Panel	963.34		
Panel	327.98		
Panel	798.60		
Panel	438.00	18.00%	
Panel	860.56		
Panel	1,372.86		
Panel	906.20	18.00%	
Panel	736.77	29.47%	
Panel	736.75	26.36%	
Panel	531.90	12.00%	
Panel	366.00		
Panel	497.00		
Panel	595.30	15.00%	

Panel	538.81	
Panel	585.00	22.42% 
Panel	468.29	16.19%
Panel	528.02	16.19%

Case Count	124
Avg Size	665.78
Avg %	20.77%
Over 1,000	10
Fronts	34
Sides	10

CITY OF ROCKWALL

ORDINANCE NO. 23-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, BY AMENDING SUBSECTION 02.03(K)(7), SOLAR ENERGY COLLECTOR PANELS AND SYSTEMS, OF ARTICLE 04, PERMISSIBLE USES, AS DEPCITED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, an amendment to the City of Rockwall's Unified Development Code [*Ordinance No. 20-02*] has been initiated by the City Council of the City of Rockwall to amend Subsection 02.03(K)(7), *Solar Energy Collector Panels and Systems*, of Article 04, *Permissible Uses*, of the Unified Development Code [*Ordinance No. 20-02*]; and,

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the city's corporate boundaries, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [*Ordinance No. 20-02*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That Subsection 02.03(K)(7), *Solar Energy Collector Panels and Systems*, of Article 04, *Permissible Uses*, of the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended as specifically described in *Exhibit 'A'* of this ordinance;

SECTION 2. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars (\$2,000.00)* for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 3. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code [*Ordinance No. 20-02*], and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 4. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 6TH DAY OF FEBRUARY, 2023.

Kevin Fowler, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: January 17, 2023

2nd Reading: February 6, 2023

Exhibit 'A'
*Article 04, Permissible Uses, of the
Unified Development Code (UDC)*

See Next Page ...



(7) The antenna will meet all applicable requirements of [Subsection 03.06, Antennas](#).

(7) Solar Energy Collector Panels and System.

(a) ~~Solar energy~~ ~~Energy collector~~ ~~Collector panels~~ ~~Panels~~ installed on a pitched roof shall be of a flat configuration and shall be subject to the following requirements:

- (1) ~~Solar Energy Collector Panels~~ shall not extend beyond the roofline or eave lines of a roof.
- (2) ~~Solar Energy Collector Panels~~ shall not exceed more than 45.00% of the total roof area of the primary structure on a residentially zoned or used property.

~~(1)(3)~~ Configuration of ~~Solar Energy Collector Panels~~ on a pitched roof ~~solar energy collector panels~~ shall be a regular quadrangular shape, flat to the roof or integrated with the roof, and aligned with the natural roof edges.

(4) The surface of the ~~solar Solar energy~~ ~~Energy collector~~ ~~Collector panel~~ ~~Panel~~ shall not be more than six (6) inches above the surface of the pitched roof.

~~(2)(5)~~ ~~Solar Energy Collector Panels~~ shall not be located on an accessory building or structure of a residentially zoned or used property.

(b) ~~Solar Shingles~~ may be installed on a pitched roof; however, ~~Solar Shingles~~ are subject to the following requirements:

- (1) ~~Solar Shingles~~ shall be installed on 100.00% of the total roof area -- *excluding accent roof materials (e.g. metal roofs over gabled windows, porches, entryways, and etcetera)* --, and shall not be installed alongside another roof mounted ~~Solar Energy Collector System~~.
- (2) ~~Solar Shingles~~ may be located on the primary structure and accessory buildings of a residentially zoned or used property.

~~(b)(c)~~ ~~Solar energy~~ ~~Energy collector~~ ~~Collector panels~~ ~~Panels~~ installed on a flat roof, whether rack-mounted or flat-mounted, shall be screened from public view, and meet the following requirements:-

- (1) The height of such screening, at the minimum, shall be the height of the ~~solar Solar energy~~ ~~Energy collector~~ ~~Collector panel~~ ~~Panel~~.
- (2) The screening may be by a parapet or screening wall replicating the materials of the building.

~~(e)(d)~~ Reflective ~~flare~~ ~~glare~~ of ~~solar Solar energy~~ ~~Energy collector~~ ~~Collector panels~~ ~~Panels~~ shall be minimized by the positioning of the ~~solar Solar collector~~ ~~Collector panels~~ ~~Panels~~ or by the use of non-glare glazing.

~~(e)(e)~~ Piping, wiring and other mechanical accessories shall be concealed within a roof mounted ~~solar Solar energy~~ ~~Energy collector~~ ~~Collector panel~~ ~~Panel~~. If some portion of the piping, wiring or other mechanical

accessories cannot be practically concealed then those portions shall be painted so as to blend with the roofing material.

~~(e)(f)~~ Ground mounted or pole mounted ~~solar Solar energy~~ ~~Energy collector~~ ~~Collector panels~~ ~~Panels~~ shall be located behind the primary building, and shall be fully screened from public view by a solid screening fence or wall that meets all code requirements of the ~~city~~ City of Rockwall.

~~(f)(g)~~ The maximum overall height of ground mounted or pole mounted ~~solar Solar energy~~ ~~Energy collector~~ ~~Collector panels~~ ~~Panels~~ shall not exceed ~~42~~ ~~eight~~ (8) feet.

~~(g)~~ In residential zoning districts, the total coverage area of solar energy collector panels shall not exceed 1,000 SF on a single lot.

(h) Any ~~solar Solar energy~~ ~~Energy collector~~ ~~Collector panels~~ ~~Panels~~ or ~~systems~~ ~~Systems~~ not meeting these requirements, or any installation of ~~solar Solar energy~~ ~~Energy systems~~ ~~Systems~~ as the principal use on any property, shall require approval of a Specific Use Permit (SUP).

SECTION 03 | OTHER SPECIAL USE STANDARDS

SUBSECTION 03.01: FARM ANIMALS AND HORSES

(A) Grazing Animals. In the SF-E and SF-1 Districts, grazing animals 500 pounds or greater, including horses and cattle must have a minimum fenced or enclosed area of 40,000 square feet per animal. Grazing animals of less than 500 pounds, including sheep and goats, must have a minimum fenced or enclosed area of 15,000 square feet per animal.

(B) Other Animals. An SUP is required for other farm animals, including chickens and swine (except for "potbellied pigs" as defined in [Section 6-1, Definitions, of Chapter 6, Animals, of the Municipal Code of Ordinances](#)), and for a reduction in the land area required for grazing farm animals. The city shall not grant a SUP for any farm animal unless it is convinced that the presence of such animals will not injure the use and enjoyment of neighboring properties, including the impact of dust, flies and odor.

(C) General Conditions. Notwithstanding the conditions above,

- (1) Ground accumulations of manure shall be collected and properly disposed of so as not to create offensive odors, fly breeding, or in any way pose a health hazard or nuisance to humans and animals;
- (2) Fences or pens, corrals or similar enclosures shall be of sufficient height and strength to properly retain the animal; and
- (3) In SF-E and SF-1 Districts, no swine or fowl are permitted, except for *potbellied pigs* as defined in [Section 6-1, Definitions, of Chapter 6, Animals, of the Municipal Code of Ordinances](#).
- (4) In the Agricultural District or on unplatted tracts of land of five acres or more, standards for animals are found in [Section 6-1, Definitions, of Chapter 6, Animals, of the Municipal Code of Ordinances](#).

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 12/19/2022

PROJECT NUMBER: SP2022-057
PROJECT NAME: Site Plan for DuWest Phase 2
SITE ADDRESS/LOCATIONS: 3000 N GOLIAD ST

CASE MANAGER: Henry Lee
CASE MANAGER PHONE: 972.772.6434
CASE MANAGER EMAIL: hlee@rockwall.com

CASE CAPTION: Discuss and consider a request by Bowen Hendrix of DuWest Realty, LLC for the approval of a Site Plan for a Restaurant with 2,000 SF or more with a Drive-Through (i.e. Chipotle) on an 8.684-acre portion of a larger 36.428-acre tract of land identified as Tract 3 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, being zoned Planned Development District 70 (PD-70) for limited General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, generally located at the northeast corner of the intersection of E. Quail Run Road and N. Goliad Street [SH-205], and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	12/19/2022	Needs Review

12/19/2022: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Site Plan for a Restaurant with 2,000 SF or more with a Drive-Through (i.e. Chipotle) on an 8.684-acre portion of a larger 36.428-acre tract of land identified as Tract 3 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, being zoned Planned Development District 70 (PD-70) for limited General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, generally located at the northeast corner of the intersection of E. Quail Run Road and N. Goliad Street [SH-205].

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (SP2022-057) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

I.4 All signage will be covered by a separate permit. (Subsection 06.02. F, of Article 05)

I.5 The subject property will be required to final plat to establish any new fire lane and utility easements. (Subsection 03.04. A, of Article 11)

M.6 In the variance letter identify the compensatory measures for each variance/exception requested. According to the UDC each variance/exception required two (2) compensatory measures. (Subsection 09.01, of Article 11)

M.7 Provide the standard signature block with signature space for the Planning and Zoning Chairman and the Planning Director on all pages of the plans. Also remove the red placeholder text from the signature block. (Subsection 03.04. A, of Article 11)

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, _____.

WITNESS OUR HANDS, this ____ day of _____, _____.

M.8 Site Plan:

- (1) Please indicate the perimeter dimensions of the site. (Subsection 03.04. B, of Article 11)
- (2) Please indicate all wall lengths of the proposed building. (Subsection 03.04. B, of Article 11)
- (3) Please indicate the distance from the building to all property lines. (Subsection 03.04. B, of Article 11)
- (4) Please indicate all building setbacks. The building setback along N. Goliad Street is 25-feet. (Subsection 03.04. B, of Article 11)
- (5) Please indicate all existing and proposed easements. (Subsection 03.04. B, of Article 11)
- (6) Please indicate any proposed fire hydrants. (Subsection 03.04. B, of Article 11)
- (7) Please label N. Goliad Street; this is to provide reference on the site plan. (Subsection 03.04. B, of Article 11)
- (8) Within the parking table please indicate the parking required for the patio. Outdoor seating is calculated as one (1) parking space per four (4) seats. (Subsection 05.01, of Article 06)
- (9) Please indicate the type and depth of the paving materials. (Subsection 03.02, of Article 06)
- (10) Is there any proposed fencing? Please indicate the height and type of fencing if any is proposed. (Subsection 08.02. F, of Article 08)
- (11) Please indicate if there is any proposed ground mounted utility equipment. (Subsection 01.05. C, of Article 05)
- (12) The dumpster enclosure must be 8-feet in height and have a self-latching gate. (Subsection 01.05. B, of Article 05)
- (13) Please clarify the marking board. (Subsection 03.04. B, of Article 11)
- (14) Please provide a sidewalk from the site to the amenity area to the north-east. (Planned Development District 70)

M.9 Landscape Plan:

- (1) Shrubs must be provided along the east property line to screen for headlights. (Subsection 05.03. B, of Article 08)
- (2) All shrubs must be five (5) gallon. (Subsection 05.03. B, of Article 08)
- (3) The patio indicated on the site plan has plantings within it on the landscape plan. Please clarify if there will be a patio or if this area will be landscaped. (Subsection 05.03, of Article 08)

M.10 Treescap Plan:

- (1) It appears that the tree mitigation requirements may have been calculated under the previous tree mitigation requirements. Given this, there are several changes that need to be made to the tree mitigation table. That being said, the total tree mitigation is 351 caliper inches, with 70.2 in tree preservation credits, bringing the balance to 280.8 caliper inches. There are 312 caliper inches being planted on site, which reduces the balance to zero. This means no fees will need to be paid for tree mitigation. (Section 05, of Article 09)
Below is the list of changes for the tree mitigation table:
 - a. Cedar tree (i.e. Eastern Red Cedar) are mitigated as any Cedar tree over 8-feet must have one (1) four (4) inch canopy tree planted. Trees 5100, 5153, 5156, 5175, 5177, 5181, 5183, 5201, and 5202 should be mitigated for four (4) inches if greater than 8-feet in height.
 - b. Hackberry trees are no longer mitigated for. From the secondary protected trees 5098, 5157, 5159, and 5190 do not need to be mitigated for.

M.11 Photometric Plan:

1. Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist. (Section 2.1 of this checklist)
2. I must have the lot lines on the photometric plan to ensure that the Foot-Candles do not exceed 0.2 FC at all property lines. (Subsection 03.03. G, of Article 07)
3. If there are any wall packs, these must be included in the photometric plan. (Subsection 03.03. G, of Article 07)
4. The mounting height of all building and pole mounted fixtures shall not exceed 20-feet. (Subsection 03.03. D, of Article 07)
5. Please provide cutsheets for all light fixtures. There shall be no up lighting. (Subsection 03.03, of Article 07)

M.12 Building Elevations:

1. The General Overlay District Standards require natural or quarried stone to be used on 20% of each building façade. (Subsection 06.02. C, of Article 05)
2. Confirm the metal percentage on the west side of the building as it appears to be incorrect. (Subsection 06.02. C, of Article 05)
3. Painting the parapet is considered a variance per the Unified Development Code (UDC). According to Subsection 04.01, of Article 05 the parapets must be finished on the back side with the same material as the exterior façade. (Subsection 04.01, of Article 05)

4. According to Subsection 06.02. C, 7, of Article 05, "(a)ll buildings within a common retail, commercial or office development shall incorporate complementary architectural styles, materials, and colors." That being said, our Architectural Review Board in the past has requested that buildings within common developments use the same materials; previous developments have fulfilled this request. Staff would recommend matching the materials and architectural style of the development to the east.
5. The proposed building does not meet the articulation standards for wall length and projection height. The wall length requirement is Wall Length = 3 x Wall Height, and the projection height requirements is Projection Height = 25% x Wall Height. Per these standards, the wall length is out of conformance on the south façade, and the projection height is out of conformance on the north façade. These will each be variances to the articulation standards if not corrected, which will require the variance letter to be updated.
6. There is currently a large blank wall that looks like it is intended to incorporate a mural or hand painted signage. Please note that murals shall not permitted on the building. (Subsection 06.02. C, of Article 05)

I.13 Staff has identified the following variances associated with the proposed request: [1] roof design standards, [2] painted parapet, [3] primary façade articulation, and [4] natural stone requirements. Should you decide to request these items as variances, please provide a letter that lists the variances, why they are being requested, and the subsequent compensatory measures. For each exception and variance requested the UDC requires two (2) compensatory measures (Subsection 09.01, of Article 11). Examples of compensatory measures include the increased use of masonry material or stone, increased articulation, increased architectural elements, more pedestrian amenity, larger landscape planting sizes, etc.

I.14 Please note that failure to address all comments provided by staff by 3:00 PM on January 3, 2023 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.15 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on January 3, 2023; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the January 10, 2023 Planning & Zoning Meeting.

I.16 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on December 27, 2022.
- 2) Planning & Zoning meeting/public hearing meeting will be held on January 10, 2023.

I.17 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City prefers that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	12/16/2022	Needs Review

- 12/16/2022: - Call out limits of floodplain and water elevations a minimum of every 300'. Call out the minimum FFE based on the WSEL.
- With the proposed dumpster location, trash truck cannot access when vehicles are in the drive thru, vehicles cannot enter the drive thru, and the trash truck will have to circle the building along the by pass lane after picking up the trash.
 - Label the Grease trap
 - Show and call out FDC location and proposed fire hydrant. FDC comment is based on the preliminary utility plan showing the fire line running to the building.
 - Water and sewer stubs have not been designed to be installed with the overall project plans.
 - Tree cannot be on the water meters.
 - Dumpster must drain to a oil/water separator and drain to the storm system.

The following items are informational for the engineering design process.

General Items:

- Must meet City Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Wastewater & Roadway)

- Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
- Must show proposed and existing water and sewer lines on this plan

Drainage Items:

- Detention is accounted for previously. Must follow the same drainage divide line that was established previously.
- Dumpster areas to drain to oil/water separator and then to the storm lines.

Water and Wastewater Items:

- Must loop 8" water line on site (if needed).
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Minimum public sewer is 8". Must connect to the sewer line on the northeast.
- Water and sewer must be 10' apart.

Roadway Paving Items:

- Fire lane to be in a platted easement.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
- No tree to be planted on top of meters.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	12/14/2022	Approved
No Comments			

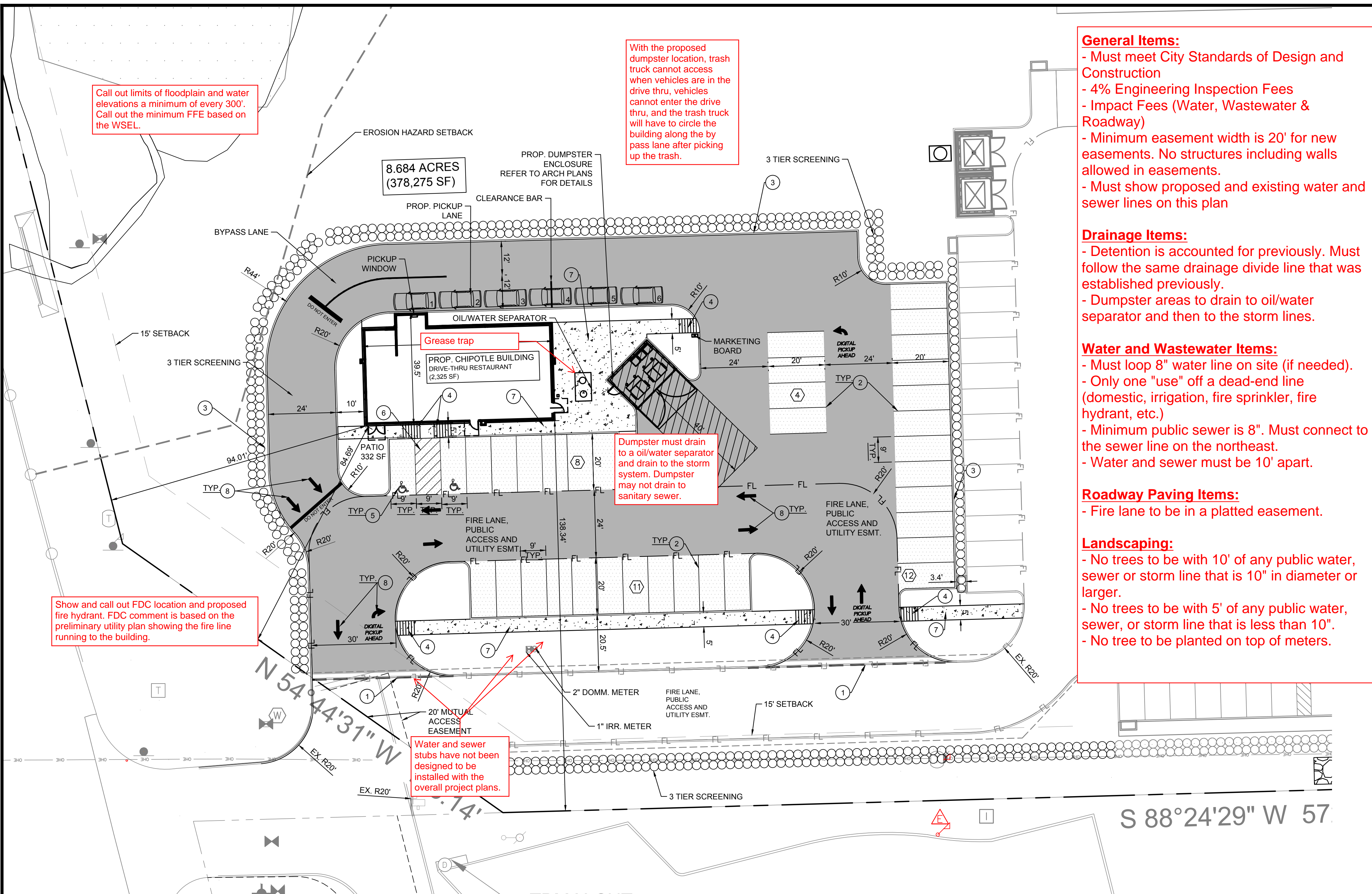
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	12/15/2022	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	10/17/2022	Approved w/ Comments
10/17/2022: Assigned address will be 3000 North Goliad Street, Rockwall, TX 75087			

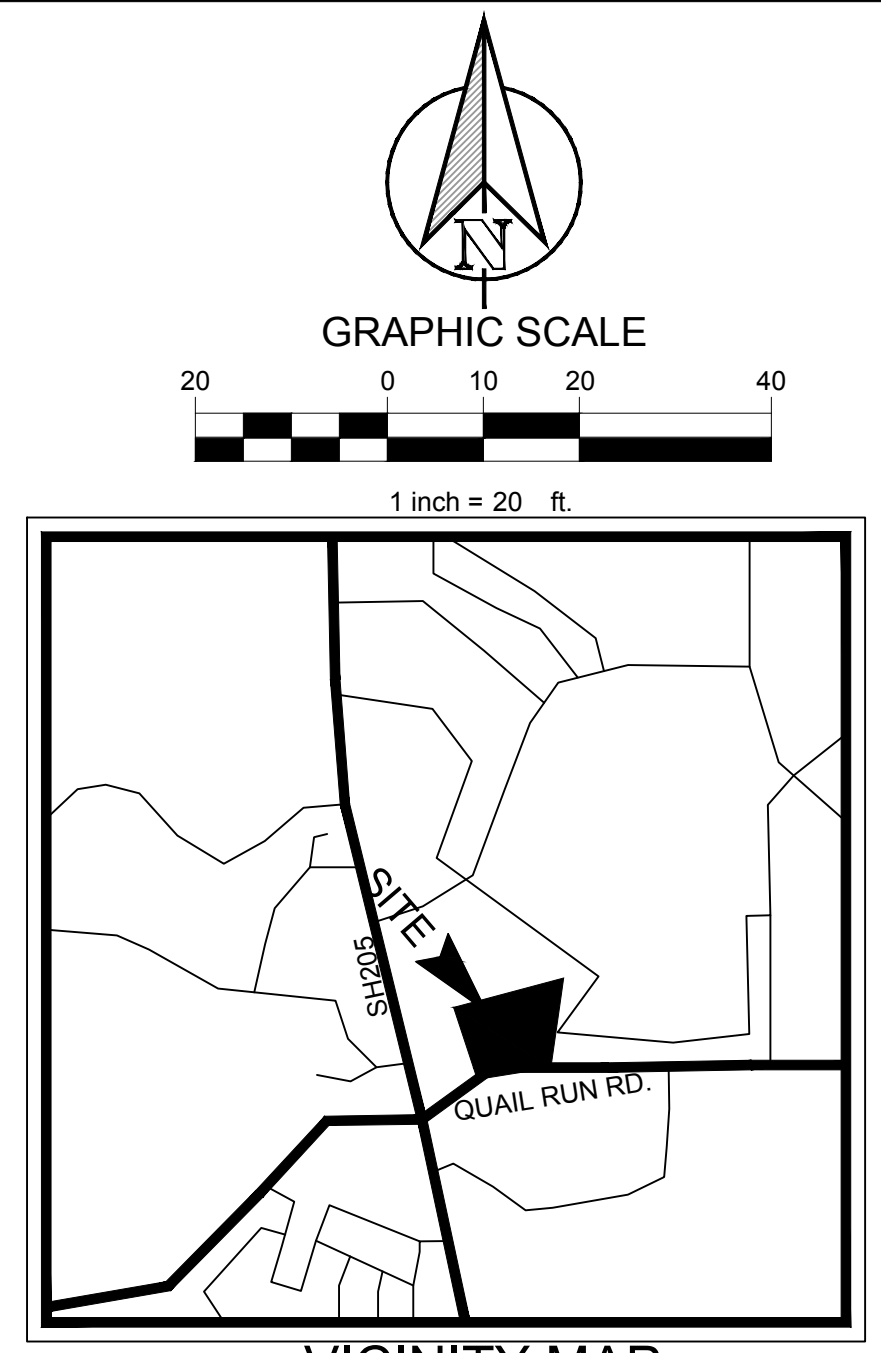
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	10/17/2022	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Henry Lee	12/19/2022	N/A
No Comments			

PLOTTED BY: LYNN ROWLAND
 PLOT DATE: 10/19/2022 1:36 PM
 LOCATION: Z:\PROJECTS\PROJECTS\2022-175 DUWEST ROCKWALL PH. 2\CADD\SHEETS\SP-1 SITE PLAN.DWG
 LAST SAVED: 10/12/2022 8:02 AM



- General Items:**
- Must meet City Standards of Design and Construction
 - 4% Engineering Inspection Fees
 - Impact Fees (Water, Wastewater & Roadway)
 - Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
 - Must show proposed and existing water and sewer lines on this plan
- Drainage Items:**
- Detention is accounted for previously. Must follow the same drainage divide line that was established previously.
 - Dumpster areas to drain to oil/water separator and then to the storm lines.
- Water and Wastewater Items:**
- Must loop 8" water line on site (if needed).
 - Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
 - Minimum public sewer is 8". Must connect to the sewer line on the northeast.
 - Water and sewer must be 10' apart.
- Roadway Paving Items:**
- Fire lane to be in a platted easement.
- Landscaping:**
- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
 - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
 - No tree to be planted on top of meters.



CONSTRUCTION SCHEDULE

PROPOSED STANDARD DUTY CONCRETE PAVEMENT
PROPOSED HEAVY DUTY CONCRETE PAVEMENT
PROPOSED SIDEWALK CONCRETE PAVEMENT
PROPERTY LINE
PROPOSED CONCRETE CURB AND GUTTER
PROPOSED FIRE LANE, PUBLIC ACCESS AND UTILITY EASEMENT
PROPOSED SAWCUT
PARKING COUNT

CONSTRUCTION SCHEDULE

1	PROP. FULL DEPTH SAWCUT
2	PROP. 4" PARKING STALL STRIPING COLOR: WHITE (TYP)
3	PROP. CURB & GUTTER
4	PROP. PEDESTRIAN RAMP
5	PROP. HANDICAP SYMBOL
6	PROP. PAVEMENT STRIPING
7	PROP. SIDEWALK
8	PROP. ARROW PAVEMENT STRIPING

SITE DATA TABLE

	PHASE 2 (CHIPOTLE)	PHASE 1 (EXISTING)	TOTAL
SITE AREA	8.684 AC (378,275 SF)	8.684 AC (378,275 SF)	8.684 AC (378,275 SF)
ZONING	PD-70	PD-70	PD-70
PROPOSED USE	DRIVE-THRU RESTAURANT	RETAIL/ DRIVE-THRU RESTAURANT	RETAIL/ DRIVE-THRU RESTAURANT
BUILDING SIZE	2,325 SF	BUILDING B- 10,000 SF BUILDING C- 10,000 SF	20,325 SF
PATIO AREA	332 SF	2,777 SF	3,109 SF
LOT COVERAGE	.06 %	5.2 %	5.26 %
FLOOR TO AREA RATIO	0.00 : 1	0.05 : 1	0.06 : 1
BUILDING STORIES	1 STORY	1 STORY	1 STORY
TOTAL IMPERVIOUS	29,064 SF (0.8%)	116,406 SF (30.8%)	145,138 SF (38.3%)
OPEN SPACE	8.62 AC (92 %)	6.04 AC (69.2%)	5.4 AC (61.7 %)

PARKING DATA TABLE

PARKING REQ.	
DRIVE-THRU RESTAURANT (2,325 SF) 1/ 100 SF	24 SPACES
STANDARD PARKING	33 SPACES
ADA PARKING	2 SPACES
PARKING PROVIDED	35 SPACES (2 ADA)

TBM #1 - ELEV: 507.40
 AN "X" CUT SET APPROXIMATELY 44.2' SOUTH AND 46.9' WEST FROM THE SOUTHWEST PROPERTY CORNER ALONG QUAIL RD.

TBM #2 - ELEV: 489.60
 AND "X" CUT SET APPROXIMATELY 16.6' SOUTH AND 18.6' WEST FROM THE SOUTHWEST PROPERTY CORNER ALONG QUAIL RD.

TBM #3 - ELEV: 486.4
 AND "X" CUT SET APPROXIMATELY 178.7' SOUTH AND 103.1' EAST FROM THE SOUTHWEST PROPERTY CORNER ALONG QUAIL RD.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

- NOTES:**
1. A SEPARATE SIGNAGE PERMIT IS REQUIRED BY THE CITY OF ROCKWALL.
 2. ALL WALLS 3' IN HEIGHT OR GREATER SHALL BE DESIGNED BY AN ENGINEER, LICENSED IN THE STATE OF TEXAS.
 3. ALL WALLS MUST BE ROCK OR STONE FACE. NO WALLS SHALL BE SMOOTH CONCRETE.
 4. NO TREES SHALL BE PLANTED WITHIN 10' OF NON-STEEL ENCASED PUBLIC UTILITIES.
 5. SOD MUST BE LAID WITHIN ALL DISTURBED R.O.W. BEFORE ACCEPTANCE OF PROJECT.

DUWEST ROCKWALL, TX
 LEGAL DESCRIPTION AND OR ADDRESS:
 STONE CREEK BALANCE LTD
 ABSTRACT. NO 131
 8.684 AC (378,275 SF)

OWNER:
 DUWEST REALTY, LLC
 4403 N.CENTRAL EXWAY SUITE #200
 DALLAS, TX 75025
 CONTACT: BOWEN HENDRIX
 PH: 214.918.1804

APPLICANT:
 CLAYMOORE ENGINEERING, INC.
 1903 CENTRAL DRIVE, SUITE #406
 BEDFORD, TX 76021
 CONTACT: DREW DONOSKY
 PH: 817.281.0572

CASE NUMBER

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____.

WITNESS OUR HANDS THIS _____ DAY OF _____.

PLANNING AND ZONING COMMISSION, CHAIRMAN _____
 DIRECTOR OF PLANNING AND ZONING _____

TEXAS REGISTRATION #14199
CLAYMOORE ENGINEERING
 1903 CENTRAL DR. SUITE #406
 BEDFORD, TX 76021
 PHONE: 817.281.0572
 WWW.CLAYMOOREENGINEERING.COM

PRELIMINARY
 FOR REVIEW ONLY
 Not for construction purposes.
CLAYMOORE ENGINEERING
 ENGINEERING AND PLANNING
 CONSULTANTS
 DREW DONOSKY
 Engineer No. 125651 Date 10/19/2022

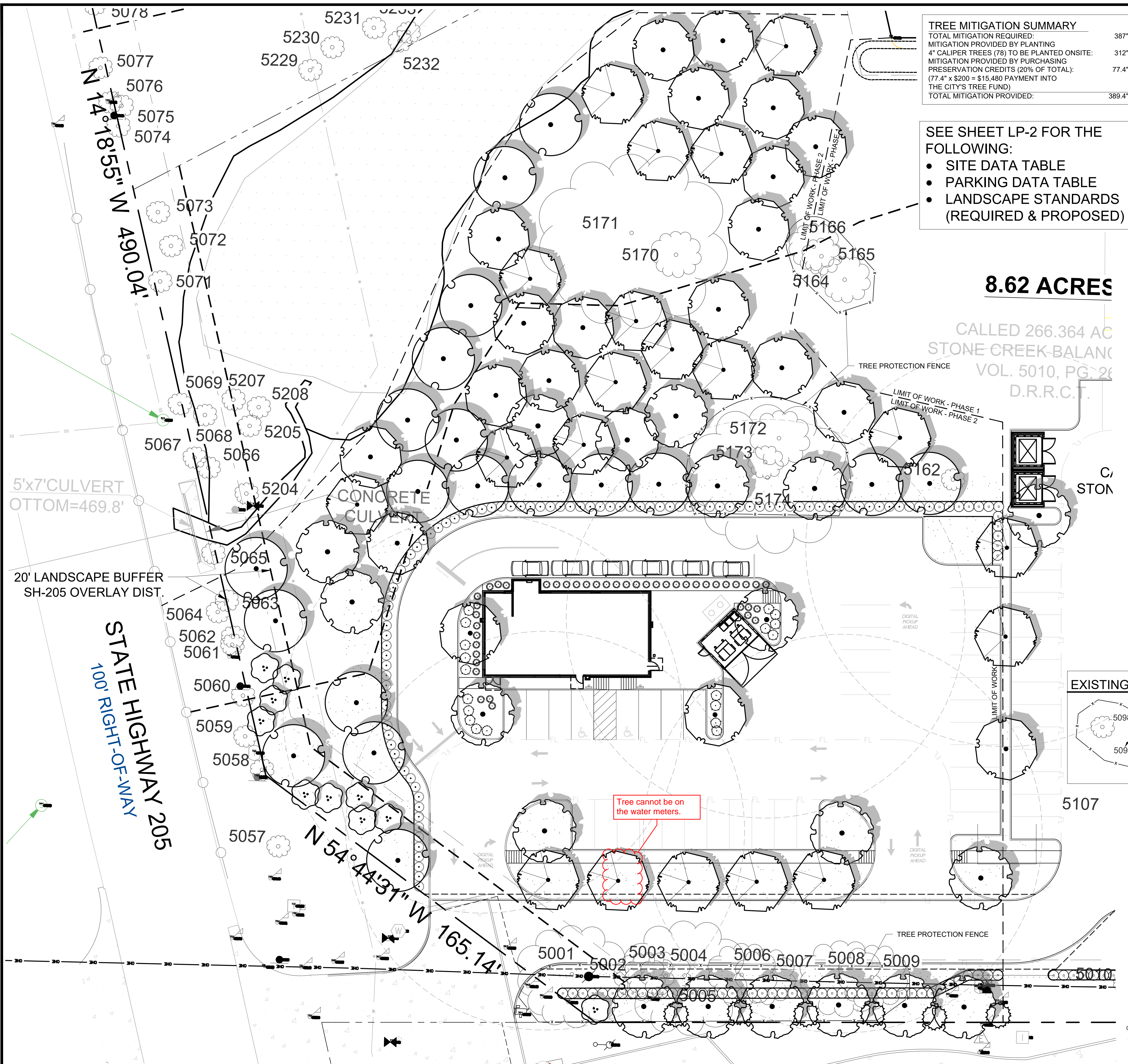
**DUWEST ROCKWALL
 SH 205 & QUAIL RUN RD
 ROCKWALL, TX**

CITY SITE PLAN

DESIGN: LRR
 DRAWN: LRR
 CHECKED: CLC
 DATE: 10/19/2022

SHEET
SP-1
 File No. 2022-042
 CASE # Z2022-042

PLOTTED BY: DARCY BRANDON
 PLOT DATE: 10/13/2022 3:12 PM
 LOCATION: C:\USERS\DARCY\DOCUMENTS\DLA\PROJECTS\2022\EDG\CHIPOLTE DUWEST - ROCKWALL, TX\REFS\2022-10-10-DUWEST ROCKWALL PHASE 2.DWG
 LAST SAVED: 10/13/2022 3:10 PM



TREE MITIGATION SUMMARY

TOTAL MITIGATION REQUIRED:	387"
MITIGATION PROVIDED BY PLANTING 4" CALIPER TREES (78) TO BE PLANTED ONSITE:	312"
MITIGATION PROVIDED BY PURCHASING PRESERVATION CREDITS (20% OF TOTAL): (77.4" x \$200 = \$15,480 PAYMENT INTO THE CITY'S TREE FUND)	77.4"
TOTAL MITIGATION PROVIDED:	389.4"

SEE SHEET LP-2 FOR THE FOLLOWING:

- SITE DATA TABLE
- PARKING DATA TABLE
- LANDSCAPE STANDARDS (REQUIRED & PROPOSED)

PLANT SCHEDULE

CANOPY TREES	QTY	BOTANICAL / COMMON NAME	CAL	SIZE
	20	ACER RUBRUM 'OCTOBER GLORY' OCTOBER GLORY MAPLE	4" CAL.	16'-18" HT
	19	QUERCUS POLYMORPHA MEXICAN WHITE OAK	4" CAL MIN	14'-16" HT
	19	QUERCUS VIRGINIANA LIVE OAK	4" CAL MIN	14'-16" HT
	20	ULMUS CRASSIFOLIA CEDAR ELM	4" CAL.	16'-18" HT
ACCENT TREES	QTY	BOTANICAL / COMMON NAME	CAL	SIZE
	10	CERCIS CANADENSIS EASTERN REDBUD 3-5 STEMS	2" CAL MIN	8' -10' HT
	6	ILEX VOMITORIA YAUPOH HOLLY	2" CAL MIN	8' -10' HT
SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT	
	43	HESPERALOE PARVIFLORA RED YUCCA	3 GAL	
	90	ILEX CORNUTA 'DWF. BURFORD' DWARF BURFORD HOLLY	5 GAL	
	19	LANTANA X 'NEW GOLD' NEW GOLD LANTANA	3 GAL	
	57	MYRTUS COMMUNIS 'DON'S DWARF' DON'S DWARF WAX MYRTLE	5 GAL	
GROUND COVER	QTY	BOTANICAL / COMMON NAME	CONT	
	14,665 SF	CYNODON 'TIFWAY 419' TIFWAY 419 BERMUDA GRASS	SOD	

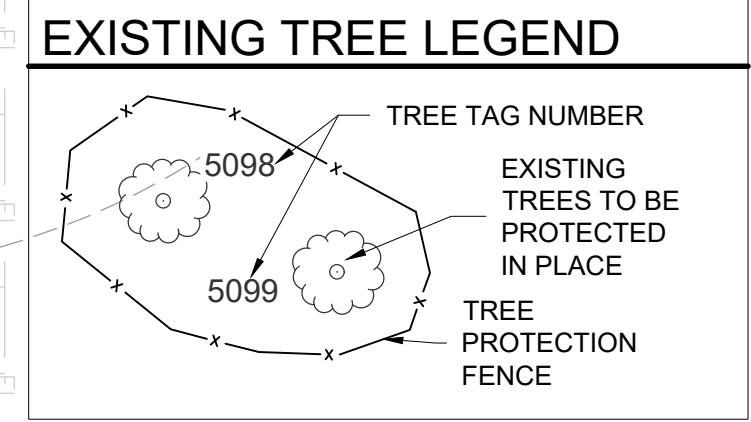
NOTE: THE DEVELOPER SHALL ESTABLISH GRASS AND MAINTAIN THE SODDED AREA, INCLUDING WATERING, UNTIL A PERMANENT STAND OF GRASS IS OBTAINED AT WHICH TIME THE PROJECT WILL BE ACCEPTED BY THE CITY. A STAND OF GRASS SHALL CONSIST OF 75%-80% COVERAGE AND A MINIMUM OF 1" IN HEIGHT AS DETERMINED BY THE CITY.

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.



TEXAS REGISTRATION #14199

CLAY MOORE ENGINEERING

1903 CENTRAL DRIVE, SUITE #406
BEDFORD, TX 76021
PHONE: 817.281.0572
WWW.CLAYMOOREENGINEERING.COM

REGISTERED LANDSCAPE ARCHITECT
DARCY BRANDON
3423
STATE OF TEXAS
10/13/2022

**DUWEST ROCKWALL
SH 205 & QUAIL RUN RD
ROCKWALL, TX**

DUWEST ROCKWALL, TX

LEGAL DESCRIPTION AND OR ADDRESS:
STONE CREEK BALANCE LTD
ABSTRACT, NO 131
8.684 AC (378,275 SF)

OWNER:
DUWEST REALTY, LLC
4403 N.CENTRAL EXWAY SUITE #200
DALLAS, TX 75025
CONTACT: BOWEN HENDRIX
PH: 214.918.1804

APPLICANT:
CLAYMOORE ENGINEERING, INC.
1903 CENTRAL DRIVE, SUITE #406
BEDFORD, TX 76021
CONTACT: DREW DONOSKY
PH: 817.281.0572

CASE NUMBER:
Z2022-003

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____

WITNESS OUR HANDS THIS _____ DAY OF _____

PLANNING AND ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

EVERGREEN DESIGN GROUP

(800) 680-6630
15455 Dallas Pkwy., Ste 600
Addison, TX 75001
www.EvergreenDesignGroup.com

LANDSCAPE PLANTING PLAN

DESIGN: LRR
DRAWN: LRR
CHECKED: CLC
DATE: 10/13/2022

SHEET

LP-1

File No: 2022-002
CASE # SP2022-042

Scale 1" = 20'



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:
CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS not yet assigned*

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION NEC E Quail Run Road and 205

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-70

CURRENT USE Undeveloped land

PROPOSED ZONING PD-70

PROPOSED USE Commercial (Retail)

ACREAGE 8.684 AC

LOTS [CURRENT]

LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3187 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

APPLICANT DuWest Realty, LLC

CONTACT PERSON

CONTACT PERSON Bowen Hendrix

ADDRESS

ADDRESS 4403 North Central Expressway

CITY, STATE & ZIP

Suite 200

PHONE

CITY, STATE & ZIP Dallas, TX 75025

E-MAIL

PHONE (214) 918-1804

E-MAIL bowen@duwestrealty.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Bowen Hendrix [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

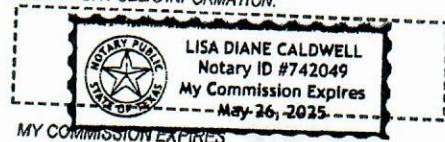
I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 250.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 11 DAY OF January 2022. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.*

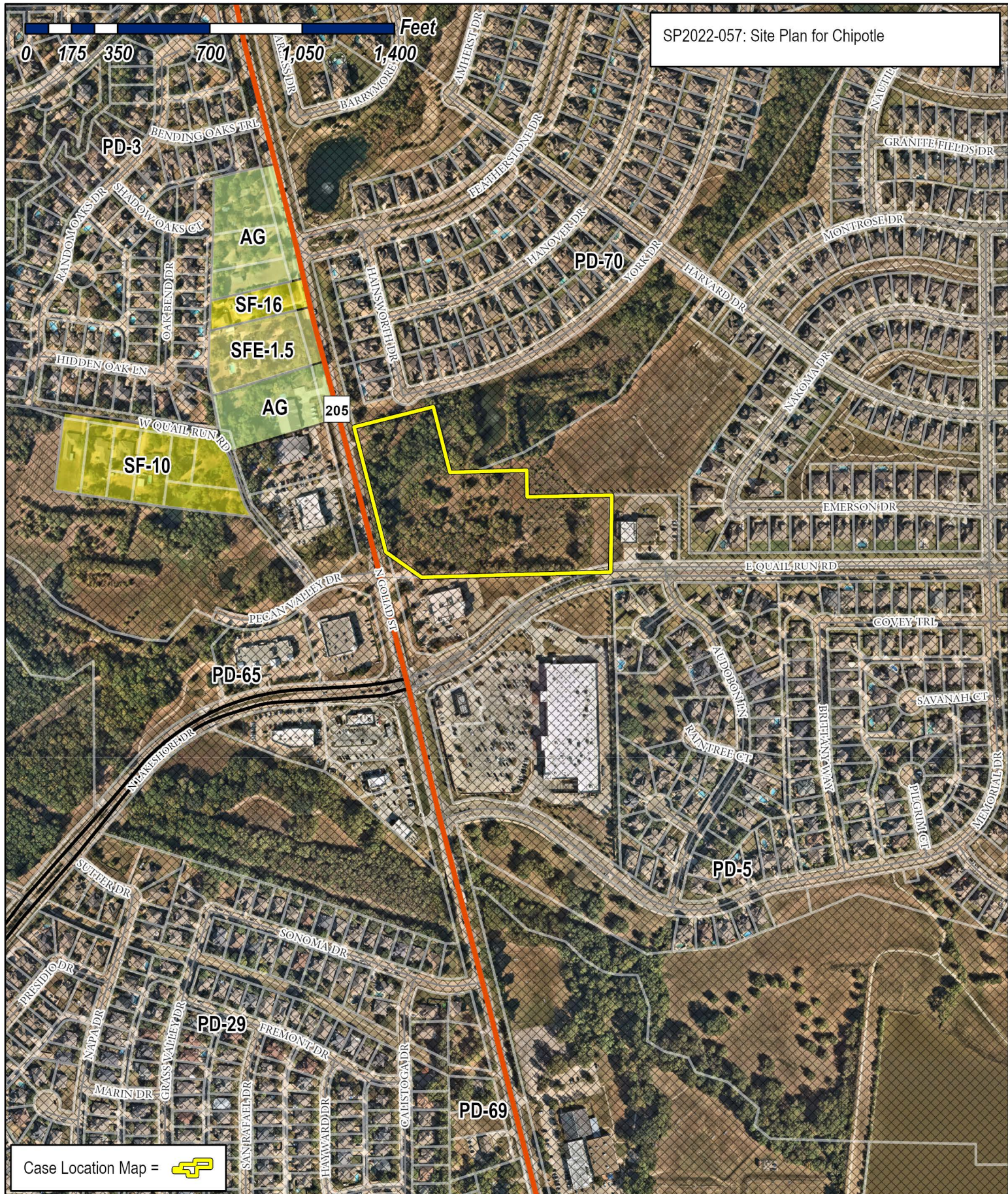
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 11 DAY OF January 2022


OWNER'S SIGNATURE

Bowen Hendrix
Lisa Caldwell

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



December 7, 2022

Chipotle Mexican Grill (Shell)
NWQ N. Goliad & E. Quail Run Rd
Rockwall, TX 75087

On behalf of DuWest Realty, we wish to submit a variance request to the City of Rockwall Planning and Zoning Department as part of our façade elevation plan submittal.

Chipotle Mexican Grill, to be located in Stone Creek Balance Ltd. Abstract No. 131 proposed new build will use materials consistent with the surrounding building in the overlay district. The design incorporates cantilevered canopies, recesses and projections (main entry), an outdoor patio, architecturally detailed herringbone brick on the pickup lane side of the building, an articulated cornice line, and varied parapet heights.

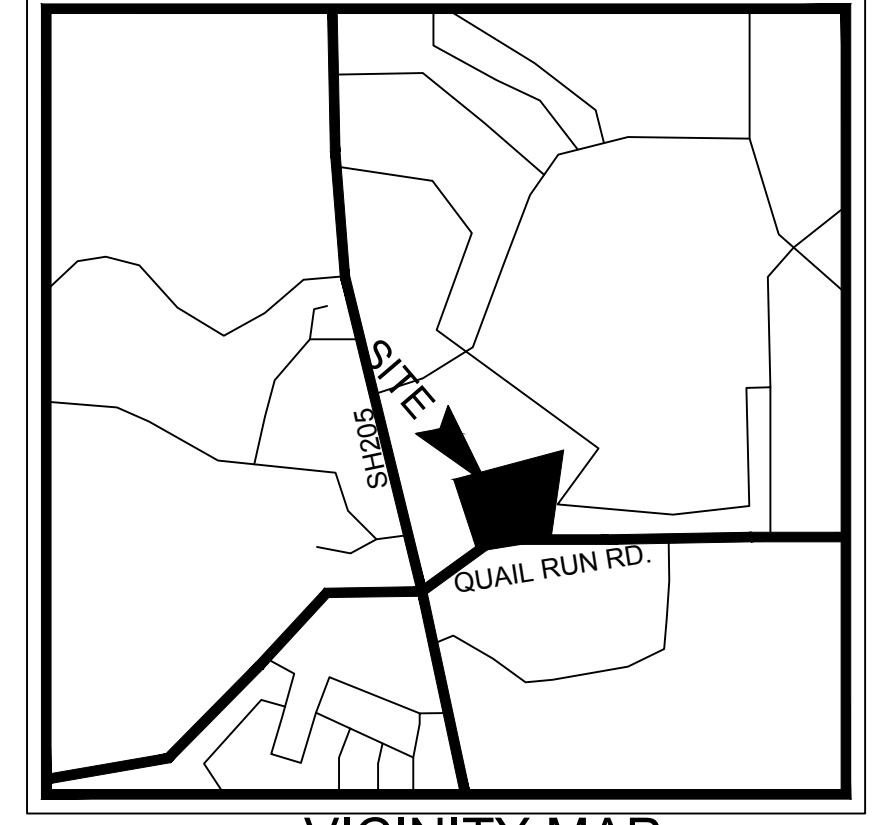
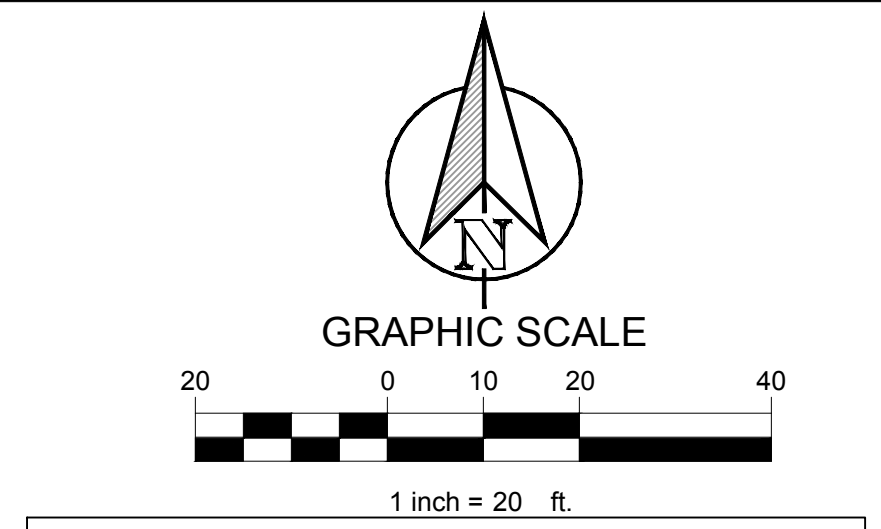
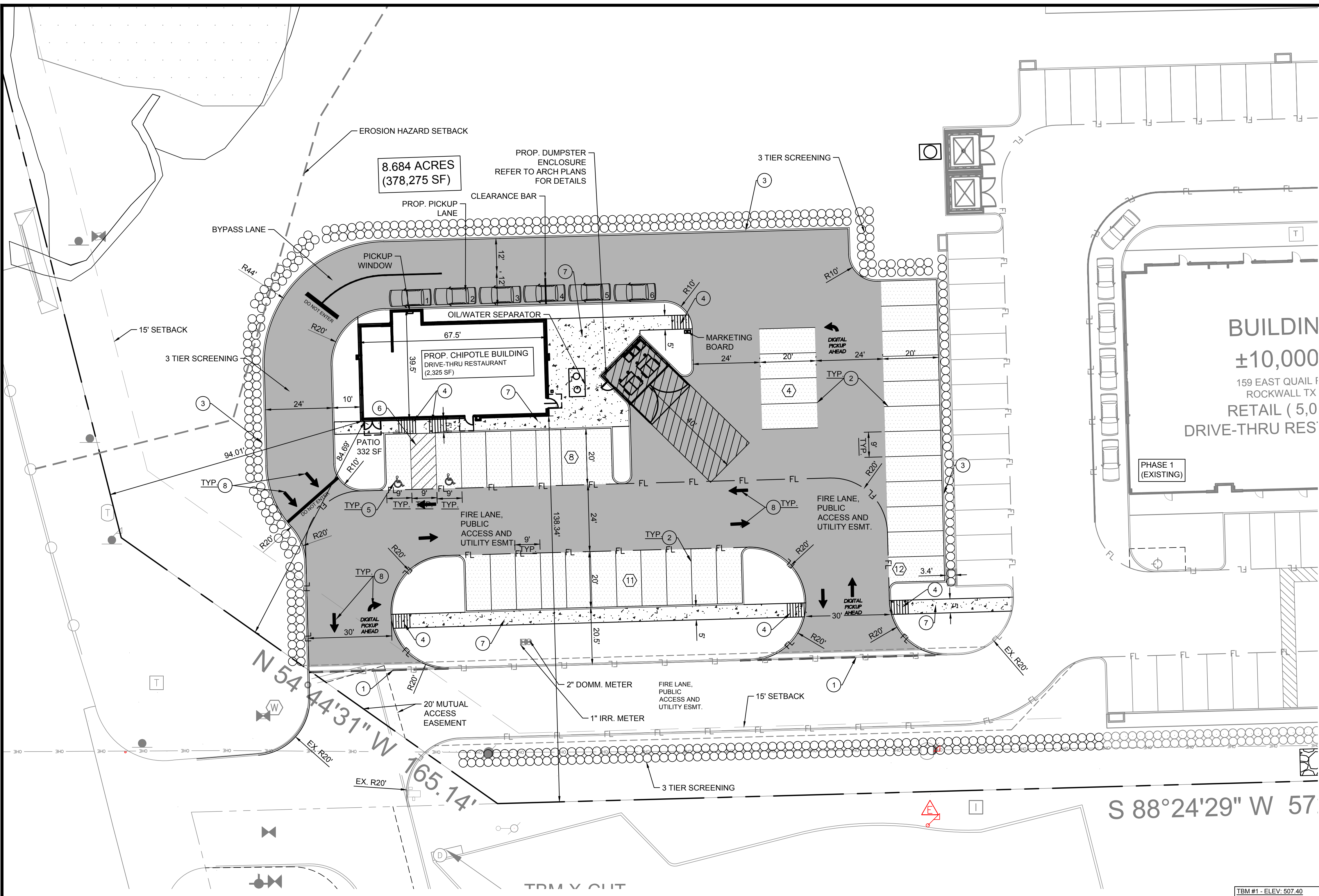
We request the following variance:

1. Roof Design Standards: Pitched roof for buildings under 6,000 sqft.
 - a. Additional masonry detailing has been provided to exceed architectural design requirements. Owner wishes the be granted a variance to preserve corporate identity.

Thank you for your consideration,

Taylor Grandorf
Architect | Project Manager
817-820-0433

PLOTTED BY: LYNN ROWLAND
 PLOT DATE: 10/19/2022 1:36 PM
 LOCATION: Z:\PROJECTS\PROJECTS\2022-175 DUWEST ROCKWALL PH. 2\CADD\SHEETS\SP-1 SITE PLAN.DWG
 LAST SAVED: 10/12/2022 8:02 AM



VICINITY MAP
N.T.S.

CONSTRUCTION SCHEDULE

	PROPOSED STANDARD DUTY CONCRETE PAVEMENT
	PROPOSED HEAVY DUTY CONCRETE PAVEMENT
	PROPOSED SIDEWALK CONCRETE PAVEMENT
	PROPERTY LINE
	PROPOSED CONCRETE CURB AND GUTTER
	PROPOSED FIRE LANE, PUBLIC ACCESS AND UTILITY EASEMENT
	PROPOSED SAWCUT
	PARKING COUNT

CONSTRUCTION SCHEDULE

1	PROP. FULL DEPTH SAWCUT
2	PROP. 4" PARKING STALL STRIPING COLOR: WHITE (TYP)
3	PROP. CURB & GUTTER
4	PROP. PEDESTRIAN RAMP
5	PROP. HANDICAP SYMBOL
6	PROP. PAVEMENT STRIPING
7	PROP. SIDEWALK
8	PROP. ARROW PAVEMENT STRIPING

BUILDING
±10,000
 159 EAST QUAIL F
 ROCKWALL TX
RETAIL (5.0
DRIVE-THRU RES'

S 88°24'29" W 57'

TBM #1 - ELEV: 507.40
 AN "X" CUT SET APPROXIMATELY 44.2' SOUTH AND 46.9' WEST FROM THE SOUTH EAST PROPERTY CORNER ALONG QUAIL RD.
TBM #2 - ELEV: 489.60
 AND "X" CUT SET APPROXIMATELY 16.6' SOUTH AND 18.6' WEST FROM THE SOUTHWEST PROPERTY CORNER ALONG QUAIL RD.
TBM #3 - ELEV: 486.4
 AND "X" CUT SET APPROXIMATELY 178.7' SOUTH AND 103.1' EAST FROM THE SOUTH EAST PROPERTY CORNER ALONG QUAIL RD.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

- NOTES:**
1. A SEPARATE SIGNAGE PERMIT IS REQUIRED BY THE CITY OF ROCKWALL.
 2. ALL WALLS 3' IN HEIGHT OR GREATER SHALL BE DESIGNED BY AN ENGINEER, LICENSED IN THE STATE OF TEXAS.
 3. ALL WALLS MUST BE ROCK OR STONE FACE. NO WALLS SHALL BE SMOOTH CONCRETE.
 4. NO TREES SHALL BE PLANTED WITHIN 10' OF NON-STEEL ENCASED PUBLIC UTILITIES.
 5. SOD MUST BE LAID WITHIN ALL DISTURBED R.O.W. BEFORE ACCEPTANCE OF PROJECT.

SITE DATA TABLE

	PHASE 2 (CHIPOTLE)	PHASE 1 (EXISTING)	TOTAL
SITE AREA	8.684 AC (378,275 SF)	8.684 AC (378,275 SF)	8.684 AC (378,275 SF)
ZONING	PD-70	PD-70	PD-70
PROPOSED USE	DRIVE-THRU RESTAURANT	RETAIL/ DRIVE-THRU RESTAURANT	RETAIL/ DRIVE-THRU RESTAURANT
BUILDING SIZE	2,325 SF	BUILDING B- 10,000 SF BUILDING C- 10,000 SF	20,325 SF
PATIO AREA	332 SF	2,777 SF	3,109 SF
LOT COVERAGE	.06 %	5.2 %	5.26 %
FLOOR TO AREA RATIO	0.00 : 1	0.05 : 1	0.06 : 1
BUILDING STORIES	1 STORY	1 STORY	1 STORY
TOTAL IMPERVIOUS	29,064 SF (0.8%)	116,406 SF (30.8%)	145,138 SF (38.3%)
OPEN SPACE	8.62 AC (92 %)	6.04 AC (69.2%)	5.4 AC (61.7 %)

PARKING DATA TABLE

PARKING REQ.	
DRIVE-THRU RESTAURANT (2,325 SF) 1/ 100 SF	24 SPACES
STANDARD PARKING	33 SPACES
ADA PARKING	2 SPACES
PARKING PROVIDED	35 SPACES (2 ADA)

DUWEST ROCKWALL, TX

LEGAL DESCRIPTION AND OR ADDRESS:
STONE CREEK BALANCE LTD
ABSTRACT. NO 131
8.684 AC (378,275 SF)

OWNER:
 DuWEST REALTY, LLC
 4403 N.CENTRAL EXWAY SUITE #200
 DALLAS, TX 75025
 CONTACT: BOWEN HENDRIX
 PH: 214.918.1804

APPLICANT:
 CLAYMOORE ENGINEERING, INC.
 1903 CENTRAL DRIVE, SUITE #406
 BEDFORD, TX 76021
 CONTACT: DREW DONOSKY
 PH: 817.281.0572

CASE NUMBER

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____.

WITNESS OUR HANDS THIS _____ DAY OF _____.

PLANNING AND ZONING COMMISSION, CHAIRMAN _____

DIRECTOR OF PLANNING AND ZONING _____

TEXAS REGISTRATION #14199
CLAYMOORE ENGINEERING
 ENGINEERING
 1903 CENTRAL DR. SUITE #406
 BEDFORD, TX 76021
 PHONE: 817.281.0572
 WWW.CLAYMOOREENGINEERING.COM

PRELIMINARY
 FOR REVIEW ONLY
 Not for construction purposes.
CLAYMOORE ENGINEERING
 ENGINEERING AND PLANNING
 CONSULTANTS
 DREW DONOSKY
 Engineer, No. 125651, Date: 10/19/2022

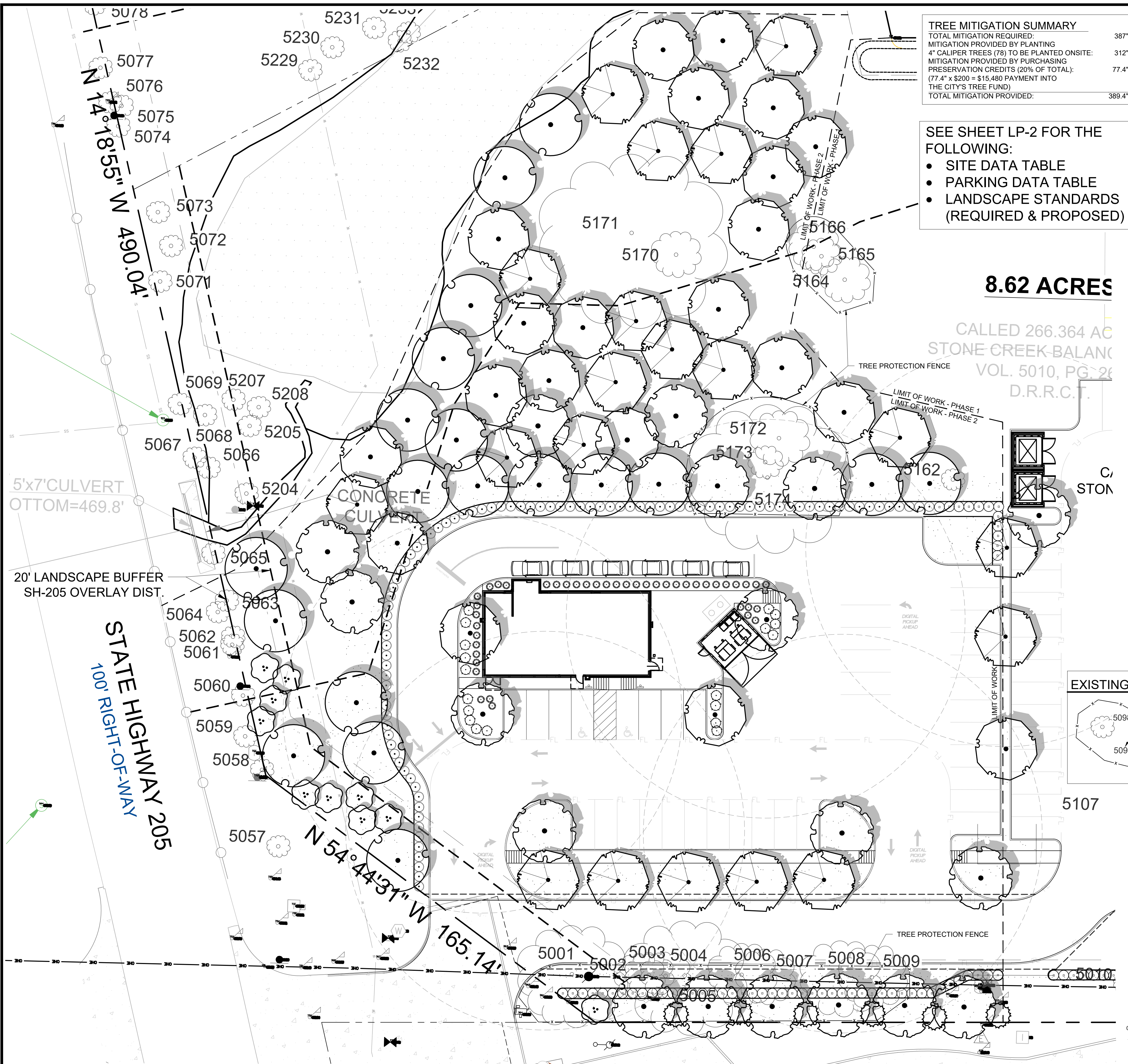
DUWEST ROCKWALL
SH 205 & QUAIL RUN RD
ROCKWALL, TX

CITY SITE PLAN

DESIGN: LRR
 DRAWN: LRR
 CHECKED: CLC
 DATE: 10/19/2022

SHEET
SP-1
 File No. 2022-042
 CASE # Z2022-042

PLOTTED BY: DARCY BRANDON
 PLOT DATE: 10/13/2022 3:12 PM
 LOCATION: C:\USERS\DARCY\DOCUMENTS\DLA\PROJECTS\2022\EDG\CHIPOLTE DUWEST - ROCKWALL, TX\REFS\2022-10-10 DUWEST ROCKWALL PHASE 2.DWG
 LAST SAVED: 10/13/2022 3:10 PM



TREE MITIGATION SUMMARY

TOTAL MITIGATION REQUIRED:	387"
MITIGATION PROVIDED BY PLANTING 4" CALIPER TREES (78) TO BE PLANTED ONSITE:	312"
MITIGATION PROVIDED BY PURCHASING PRESERVATION CREDITS (20% OF TOTAL): (77.4" x \$200 = \$15,480 PAYMENT INTO THE CITY'S TREE FUND)	77.4"
TOTAL MITIGATION PROVIDED:	389.4"

SEE SHEET LP-2 FOR THE FOLLOWING:

- SITE DATA TABLE
- PARKING DATA TABLE
- LANDSCAPE STANDARDS (REQUIRED & PROPOSED)

PLANT SCHEDULE

CANOPY TREES	QTY	BOTANICAL / COMMON NAME	CAL	SIZE
	20	ACER RUBRUM 'OCTOBER GLORY' OCTOBER GLORY MAPLE	4" CAL.	16'-18' HT
	19	QUERCUS POLYMORPHA MEXICAN WHITE OAK	4" CAL MIN	14'-16' HT
	19	QUERCUS VIRGINIANA LIVE OAK	4" CAL MIN	14'-16' HT
	20	ULMUS CRASSIFOLIA CEDAR ELM	4" CAL.	16'-18' HT
ACCENT TREES	QTY	BOTANICAL / COMMON NAME	CAL	SIZE
	10	CERCIS CANADENSIS EASTERN REDBUD 3-5 STEMS	2" CAL MIN	8' -10' HT
	6	ILEX VOMITORIA YAUPOH HOLLY	2" CAL MIN	8' -10' HT
SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT	
	43	HESPERALOE PARVIFLORA RED YUCCA	3 GAL	
	90	ILEX CORNUTA 'DWF. BURFORD' DWARF BURFORD HOLLY	5 GAL	
	19	LANTANA X 'NEW GOLD' NEW GOLD LANTANA	3 GAL	
	57	MYRTUS COMMUNIS 'DON'S DWARF' DON'S DWARF WAX MYRTLE	5 GAL	
GROUND COVER	QTY	BOTANICAL / COMMON NAME	CONT	
	14,665 SF	CYNODON 'TIFWAY 419' TIFWAY 419 BERMUDA GRASS	SOD	

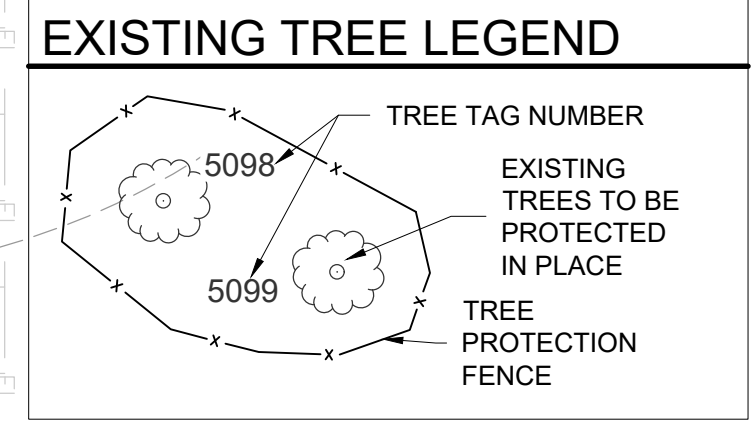
NOTE: THE DEVELOPER SHALL ESTABLISH GRASS AND MAINTAIN THE SODDED AREA, INCLUDING WATERING, UNTIL A PERMANENT STAND OF GRASS IS OBTAINED AT WHICH TIME THE PROJECT WILL BE ACCEPTED BY THE CITY. A STAND OF GRASS SHALL CONSIST OF 75%-80% COVERAGE AND A MINIMUM OF 1" IN HEIGHT AS DETERMINED BY THE CITY.

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.



TEXAS REGISTRATION #14199

CLAY MOORE ENGINEERING

1903 CENTRAL DRIVE, SUITE #406
BEDFORD, TX 76021
PHONE: 817.281.0572
WWW.CLAYMOOREENG.COM

REGISTERED LANDSCAPE ARCHITECT
DARCY BRANDON
3423
STATE OF TEXAS
10/13/2022

**DUWEST ROCKWALL
SH 205 & QUAIL RUN RD
ROCKWALL, TX**

DUWEST ROCKWALL, TX

LEGAL DESCRIPTION AND OR ADDRESS:
STONE CREEK BALANCE LTD
ABSTRACT, NO 131
8.684 AC (378,275 SF)

OWNER:
DUWEST REALTY, LLC
4403 N.CENTRAL EXWAY SUITE #200
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APPLICANT:
CLAYMOORE ENGINEERING, INC.
1903 CENTRAL DRIVE, SUITE #406
BEDFORD, TX 76021
CONTACT: DREW DONOSKY
PH: 817.281.0572

CASE NUMBER:
Z2022-003

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____

WITNESS OUR HANDS THIS _____ DAY OF _____

PLANNING AND ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

EVERGREEN DESIGN GROUP

(800) 680-6630
15455 Dallas Pkwy., Ste 600
Addison, TX 75001
www.EvergreenDesignGroup.com

LANDSCAPE PLANTING PLAN

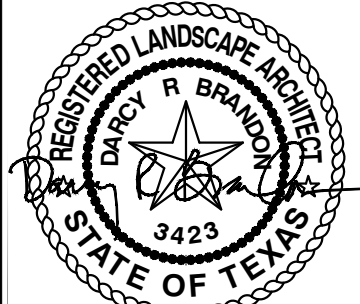
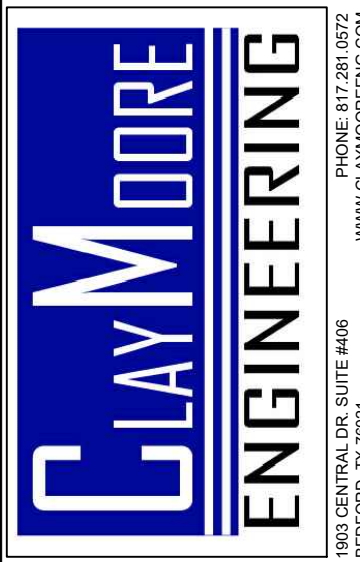
DESIGN: LRR
DRAWN: LRR
CHECKED: CLC
DATE: 10/13/2022

SHEET

LP-1

File No: 2022-002
CASE # SP2022-042

Scale 1" = 20'



10/13/2022

DUWEST ROCKWALL SH 205 & QUAIL RUN RD ROCKWALL, TX

Table with 10 columns and 1 row, likely a grid or placeholder.



LANDSCAPE PLANTING SPECIFICATIONS

PLANTING SPECIFICATIONS

GENERAL

- A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR
1. ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING.
2. A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES.
3. THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID NURSERY AND FLORAL CERTIFICATE ISSUED BY THE TEXAS DEPARTMENT OF AGRICULTURE, AS WELL AS OPERATE UNDER A COMMERCIAL PESTICIDE APPLICATOR LICENSE ISSUED BY EITHER THE TEXAS DEPARTMENT OF AGRICULTURE OR THE TEXAS STRUCTURAL PEST CONTROL BOARD.
B. SCOPE OF WORK
1. WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK, SPECIFIED HEREIN AND / OR SHOWN ON THE LANDSCAPE PLANS, NOTES, AND DETAILS.
2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.
3. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK.

PRODUCTS

- A. ALL MANUFACTURED PRODUCTS SHALL BE NEW.
B. CONTAINER AND BALLED-AND-BURLAPPED PLANTS:
1. FURNISH NURSERY-GROWN PLANTS COMPLYING WITH ANSI Z60.1-2014. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE, AND WITH SIMILAR CLIMATIC CONDITIONS.
2. ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED ROOT SYSTEMS, NON-POT-BOUND, FREE FROM ENCIRCLING AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS J-SHAPED ROOTS).
3. TREES MAY BE PLANTED FROM CONTAINERS OR BALLED-AND-BURLAPPED (B&B), UNLESS SPECIFIED ON THE PLANTING LEGEND. BARE-ROOT TREES ARE NOT ACCEPTABLE.
4. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT AND OWNER SHALL BE THE SOLE JUDGES AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
5. ALL TREES SHALL BE STANDARD FORM UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
6. CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.
7. MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALLS WHERE CALIPER MEASUREMENTS ARE USED. THE CALIPER SHALL BE CALCULATED AS ONE-HALF OF THE SUM OF THE CALIPER OF THE THREE LARGEST TRUNKS.
8. ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED.
C. SOD: PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS. SOD SHALL BE CUT FROM HEALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4" TO 1". EACH PALLET OF SOD SHALL BE ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE COMPOSITION OF THE SOD.
D. TOPSOIL: SANDY TO CLAY LOAM TOPSOIL, FREE OF STONES LARGER THAN 3/4" INCH, FOREIGN MATTER, PLANTS, ROOTS, AND SEEDS.
E. COMPOST: WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER, pH RANGE OF 5.5 TO 8; MOISTURE CONTENT 35 TO 55 PERCENT BY WEIGHT; 100 PERCENT PASSING THROUGH 3/4-INCH SIEVE; SOLUBLE SALT CONTENT 0.5 TO 10 DECIGRAMS PER LITER; NOT EXCEEDING 0.5 PERCENT INERT CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS. NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED.
F. FERTILIZER: GRANULAR FERTILIZER CONSISTING OF NITROGEN, PHOSPHORUS, POTASSIUM, AND OTHER NUTRIENTS IN PROPORTIONS, AMOUNTS, AND RELEASE RATES RECOMMENDED IN A SOIL REPORT FROM A QUALIFIED SOIL-TESTING AGENCY (SEE BELOW).
G. MULCH: SIZE AND TYPE AS INDICATED ON PLANS, FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS.
H. TREE STAKING AND GUYING
1. STAKES: 6' LONG GREEN METAL T-POSTS.
2. GUY AND THE WIRE: ASTM A 641, CLASS 1, GALVANIZED-STEEL WIRE, 2-STRAND, TWISTED, 0.106 INCH DIAMETER.
3. STRAP CHAFING GUARD: REINFORCED NYLON OR CANVAS AT LEAST 1-1/2 INCH WIDE, WITH GROMMETS TO PROTECT TREE TRUNKS FROM DAMAGE.
I. STEEL EDGING: PROFESSIONAL STEEL EDGING, 14 GAUGE THICK X 4 INCHES WIDE, FACTORY PAINTED DARK GREEN. ACCEPTABLE MANUFACTURERS INCLUDE COL-MET OR APPROVED EQUAL.
J. PRE-EMERGENT HERBICIDES: ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.

METHODS

- A. SOIL PREPARATION
1. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST.
2. SOIL TESTING:
a. AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES FROM THE PROJECT'S LANDSCAPE AREAS TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY. EACH SAMPLE SUBMITTED TO THE LAB SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL, TAKEN FROM BETWEEN THE SOIL SURFACE AND 6" DEPTH. IF NO SAMPLE LOCATIONS ARE INDICATED ON THE PLANS, THE CONTRACTOR SHALL TAKE A MINIMUM OF THREE SAMPLES FROM VARIOUS REPRESENTATIVE LOCATIONS FOR TESTING.
b. THE CONTRACTOR SHALL HAVE THE SOIL TESTING LABORATORY PROVIDE RESULTS FOR THE FOLLOWING: SOIL TEXTURAL CLASS, GENERAL SOIL FERTILITY, pH, ORGANIC MATTER CONTENT, SALT (EC), LINE, SODIUM ADSORPTION RATIO (SAR), AND BORON CONTENT.
c. THE CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES.
d. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): SEPARATE SOIL PREPARATION AND BACKFILL MIX RECOMMENDATIONS FOR GENERAL ORNAMENTAL PLANTS, XERIC PLANTS, TURF, AND NATIVE SEED, AS WELL AS PRE-PLANT FERTILIZER APPLICATIONS AND RECOMMENDATIONS FOR ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
3. THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT RECOMMENDATIONS. ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS, EITHER INCREASE OR DECREASE, SHALL BE SUBMITTED TO THE OWNER WITH THE REPORT.
4. FOR BIDDING PURPOSES ONLY, THE SOIL PREPARATION SHALL CONSIST OF THE FOLLOWING:
a. TURF: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
i. NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
ii. PREPLANT TURF FERTILIZER (10-20-10 OR SIMILAR, SLOW RELEASE, ORGANIC) - 15 LBS PER 1,000 S.F.
iii. "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
b. TREES, SHRUBS, AND PERENNIALS: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
i. NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
ii. 12-12-12 FERTILIZER (OR SIMILAR, SLOW RELEASE) - 10 LBS PER CU. YD.
iii. "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
iv. IRON SULPHATE - 2 LBS. PER CU. YD.
5. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREAS AND PLANTING BED PREPARATION.
b. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
c. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
d. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
e. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
f. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
6. ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 6" OF SOIL.

SUBMITTALS

- 1. THE CONTRACTOR SHALL PROVIDE SUBMITTALS AND SAMPLES, IF REQUIRED, TO THE LANDSCAPE ARCHITECT, AND RECEIVE APPROVAL IN WRITING FOR SUCH SUBMITTALS BEFORE WORK COMMENCES. SUBMITTALS SHALL INCLUDE PHOTOS OF PLANTS WITH A RULER OR MEASURING STICK FOR SCALE, PHOTOS OR SAMPLES OF ANY REQUIRED MULCHES, AND SOIL TEST RESULTS AND PREPARATION RECOMMENDATIONS FROM THE TESTING LAB (INCLUDING COMPOST AND FERTILIZER RATES AND TYPES, AND OTHER AMENDMENTS FOR TREE/SHRUB, TURF, AND SEED AREAS AS MAY BE APPROPRIATE).
2. SUBMITTALS SHALL ALSO INCLUDE MANUFACTURER CUT SHEETS FOR PLANTING ACCESSORIES SUCH AS TREE STAKES AND TIES, EDGING, AND LANDSCAPE FABRICS (IF ANY).
3. WHERE MULTIPLE ITEMS ARE SHOWN ON A PAGE, THE CONTRACTOR SHALL CLEARLY INDICATE THE ITEM BEING CONSIDERED.

GENERAL PLANTING

- 1. REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS.
2. EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT THE MANUFACTURER'S RECOMMENDED RATE.
3. TRENCHING NEAR EXISTING TREES:
a. CONTRACTOR SHALL NOT DISTURB ROOTS 1-1/2" AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE ROOTS, TRUNKS, AND BRANCHES. THE CRZ IS DEFINED AS A CIRCULAR AREA EXTENDING OUTWARD FROM THE TREE TRUNK, WITH A RADIUS EQUAL TO 1" FOR EVERY 1" OF TRUNK DIAMETER-AT-BREAST-HEIGHT (4.5' ABOVE THE AVERAGE GRADE AT THE TRUNK).
b. ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCHING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ.
c. ALTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1-1/2" AND LARGER IN DIAMETER, WHERE TREE ROOTS 1-1/2" AND LARGER IN DIAMETER ARE ENCOUNTERED IN THE FIELD, TUNNEL UNDER SUCH ROOTS. WRAP EXPOSED ROOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST. CLOSE ALL TRENCHES WITHIN THE CANOPY DRIP LINES WITHIN 24 HOURS.
d. ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY. DO NOT USE ANY SORT OF SEALERS OR WOUND PAINTS.

TREE PLANTING

- 1. TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL, AND TO A DEPTH EQUAL TO THE DEPTH OF THE ROOTBALL LESS TWO TO FOUR INCHES. SCARIFY THE SIDES AND BOTTOM OF THE PLANTING HOLE PRIOR TO THE PLACEMENT OF THE TREE. REMOVE ANY GLAZING THAT MAY HAVE BEEN CAUSED DURING THE EXCAVATION OF THE HOLE. FOR CONTAINER AND BOX TREES, TO REMOVE ANY POTENTIALLY GIRDLING ROOTS AND OTHER ROOT DEFECTS, THE CONTRACTOR SHALL SHAVE A 1" LAYER OFF OF THE SIDES AND BOTTOM OF THE ROOTBALL OF ALL TREES JUST BEFORE PLACING INTO THE PLANTING PIT. DO NOT "TEASE" ROOTS OUT FROM THE ROOTBALL.
2. INSTALL THE TREE ON UNDISTURBED SUBGRADE SO THAT THE TOP OF THE ROOTBALL IS TWO TO FOUR INCHES ABOVE THE SURROUNDING GRADE.
3. BACKFILL THE TREE HOLE UTILIZING THE EXISTING TOPSOIL FROM ON-SITE. ROCKS LARGER THAN 1" DIA. AND ALL OTHER DEBRIS SHALL BE REMOVED FROM THE SOIL PRIOR TO THE BACKFILL. SHOULD ADDITIONAL SOIL BE REQUIRED TO ACCOMPLISH THIS TASK, USE STORED TOPSOIL FROM ON-SITE OR IMPORT ADDITIONAL TOPSOIL FROM OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. IMPORTED TOPSOIL SHALL BE OF SIMILAR TEXTURAL CLASS AND COMPOSITION AS THE ON-SITE SOIL.
4. TREES SHALL NOT BE STAKED UNLESS LOCAL CONDITIONS (SUCH AS HEAVY WINDS OR SLOPES) REQUIRE STAKES TO KEEP TREES UPRIGHT. SHOULD STAKING BE REQUIRED, THE TOTAL NUMBER OF TREE STAKES (BEYOND THE MINIMUMS LISTED BELOW) WILL BE LEFT TO THE LANDSCAPE CONTRACTOR'S DISCRETION. SHOULD ANY TREES FALL OR BECOME DAMAGED, THE LANDSCAPE CONTRACTOR SHALL STRAIGHTEN THE TREE, OR REPLACE IT SHOULD IT BECOME DAMAGED. TREE STAKING SHALL ADHERE TO THE FOLLOWING GUIDELINES:
a. 1-2" TREES: TWO STAKES PER TREE
b. 2-1/2"-4" TREES: THREE STAKES PER TREE
c. TREES OVER 4" CALIPER: GUY AS NEEDED
d. MULTI-TRUNK TREES: THREE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE
e. MULTI-TRUNK TREES: THREE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE.
7. UPON COMPLETION OF PLANTING, CONSTRUCT AN EARTH WATERING BASIN AROUND THE TREE, COVER THE INTERIOR OF THE TREE RING WITH THE WEED BARRIER CLOTH AND TOPDRESS WITH MULCH (TYPE AND DEPTH PER PLANS).
E. SHRUB, PERENNIAL, AND GROUNDCOVER PLANTING
1. DIG THE PLANTING HOLES TO A MINIMUM OF 2" LESS DEEP THAN EACH PLANT'S ROOTBALL. INSTALL THE PLANT IN THE HOLE. BACKFILL AROUND THE PLANT WITH SOIL AMENDED PER SOIL TEST RECOMMENDATIONS.
2. INSTALL THE WEED BARRIER CLOTH, OVERLAPPING IT AT THE ENDS. UTILIZE STEEL STAPLES TO KEEP THE WEED BARRIER CLOTH IN PLACE.
3. WHEN PLANTING IS COMPLETE, INSTALL MULCH (TYPE AND DEPTH PER PLANS) OVER ALL PLANTING BEDS, COVERING THE ENTIRE PLANTING AREA.

SODDING

- 1. SOD VARIETY TO BE AS SPECIFIED ON THE LANDSCAPE PLAN.
2. LAY SOD WITHIN 24 HOURS FROM THE TIME OF STRIPPING. DO NOT LAY IF THE GROUND IS FROZEN.
3. LAY THE SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS - DO NOT OVERLAP. STAGGER JOINTS IN ADJACENT CURBS.
4. ROLL THE SOD TO ENSURE GOOD CONTACT OF THE SOD'S ROOT SYSTEM WITH THE SOIL UNDERNEATH.
5. WATER THE SOD THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING TO OBTAIN AT LEAST SIX INCHES OF PENETRATION INTO THE SOIL BELOW THE SOD.

MULCH

- 1. INSTALL MULCH TOPDRESSING, TYPE AND DEPTH PER MULCH NOTE, IN ALL PLANTING AREAS AND TREE RINGS.
2. DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE AND WITHIN 24" OF HABITABLE STRUCTURES, EXCEPT AS MAY BE NOTED ON THESE PLANS. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL.

CLEAN UP

- 1. DURING LANDSCAPE PREPARATION AND PLANTING, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A NEAT, ORDERLY CONDITION.
2. DISPOSED LEGALLY OF ALL EXCAVATED MATERIALS OFF THE PROJECT SITE.

INSPECTION AND ACCEPTANCE

- 1. UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.
2. WHEN THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS.
3. THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.

LANDSCAPE MAINTENANCE

- 1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTling OF PLANTS THAT HAVE SETTLED, MOWING AND AERATION OF LAWNS, WEEDING, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
2. SHOULD SEEDED AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL, HEALTHY STAND OF PLANTS AT NO ADDITIONAL COST TO THE OWNER.
3. TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
a. THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
b. ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
c. SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE FIRST MOWING. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESODDED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWED.
K. WARRANTY PERIOD, PLANT GUARANTEE AND REPLACEMENTS
1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE (90 DAYS FOR ANNUAL PLANTS). THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE AND AT THE SATISFACTION OF THE OWNER, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
2. AFTER THE INITIAL MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR REPLACEMENT OF PLANTS WHEN PLANT DEATH CANNOT BE ATTRIBUTED DIRECTLY TO OVERWATERING OR OTHER DAMAGE BY HUMAN ACTIONS.
L. PROVIDE A MINIMUM OF (2) COPIES OF RECORD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK. A RECORD DRAWING IS A RECORD OF ALL CHANGES THAT OCCURRED IN THE FIELD AND THAT ARE DOCUMENTED THROUGH CHANGE ORDERS, ADDENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS.

DUWEST ROCKWALL, TX

LEGAL DESCRIPTION AND OR ADDRESS:

STONE CREEK BALANCE LTD ABSTRACT, NO 131 8.684 AC (378,275 SF)

OWNER:

DUWEST REALTY, LLC 4403 N.CENTRAL EXWAY SUITE #200 DALLAS, TX 75025 CONTACT: BOWEN HENDRIX PH: 214.918.1804

APPLICANT:

CLAYMOORE ENGINEERING, INC. 1903 CENTRAL DRIVE, SUITE #406 BEDFORD, TX 76021 CONTACT: DREW DONOSKY PH: 817.281.0572

CASE NUMBER

Z2022-003

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ___ DAY OF ___.

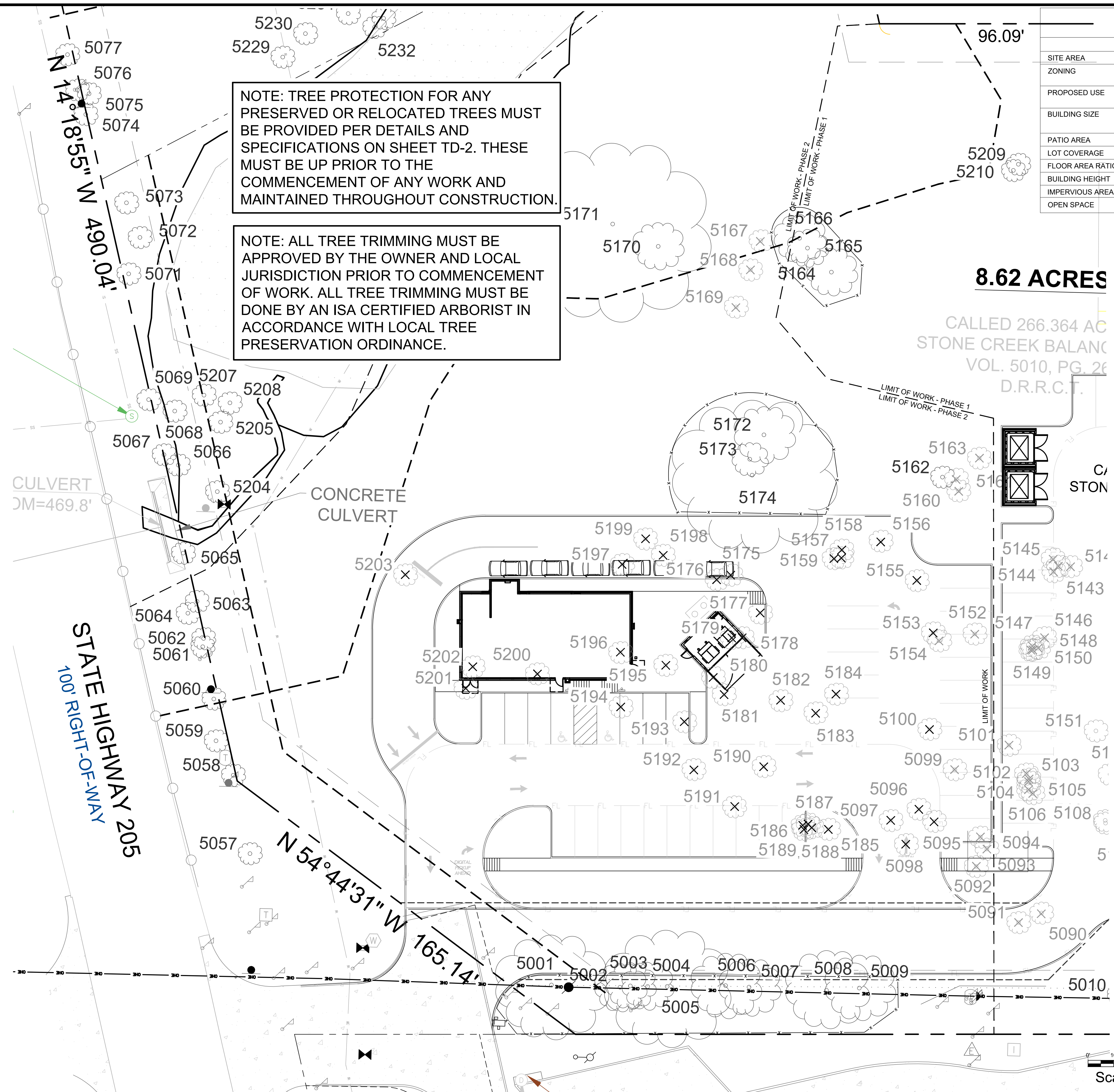
WITNESS OUR HANDS THIS ___ DAY OF ___.

PLANNING AND ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

PLOTTED BY: DARCY BRANDON 10/13/2022 3:12 PM PLOT DATE: C:\USERS\DARCY\DOCUMENTS\DBLA\PROJECTS\2022\EDG\CHIPOLTE DUWEST - ROCKWALL, TX\REFS\2022-10-10 DUWEST ROCKWALL PHASE 2.DWG LOCATION: LAST SAVED: 10/13/2022 3:10 PM

PLOTTED BY: DARCY BRANDON
 PLOT DATE: 10/13/2022 3:13 PM
 LOCATION: C:\USERS\DARCY\DOCUMENTS\DBLA_PROJECTS\2022\EDG\CHIPOLTE DUWEST - ROCKWALL, TX\REFS\2022-10-10-DUWEST ROCKWALL PHASE 2.DWG
 LAST SAVED: 10/13/2022 3:10 PM



NOTE: TREE PROTECTION FOR ANY PRESERVED OR RELOCATED TREES MUST BE PROVIDED PER DETAILS AND SPECIFICATIONS ON SHEET TD-2. THESE MUST BE UP PRIOR TO THE COMMENCEMENT OF ANY WORK AND MAINTAINED THROUGHOUT CONSTRUCTION.

NOTE: ALL TREE TRIMMING MUST BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO COMMENCEMENT OF WORK. ALL TREE TRIMMING MUST BE DONE BY AN ISA CERTIFIED ARBORIST IN ACCORDANCE WITH LOCAL TREE PRESERVATION ORDINANCE.

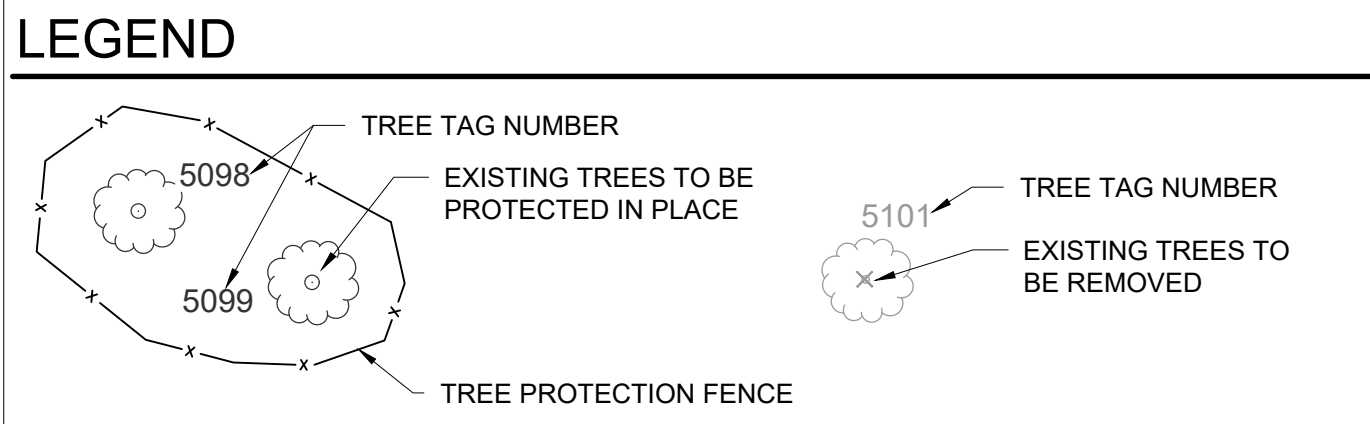
SITE DATA TABLE			
	PHASE 2 (CHIPOTLE)	PHASE 1 (EXISTING)	TOTAL
SITE AREA	8,684 AC / 378,275 SF	8,684 AC / 378,275 SF	8,684 AC / 378,275 SF
ZONING	PD-70 (Planned Development)	PD-70 (Planned Development) GR (General Retail Dist.)	PD-70
PROPOSED USE	DRIVE-THRU RESTAURANT	RETAIL/DRIVE-THRU RESTAURANT	RETAIL/DRIVE-THRU RESTAURANT
BUILDING SIZE	2,325 SF	BLDG. B - 10,000 SF BLDG. C - 10,000 SF	20,325 SF
PATIO AREA	332 SF	2,777 SF	3,109 SF
LOT COVERAGE	0.06%	5.2%	5.26%
FLOOR AREA RATIO	0.00:1	0.05:1	0.06:1
BUILDING HEIGHT	1-STORY	1-STORY	1-STORY
IMPERVIOUS AREA	29,064 SF (0.8%)	116,406 SF (30.8%)	145,138 SF (38.3%)
OPEN SPACE	8.62 AC (92%)	6.04 AC (69.2%)	5.4 AC (61.7%)

8.62 ACRES

CALLED 266.364 AC
 STONE CREEK BALANCE
 VOL. 5010, PG. 26
 D.R.R.C.

PARKING DATA TABLE	
PARKING REQUIRED	
DRIVE-THRU RESTAURANT (2,325 SF)	24 SPACES
1 SPACE / 100 SF	33 SPACES
STANDARD PARKING	2 SPACES
ADA PARKING	2 SPACES
PARKING PROVIDED	
TOTAL PARKING	33 SPACES
ADA PARKING	2 SPACES

TREE MITIGATION SUMMARY	
TOTAL MITIGATION REQUIRED:	387"
MITIGATION PROVIDED BY PLANTING 4" CALIPER TREES (78) TO BE PLANTED ONSITE:	312"
MITIGATION PROVIDED BY PURCHASING PRESERVATION CREDITS (20% OF TOTAL): (77.4" x \$200 = \$15,480 PAYMENT INTO THE CITY'S TREE FUND)	77.4"
TOTAL MITIGATION PROVIDED:	389.4"



SEE SHEET TD-2 FOR EXISTING TREE SURVEY TABLES & TREE MITIGATION CALCULATION TABLE
 SEE SHEET LP-1 FOR PROPOSED REPLACEMENT TREES FOR MITIGATION.

DUWEST ROCKWALL, TX
LEGAL DESCRIPTION AND OR ADDRESS: STONE CREEK BALANCE LTD ABSTRACT, NO 131 8.684 AC (378,275 SF)
OWNER: DUWEST REALTY, LLC 4403 N.CENTRAL EXWAY SUITE #200 DALLAS, TX 75025 CONTACT: BOWEN HENDRIX PH: 214.918.1804
APPLICANT: CLAYMOORE ENGINEERING, INC. 1903 CENTRAL DRIVE, SUITE #406 BEDFORD, TX 76021 CONTACT: DREW DONOSKY PH: 817.281.0572
CASE NUMBER Z2022-003

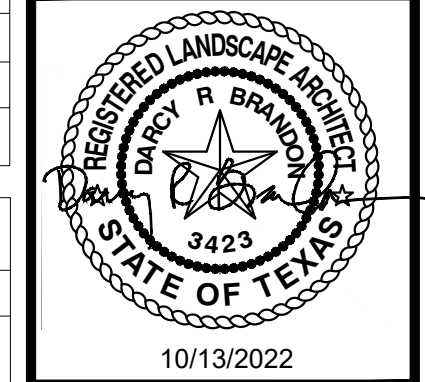
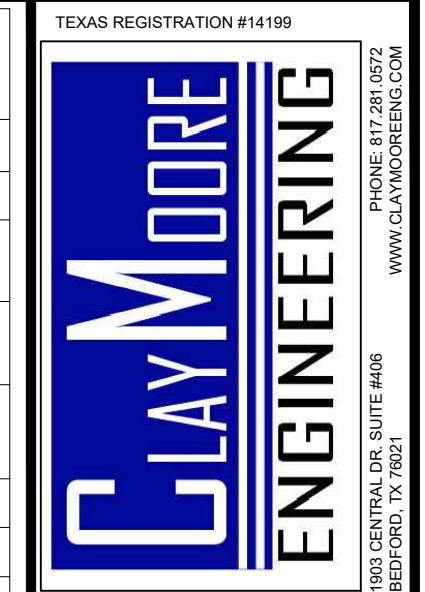
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____.

WITNESS OUR HANDS THIS _____ DAY OF _____

PLANNING AND ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

Scale 1" = 20'



**DUWEST ROCKWALL
 SH 205 & QUAIL RUN RD
 ROCKWALL, TX**



**TREESCAPE
 PLAN**

DESIGN: LRR
DRAWN: LRR
CHECKED: CLC
DATE: 10/13/2022
SHEET
TD-1
File No. 2022-002

TREE PROTECTION SPECIFICATIONS

MATERIALS

- FABRIC: 4 FOOT HIGH ORANGE PLASTIC FENCING AS SHOWN ON THE PLANS AND SHALL BE WOVEN WITH 2 INCH MESH OPENINGS SUCH THAT IN A VERTICAL DIMENSION OF 23 INCHES ALONG THE DIAGONALS OF THE OPENINGS THERE SHALL BE AT LEAST 7 MESHES.
- POSTS: POSTS SHALL BE A MINIMUM OF 72 INCHES LONG AND STEEL 'T' SHAPED WITH A MINIMUM WEIGHT OF 1.3 POUNDS PER LINEAR FOOT.
- TIE WIRE: WIRE FOR ATTACHING THE FABRIC TO THE T-POSTS SHALL BE NOT LESS THAN NO. 12 GAUGE GALVANIZED WIRE.
- USED MATERIALS: PREVIOUSLY-USED MATERIALS, MEETING THE ABOVE REQUIREMENTS AND WHEN APPROVED BY THE OWNER, MAY BE USED.

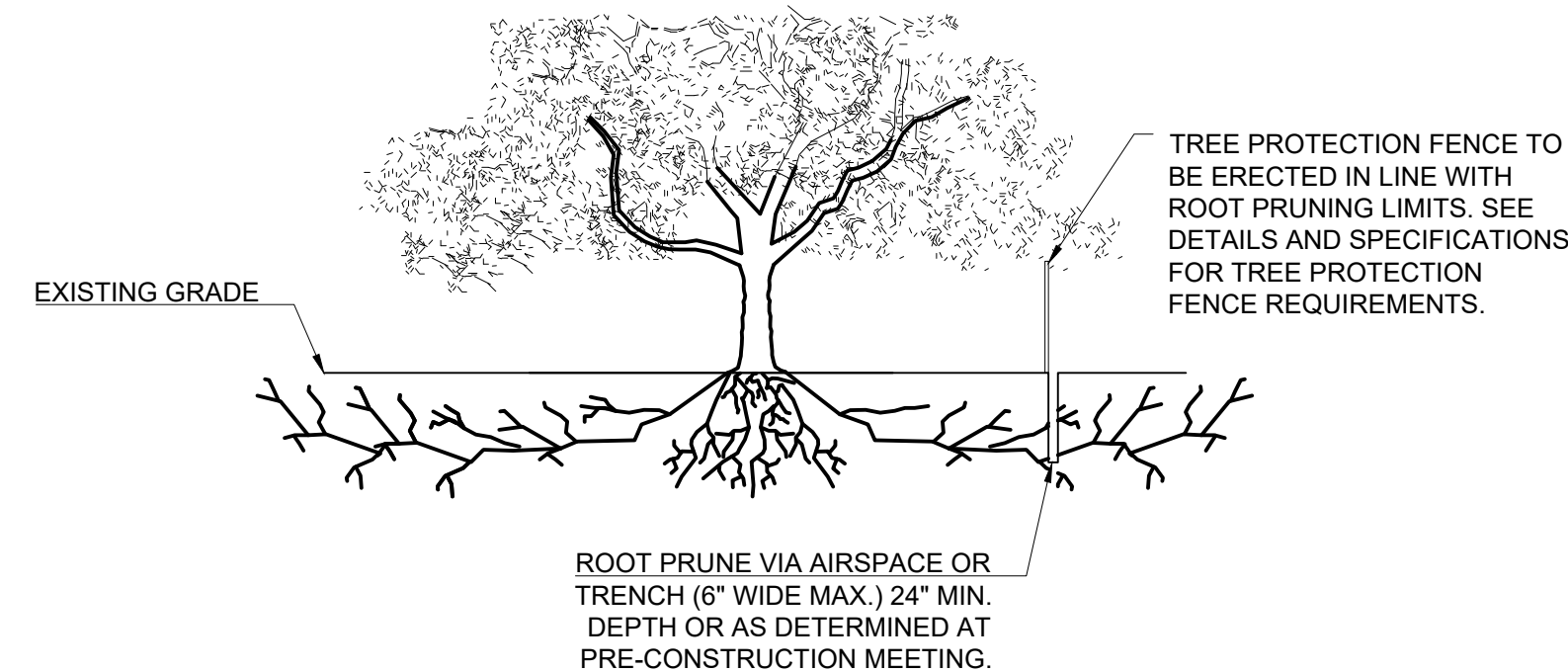
CONSTRUCTION METHODS

- ALL TREES AND SHRUBS SHOWN TO REMAIN WITHIN THE PROXIMITY OF THE CONSTRUCTION SITE SHALL BE PROTECTED PRIOR TO BEGINNING ANY DEVELOPMENT ACTIVITY.
- EMPLOY THE SERVICES OF AN ISA (INTERNATIONAL SOCIETY OF ARBORICULTURE) CERTIFIED ARBORIST AND OBTAIN ALL REQUIRED PERMITS TO PRUNE THE EXISTING TREES FOR CLEANING, RAISING AND THINNING, AS MAY BE REQUIRED.
- PROTECTIVE FENCING SHALL BE ERECTED OUTSIDE THE CRITICAL ROOT ZONE (CRZ, EQUAL TO 1" FROM THE TRUNK FOR EVERY 1" OF DBH) AT LOCATIONS SHOWN IN THE PLANS OR AS DIRECTED BY THE LANDSCAPE CONSULTANT AND/OR CITY ARBORIST, AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THE PLANS. FENCING SHALL BE MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING SITE CONSTRUCTION. TREES IN CLOSE PROXIMITY SHALL BE FENCED TOGETHER, RATHER THAN INDIVIDUALLY.
- PROTECTIVE FENCE LOCATIONS IN CLOSE PROXIMITY TO STREET INTERSECTIONS OR DRIVES SHALL ADHERE TO THE APPLICABLE JURISDICTION'S SIGHT DISTANCE CRITERIA.
- THE PROTECTIVE FENCING SHALL BE ERECTED BEFORE SITE WORK COMMENCES AND SHALL REMAIN IN PLACE DURING THE ENTIRE CONSTRUCTION PHASE.
- THE INSTALLATION POSTS SHALL BE PLACED EVERY 6 FEET ON CENTER AND EMBEDDED TO 18 INCHES DEEP. MESH FABRIC SHALL BE ATTACHED TO THE INSTALLATION POSTS BY THE USE OF SUFFICIENT WIRE TIES TO SECURELY FASTEN THE FABRIC TO THE T-POSTS TO HOLD THE FABRIC IN A STABLE AND UPRIGHT POSITION.
- WITHIN THE CRZ:
 - DO NOT CLEAR, FILL OR GRADE IN THE CRZ OF ANY TREE.
 - DO NOT STORE, STOCKPILE OR DUMP ANY JOB MATERIAL, SOIL OR RUBBISH UNDER THE SPREAD OF THE TREE BRANCHES.
 - DO NOT PARK OR STORE ANY EQUIPMENT OR SUPPLIES UNDER THE TREE CANOPY.
 - DO NOT SET UP ANY CONSTRUCTION OPERATIONS UNDER THE TREE CANOPY (SUCH AS PIPE CUTTING AND THREADING, MORTAR MIXING, PAINTING OR LUMBER CUTTING).
 - DO NOT NAIL OR ATTACH TEMPORARY SIGNS METERS, SWITCHES, WIRES, BRACING OR ANY OTHER ITEM TO THE TREES.
 - DO NOT PERMIT RUNOFF FROM WASTE MATERIALS INCLUDING SOLVENTS, CONCRETE WASHOUTS, ASPHALT TACK COATS (MC-30 OIL), ETC. TO ENTER THE CRZ. BARRIERS ARE TO BE PROVIDED TO PREVENT SUCH RUNOFF SUBSTANCES FROM ENTERING THE CRZ WHENEVER POSSIBLE, INCLUDING IN AN AREA WHERE RAIN OR SURFACE WATER COULD CARRY SUCH MATERIALS TO THE ROOT SYSTEM OF THE TREE.
- ROUTE UNDERGROUND UTILITIES TO AVOID THE CRZ. IF DIGGING IS UNAVOIDABLE, BORE UNDER THE ROOTS, OR HAND DIG TO AVOID SEVERING THEM.

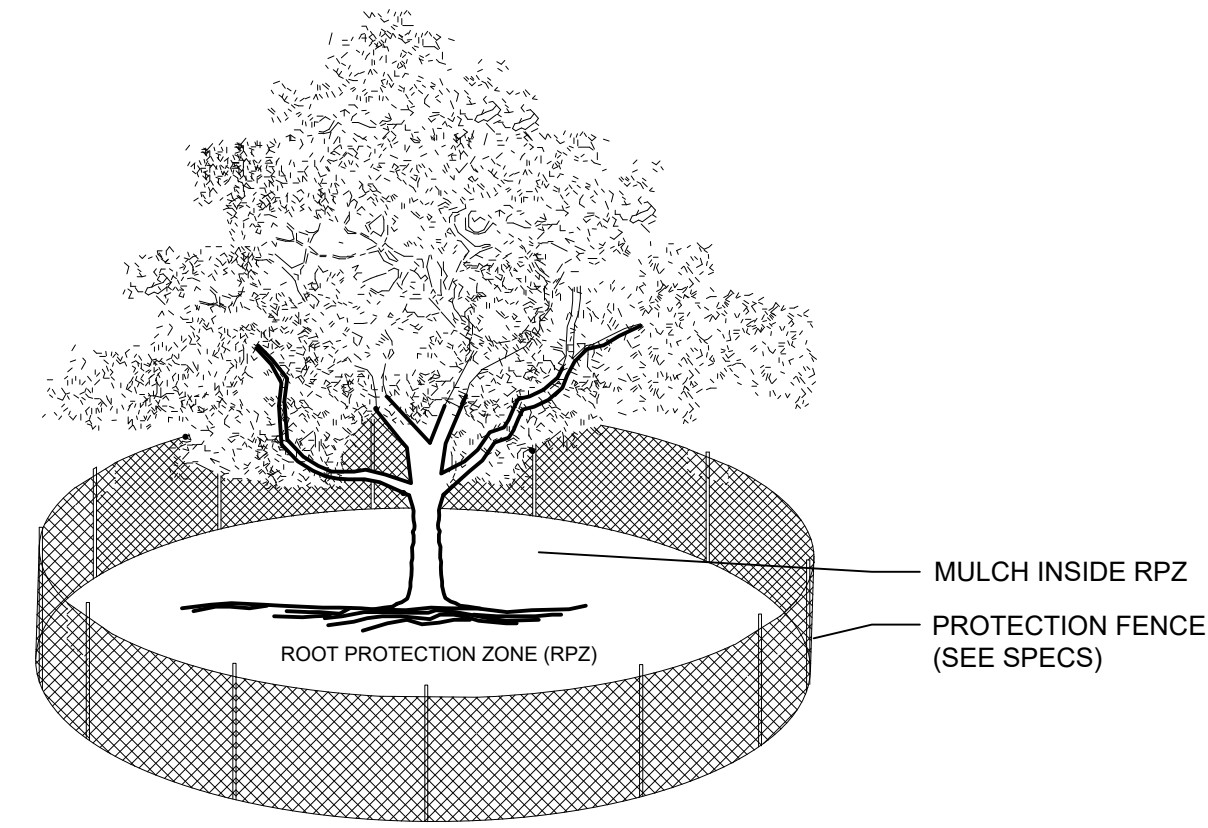
- WHERE EXCAVATION IN THE VICINITY OF TREES MUST OCCUR, SUCH AS FOR IRRIGATION INSTALLATION, PROCEED WITH CAUTION, AND USING HAND TOOLS ONLY.
- THE CONTRACTOR SHALL NOT CUT ROOTS LARGER THAN ONE INCH IN DIAMETER WHEN EXCAVATION OCCURS NEAR EXISTING TREES. ALL ROOTS LARGER THAN ONE INCH IN DIAMETER ARE TO BE CUT CLEANLY. FOR OAKS ONLY, ALL WOUNDS SHALL BE PAINTED WITH WOUND SEALER WITHIN 30 MINUTES
- REMOVE ALL TREES, SHRUBS OR BUSHES TO BE CLEARED FROM PROTECTED ROOT ZONE AREAS BY HAND.
- TREES DAMAGED OR KILLED DUE TO CONTRACTOR'S NEGLIGENCE DURING CONSTRUCTION SHALL BE MITIGATED AT THE CONTRACTOR'S EXPENSE AND TO THE PROJECT OWNER'S AND LOCAL JURISDICTION'S SATISFACTION.
- ANY TREE REMOVAL SHALL BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO ITS REMOVAL, AND THE CONTRACTOR SHALL HAVE ALL REQUIRED PERMITS FOR SUCH ACTIVITIES.
- COVER EXPOSED ROOTS AT THE END OF EACH DAY WITH SOIL, MULCH OR WET BURLAP.
- IN CRITICAL ROOT ZONE AREAS THAT CANNOT BE PROTECTED DURING CONSTRUCTION AND WHERE HEAVY TRAFFIC IS ANTICIPATED, COVER THE SOIL WITH EIGHT INCHES OF ORGANIC MULCH TO MINIMIZE SOIL COMPACTION. THIS EIGHT INCH DEPTH OF MULCH SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- WATER ALL TREES IMPACTED BY CONSTRUCTION ACTIVITIES, DEEPLY ONCE A WEEK DURING PERIODS OF HOT DRY WEATHER. SPRAY TREE CROWNS WITH WATER PERIODICALLY TO REDUCE DUST ACCUMULATION ON THE LEAVES.
- WHEN INSTALLING CONCRETE ADJACENT TO THE ROOT ZONE OF A TREE, USE A PLASTIC VAPOR BARRIER BEHIND THE CONCRETE TO PROHIBIT LEACHING OF LIME INTO THE SOIL.
- CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL TREE PROTECTION FENCING WHEN ALL THREATS TO THE EXISTING TREES FROM CONSTRUCTION-RELATED ACTIVITIES HAVE BEEN REMOVED.

NOTES

- RETENTION AREAS WILL BE SET AS PART OF THE REVIEW PROCESS AND PRE-CONSTRUCTION MEETING.
- BOUNDARIES OF RETENTION AREAS MUST BE STAKED AT THE PRE-CONSTRUCTION MEETING AND FLAGGED PRIOR TO ROOT PRUNING.
- EXACT LOCATION OF ROOT PRUNING SHALL BE DETERMINED IN THE FIELD IN COORDINATION WITH THE FORESTRY INSPECTOR.
- TRENCH SHOULD BE IMMEDIATELY BACKFILLED WITH EXCAVATED SOIL OR OTHER ORGANIC SOIL AS SPECIFIED PER PLAN OR BY THE FORESTRY INSPECTOR.
- ROOTS SHALL BE CLEANLY CUT USING VIBRATORY KNIFE OR OTHER ACCEPTABLE EQUIPMENT. ROOT PRUNING METHODS AND MEANS MUST BE IN ACCORDANCE WITH ANSI STANDARD A3000.
- ALL PRUNING MUST BE EXECUTED AT LOD SHOWN ON PLANS OR AS AUTHORIZED IN WRITING BY THE FORESTRY INSPECTOR.
- SUPPLEMENTAL WATERING MAY BE REQUIRED FOR ROOT PRUNED TREES THROUGHOUT THE GROWING SEASON DURING CONSTRUCTION AND SUBSEQUENT WARRANTY AND MAINTENANCE PERIOD.



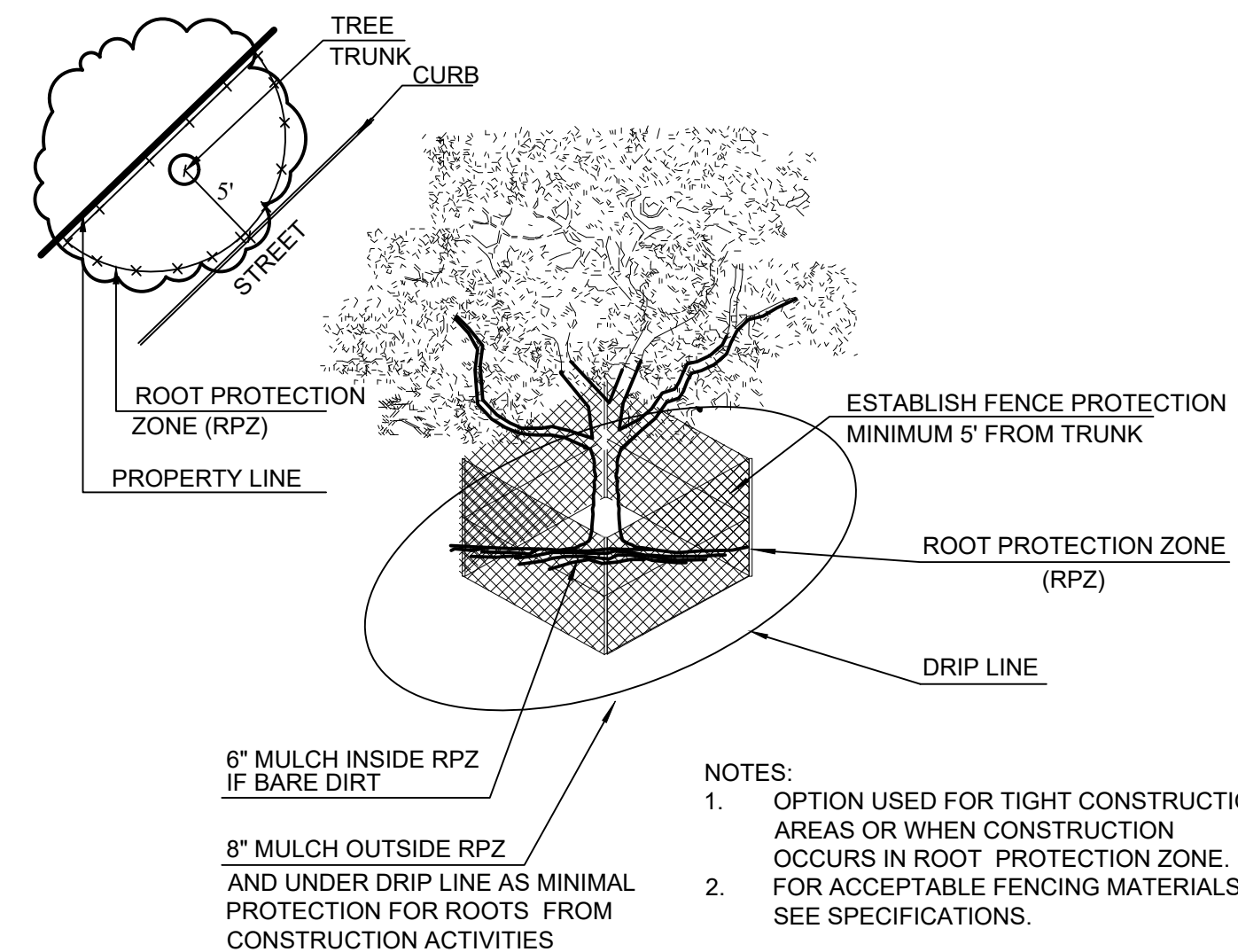
D ROOT PRUNING DETAIL
SCALE: NOT TO SCALE



NOTES:

- THE FENCING LOCATION SHOWN ABOVE IS DIAGRAMATIC ONLY AND WILL CONFORM TO THE DRIP LINE AND BE LIMITED TO PROJECT BOUNDARY. WHERE MULTIPLE ADJACENT TREES WILL BE ENCLOSED BY FENCING, THE FENCING SHALL BE CONTINUOUS AROUND ALL TREES.
- FOR ACCEPTABLE FENCING MATERIALS SEE SPECIFICATIONS.

A TREE PROTECTION FENCE
SCALE: NOT TO SCALE



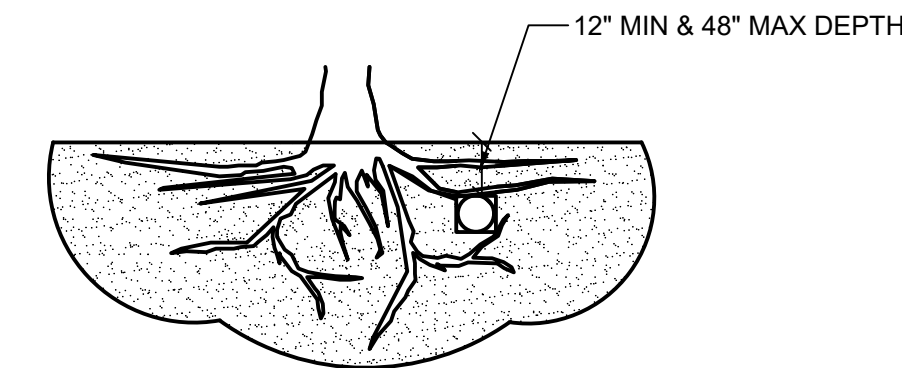
NOTES:

- OPTION USED FOR TIGHT CONSTRUCTION AREAS OR WHEN CONSTRUCTION OCCURS IN ROOT PROTECTION ZONE.
- FOR ACCEPTABLE FENCING MATERIALS SEE SPECIFICATIONS.

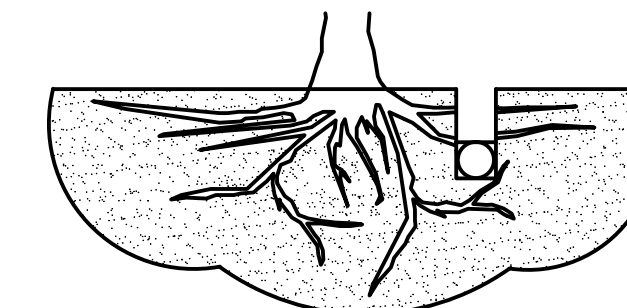
B TREE PROTECTION FENCE - TIGHT CONSTRUCTION
SCALE: NOT TO SCALE

TREES THAT ARE MARKED TO BE PRESERVED ON A SITE PLAN AND FOR WHICH UTILITIES MUST PASS THROUGH THEIR ROOT PROTECTION ZONES MAY REQUIRE TUNNELING AS OPPOSED TO OPEN TRENCHES. THE DECISION TO TUNNEL WILL BE DETERMINED ON A CASE BY CASE BASIS BY THE ENGINEER.

TUNNELS SHALL BE DUG THROUGH THE ROOT PROTECTION ZONE IN ORDER TO MINIMIZE ROOT DAMAGE.



TUNNEL TO MINIMIZE ROOT DAMAGE (TOP) AS OPPOSED TO SURFACE-DUG TRENCHES IN ROOT PROTECTION ZONE WHEN THE 5' MINIMUM DISTANCE FROM TRUNK CAN NOT BE ACHIEVED.



OPEN TRENCHING MAY BE USED IF EXPOSED TREE ROOTS DO NOT EXCEED 3" OR ROOTS CAN BE BENT BACK.

C BORING THROUGH ROOT PROTECTION ZONE
SCALE: NOT TO SCALE

TREE PROTECTION GENERAL NOTES

- PRIOR TO THE LAND CLEARING STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL CLEARLY MARK ALL PROTECTED TREES FOR WHICH A TREE REMOVAL PERMIT HAS NOT BEEN ISSUED AND SHALL ERECT BARRIERS FOR THE PROTECTION OF THE TREES ACCORDING TO THE FOLLOWING:
 - AROUND AN AREA AT OR GREATER THAN A SIX-FOOT RADIUS OF ALL SPECIES OF MANGROVES AND PROTECTED CABBAGE PALMS.
 - AROUND AN AREA AT OR GREATER THAN THE FULL DRIPLINE OF ALL PROTECTED NATIVE PINES.
 - AROUND AN AREA AT OR GREATER THAN TWO-THIRDS OF THE DRIPLINE OF ALL OTHER PROTECTED SPECIES.
- NO PERSON SHALL ATTACH ANY SIGN, NOTICE OR OTHER OBJECT TO ANY PROTECTED TREE OR FASTEN ANY WIRES, CABLES, NAILS OR SCREWS TO ANY PROTECTED TREE IN ANY MANNER THAT COULD PROVE HARMFUL TO THE PROTECTED TREE, EXCEPT AS NECESSARY IN CONJUNCTION WITH ACTIVITIES IN THE PUBLIC INTEREST.
- DURING THE CONSTRUCTION STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT THE CLEANING OF EQUIPMENT OR MATERIAL WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OR ON THE NEARBY GROUND OF ANY TREE OR GROUP OF TREES WHICH IS TO BE PRESERVED. WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OF ANY TREE OR ON NEARBY GROUND, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT STORAGE OF BUILDING MATERIAL AND/OR EQUIPMENT, OR DISPOSAL OF WASTE MATERIAL SUCH AS PAINTS, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF THE TREE.
- NO PERSON SHALL PERMIT ANY UNNECESSARY FIRE OR BURNING WITHIN 30 FEET OF THE DRIPLINE OF A PROTECTED TREE.
- ANY LANDSCAPING ACTIVITIES WITHIN THE BARRIER AREA SHALL BE ACCOMPLISHED WITH HAND LABOR.
- PRIOR TO ISSUING A CERTIFICATE OF OCCUPANCY OR COMPLIANCE FOR ANY DEVELOPMENT, BUILDING OR STRUCTURE, ALL TREES DESIGNATED TO BE PRESERVED THAT WERE DESTROYED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR WITH TREES OF EQUIVALENT DIAMETER AT BREAST HEIGHT TREE CALIPER AND OF THE SAME SPECIES AS SPECIFIED BY THE CITY ADMINISTRATOR, BEFORE OCCUPANCY OR USE, UNLESS APPROVAL FOR THEIR REMOVAL HAS BEEN GRANTED UNDER PERMIT.
- THE CITY ADMINISTRATOR MAY CONDUCT PERIODIC INSPECTIONS OF THE SITE DURING LAND CLEARANCE AND CONSTRUCTION.
- IF, IN THE OPINION OF THE CITY ADMINISTRATOR, DEVELOPMENT ACTIVITIES WILL SO SEVERELY STRESS SLASH PINES OR ANY OTHER PROTECTED TREE SUCH THAT THEY ARE MADE SUSCEPTIBLE TO INSECT ATTACK, PREVENTATIVE SPRAYING OF THESE TREES BY THE CONTRACTOR MAY BE REQUIRED.

DUWEST ROCKWALL, TX

LEGAL DESCRIPTION AND OR ADDRESS:

STONE CREEK BALANCE LTD
ABSTRACT, NO 131
8.684 AC (378,275 SF)

OWNER:

DuWEST REALTY, LLC
4403 N.CENTRAL EXWAY SUITE #200
DALLAS, TX 75025
CONTACT: BOWEN HENDRIX
PH: 214.918.1804

APPLICANT:

CLAYMOORE ENGINEERING, INC.
1903 CENTRAL DRIVE, SUITE #406
BEDFORD, TX 76021
CONTACT: DREW DONOSKY
PH: 817.281.0572

CASE NUMBER

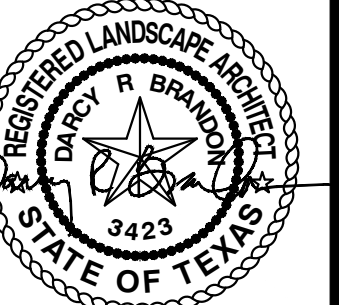
Z2022-003

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____.

WITNESS OUR HANDS THIS _____ DAY OF _____.

PLANNING AND ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING



10/13/2022

DUWEST ROCKWALL
SH 205 & QUAIL RUN RD
ROCKWALL, TX



TREESCAPE
DETAILS &
SPECIFICATIONS

DESIGN: LRR
DRAWN: LRR
CHECKED: CLC
DATE: 10/13/2022

SHEET

TD-3

File No. 2022-002
CASE # SP2022-042

PLOTTED BY: DARCY BRANDON
 PLOT DATE: 10/13/2022 3:13 PM
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 LAST SAVED: 10/13/2022 3:10 PM



BANNISTER ENGINEERING

FLOOD STUDY

FOR

**Stone Creek Retail
Located in Rockwall
Rockwall County, Texas
OF
Tributary D of Squabble Creek**

PREPARED FOR:

DuWest

4403 N. Central Expressway, Suite 200
Dallas, TX 75205

PREPARED BY:

Bannister Engineering, LLC

TX Firm No. 10599
240 N. Mitchel Road
Mansfield, Texas 76063
Phone (817) 842-2094
Fax (817) 842-2095

Date: March 15, 2022



Michael J. Moore

3-15-2022

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1. INTRODUCTION

The proposed commercial development is about 8.6 acres located near the northeast corner of North Goliad Street and East Quail Run Road in the City of Rockwall in Rockwall County, Texas. See the Location Map (Exhibit 1).

Squabble Creek Tributary D runs from east to west through the site. A LOMR was done in August 29, 2014. The LOMR is shown on the Effective FIRM panel dated 9-26-2008 (48397C0030L) is included as Exhibit 2.

The purpose of this submittal is to provide sufficient documentation in accordance with sound engineering standards and practices to demonstrate that the development will not cause any adverse impact in accordance to the City's Squabble Creek Watershed ordinance.

2. HYDROLOGY

2.1. Methodology

The following information about hydrology is not intended to revise discharges used in stream modeling by FEMA. The intent is to demonstrate the development's impact on hydrology. The Squabble Creek Watershed hydrology model and GIS files were provided by the City. The model provided was HEC-HMS V4.2.1. Discrepancies in the drainage boundaries were discovered in and near the site. The drainage boundary east of the site did not match the drainage pattern around the fire station. Also, the drainage boundary did not match the drainage pattern along East Quail Run Road. The hydrology model had the CN for "SQ036" at a developed rate. The drainage areas and CN's were recalculated for the impacted drainage areas "SQ012", "SQ015b", "SQ034e", "SQ034f", and "SQ036". The time of concentration was recalculated for subbasin "SQ036". This is the basis for the pre-project hydrology model. This study will compare the results from the effective/revised existing hydrology to the pre-project and the post-project hydrology. The comparison uses design points from upstream of the site to the very downstream end of the model at Lake Ray Hubbard. This study uses the same HEC-HMS version for consistency. It was not updated to the latest HEC-HMS version. The 5-year (20% annual chance), 10-year (10% annual chance), 25-year (4% annual chance), 50-year (2% annual chance), and 100-year (1% annual chance) conditions were modeled. The post-project 100-year fully developed conditions were modeled to determine fill elevations to provide the required 2' of freeboard. The HEC-HMS files are located on the CD.

2.2. Drainage Basin Characteristics

The drainage basin of Squabble Creek Tributary D at the site (North Goliad Street) is about 135.3 acres. The site is 6% of the contributing area. Normally, this location would be the end of the analysis because the limit of the zone of influence is at the point where the contributing area is less than 10% of the overall area. The Squabble Creek Watershed ordinance requires the analysis to be reviewed all the way to Lake Ray Hubbard. All drainage areas upstream of the site are fully developed. The drainage boundaries mentioned previously were corrected for subbasins "SQ012", "SQ015b", "SQ034e", "SQ034f", and "SQ036". These subbasins are shown on the Pre-Project Drainage Area Map Exhibit 6. The areas and CN's were recalculated. In the proposed conditions the drainage boundary for subbasin "SQ034f" was revised. A land use map is shown on Exhibit 8. The runoff Curve Numbers (CN) were obtained from the City of Rockwall's drainage manual. The CN's were adjusted to conform to AMC-3. The hydrologic soil groups in the drainage

area are mostly D soils with some B soils. A soils map is shown on Exhibit 8. The existing hydrology calculations are shown on Exhibit 7.

The proposed drainage areas were revised by directing 1.72 acres of subbasin "SQ036" to the existing detention pond. The existing detention pond will be expanded which will capture 0.47 acres from subbasin "SQ034f". These two revisions increased subbasin "SQ034e" by 2.19 acres. The proposed drainage area map is included as Exhibit 9. A proposed land use and soils map is shown on Exhibit 11.

2.3. Time of Concentration

The Time of Concentration (T_c) was recalculated for "SQ034e", "SQ034f", and for "SQ036", which contains the site. T_c was calculated based on methods outlined in the NCTCOG hydrology manual. The four types of flows that were used in calculating T_c was sheet flow, shallow concentrated flow, pipe flow, and channel flow. The T_c was located where the highest T_c was generated. The T_c paths are shown on Exhibit 6. The formula to calculate T_c for sheet flow uses runoff coefficients for land use. A maximum distance of 100' was used for sheet flow. The formula for calculating average velocity for shallow concentrated flow uses a coefficient of 16.13 for unpaved and 20.33 for paved conditions. Channel flow was estimated at 6 ft/sec. The SCS Unit Hydrograph method requires a Lag Time (T_{lag}). T_{lag} is 60% of T_c . The existing T_c calculation is shown on Exhibit 7.

The existing T_c that travels through the site was modified for conceptual proposed conditions. The travel path, inlet location, and storm pipe location were assumed. The calculation is shown on Exhibit 10.

2.4. Storm Characteristics

This element of the hydrology modeling was not revised from the original method.

2.5. Stream Routing

There are two stream routings that were revised based on the update made to the HEC-RAS model. Reaches "R_SQ015e" and "R_SQ015f". The routing method for these is "Modified Puls". This method requires a floodplain storage-discharge relationship. This is created with the HEC-RAS model. The tables for these two routings are shown on Exhibit 7. The HEC-RAS model is included on the CD.

The development fills a portion of the floodplain. As a result, it decreases floodplain storage. Excavation within the floodplain helps to offset the loss. The routings for reaches "R_SQ015e" and "R_SQ015f" were updated based on the proposed grading within the floodplain. The tables for these two routings are shown on Exhibit 10. The HEC-RAS model is included on the CD.

2.6. Detention

There are numerous detention structures modeled in the hydrology for the Squabble Creek watershed. The Stone Creek Phase 7 subdivision built a large detention pond ("Stone Creek Phase 7") near the site. The existing berm is about 9 feet tall. It has a maximum volume of 22.15 acre-feet at the top of the berm. This detention pond will be expanded for the proposed development. The modeling of the existing pond was reviewed. It was determined that the volume of the pond needed to be more accurately measured. The elevation-area table was developed from the construction plans of the pond. The calculation is shown on Exhibit 7. The applicable sheet is included on the CD. The pond

volume calculations were not found. The calculation was recreated by tracing contours from the grading plan.

The development is including the expansion of the existing detention pond to help offset negative impacts. The expansion will increase the volume to 24.42 acre-ft. The height of the existing berm will not be increased. Even though the height of the dam is above the 6-foot threshold for dam regulation, the volume is below the 50 acre-ft threshold for dam regulation. An emergency spillway will be added to the berm at 500.0. The outlet structure is to remain the same. A basic grading plan is included as Exhibit 20. More detailed information for the grading and the detention pond will be shown on the civil plans. Table 1 shows the results of the proposed detention pond which demonstrates a freeboard in excess of 2 feet as measured from the top of the berm.

TABLE 1

PROPOSED DETENTION POND SUMMARY

Storm Event	Discharge In	Top of Berm	Max. Storage	Discharge Out	Peak Elevation	Utilized Storage	Freeboard
	(cfs)		(ac.ft.)	(cfs)		(ac.ft.)	(ft)
100-YEAR	419.8	502	24.42	127.9	499.66	15.21	2.34
25-YEAR	327.8	502	24.42	70.2	498.83	12.21	3.17
10-YEAR	278.9	502	24.42	64.8	498.15	9.87	3.85
5-YEAR	230.3	502	24.42	58.8	497.47	7.62	4.53

2.7.Results

Table 2 demonstrates the results of the revisions made to the MDS hydrology model by the pre-project model. Tributary D had a maximum increase of 11.0 cfs (2.3%). The maximum decrease in Tributary D is 2.1 cfs (0.1%). There were no increases in Squabble creek. Squabble Creek had a maximum decrease of 9.0 cfs (0.3%)

TABLE 2
MDS/PRE-PROJECT 100-YEAR DISCHARGE SUMMARY

MDS		PRE-PROJECT		DIFFERENCE
DESIGN POINT	DISCHARGE	DESIGN POINT	DISCHARGE	
	(cfs)		(cfs)	(cfs)
SQ012	169.0	SQ012	164.3	-4.7
SQ015b	35.2	SQ015b	34.5	-0.7
SQ034a	203.9	SQ034a	203.9	0.0
SQ034b	236.7	SQ034b	236.7	0.0
SQ034c	83.9	SQ034c	83.9	0.0
SQ034d	103.9	SQ034d	103.9	0.0
SQ034e	380.9	SQ034e	403.8	22.9
SQ034f	67.8	SQ034f	52.9	-14.9
SQ034g	92.4	SQ034g	92.4	0.0
SQ036	86.4	SQ036	77.8	-8.6
Stone Creek Phase 7	130.3	Stone Creek Phase 7	136.3	6.0
J_SQ008	509.7	J_SQ008	508.9	-0.8
J_SQ009	531.5	J_SQ009	530.7	-0.8
J_SQ010	1125.5	J_SQ010	1125.2	-0.3
J_SQ021	2377.7	J_SQ021	2376.1	-1.6
J_SQ023	2429.2	J_SQ023	2427.6	-1.6
J_SQ024	2425.0	J_SQ024	2423.0	-2.0
J_SQ025	2680.3	J_SQ025	2678.2	-2.1
J_SQ026c	447.8	J_SQ026c	447.8	0.0
J_SQ026d	475.0	J_SQ026d	486.0	11.0
J_SQ026e	474.1	J_SQ026e	477.9	3.8
J_SQ026f	472.4	J_SQ026f	477.1	4.7
J_SQ026g	431.5	J_SQ026g	430.7	-0.8
J_SQ027	436.5	J_SQ027	435.4	-1.1
J_SQ029	595.5	J_SQ029	594.4	-1.1
J_SQ030	3206.7	J_SQ030	3206.1	-0.6
J_SQ031	2776.8	J_SQ031	2770.9	-5.9
J_SQ034	3032.3	J_SQ034	3023.6	-8.7
J_SQ035	2999.3	J_SQ035	2992.0	-7.3
J_SQ037	3006.3	J_SQ037	2997.4	-8.9
J_SQ039	3080.6	J_SQ039	3071.6	-9.0
J_SQ040	3188.2	J_SQ040	3185.4	-2.8
J_SQ041	3529.5	J_SQ041	3525.4	-4.1

Initially, the development had a negative impact on discharges. About 95% of the impact is due to filling within the floodplain thereby reducing floodplain storage. Two actions were

done to reverse the negative impacts. One action that was done was to expand the existing Stone Creek Phase 7 detention pond and diverting 1.72 acres from the site to the pond. The second action that was done was to excavate within the floodplain to increase floodplain storage. The results are shown on Table 3. There is an increase in flow of 16.0 cfs from subbasin "SQ034e" which drains to the Stone Creek Phase 7 detention pond, but the detention pond reduces the discharge by 8.4 cfs (6.2%) compared to the pre-project conditions. Subbasin "SQ036" which contains the site has a decrease in discharge of 6.1 cfs but at the point where flows are joined in Tributary D and leaves the property ("J_SQ026g") the discharge is reduced by 7.4 cfs (1.7%). Tributary D had a maximum decrease of 11.4 cfs (2.3%). There are no increases in discharge in Tributary D. The greatest reduction in discharge in Squabble Creek is 19.8 cfs (0.6%). There are no increases in discharge in Squabble Creek. See Exhibit 10 for detention results.

TABLE 3

PRE-PROJECT/POST-PROJECT 100-YEAR COMPARISON					
PRE-PROJECT		POST-PROJECT			MDS
DESIGN POINT	DISCHARGE	DESIGN POINT	DISCHARGE	DIFFERENCE	DISCHARGE
	(cfs)		(cfs)	(cfs)	
SQ034e	403.8	SQ034e	419.8	16.0	380.9
SQ034f	52.9	SQ034f	49.4	-3.5	67.8
SQ036	77.8	SQ036	71.7	-6.1	86.4
Stone Creek Phase 7	136.3	Stone Creek Phase 7	127.9	-8.4	130.3
J_SQ026d	486.0	J_SQ026d	474.6	-11.4	475.0
J_SQ026e	477.9	J_SQ026e	469.0	-8.9	474.1
J_SQ026f	477.1	J_SQ026f	473.6	-3.5	472.4
J_SQ026g	430.7	J_SQ026g	423.3	-7.4	431.5
J_SQ027	435.4	J_SQ027	428.0	-7.4	436.5
J_SQ029	594.4	J_SQ029	586.9	-7.5	595.5
J_SQ030	3206.1	J_SQ030	3186.3	-19.8	3206.7
J_SQ031	2770.9	J_SQ031	2757.6	-13.3	2776.8
J_SQ034	3023.6	J_SQ034	3010.4	-13.2	3032.3
J_SQ035	2992.0	J_SQ035	2978.7	-13.3	2999.3
J_SQ037	2997.4	J_SQ037	2985.8	-11.6	3006.3
J_SQ039	3071.6	J_SQ039	3060.1	-11.5	3080.6
J_SQ040	3185.4	J_SQ040	3185.4	0.0	3188.2
J_SQ041	3525.4	J_SQ041	3525.4	0.0	3529.5

Table 4 shows the comparison between Stone Creek Phase 7 hydrology and the post-project hydrology.

TABLE 4

STONE CREEK PH 7		POST-PROJECT		
DESIGN POINT	DISCHARGE	DESIGN POINT	DISCHARGE	DIFFERENCE
	(cfs)		(cfs)	(cfs)
Subbasin 6	396.7	SQ034e	419.8	23.1
Subbasin 8	71.0	SQ034f	49.4	-21.6
Subbasin 7	89.8	SQ036	71.7	-18.1
Reservoir-2 FD	131.8	Stone Creek Phase 7	127.9	-3.9
Junction 2A	478.4	J_SQ026d	474.6	-3.8
Junction 3	477.5	J_SQ026e	469.0	-8.5
Junction 4	475.5	J_SQ026f	473.6	-1.9
Junction 5	433.0	J_SQ026g	423.3	-9.7

3. HYDRAULICS

3.1. Effective Model

The FEMA effective hydraulic model was requested from FEMA. The model is HEC-RAS 4.1.0 from the Stone Creek Phase 4 LOMR dated 8-29-2014. The FEMA 100-year water surface elevations are shown on Table 5. The effective 100-year floodplain and cross sections are shown on Exhibit 12. The output is included as Exhibit 4. The stream profile is included as Exhibit 5. The HEC-RAS model is found on the CD. The plan name is "Effective".

The MDS hydraulic model from the Master Drainage Study was obtained from the City. The version used was 5.0.7. The basis of the model is the Stone Creek Phase 4 LOMR. The City has maintained and updated the model separately from FEMA's model. As a result, certain areas are more up-to-date. This model will not be sent to FEMA for their review as it would entail revisions well beyond the impact of the development. The MDS 100-year water surface elevations are shown on Table 6. The HEC-RAS model is found on the CD. The plan name is "Revised Existing".

3.2. Pre-Project Model

The FEMA effective model was revised and ran with the same HEC-RAS version to eliminate any differences of results between versions. The plan name is "Pre-Project".

The entire property was surveyed by Corwin Engineering in 2016 for topography which includes the channel. Bannister Engineering surveyed sections at the channel in August 2021. Cross sections 1202 to 1622 were updated with the survey. Ineffective flow limits were added to the upstream side of North Goliad Street at cross section 1202. No other revisions were made to the modeling of North Goliad Street. Cross section 1538 was removed and was replaced with cross sections 1513 and 1563. The n-values were not revised. The pre-project 100-year floodplain was mapped and shown on Exhibit 12. The maximum increase was 0.06 feet located just upstream of the site. The maximum decrease was 0.01 feet located on the upstream side of North Goliad Street.

The MDS model was revised and ran with the same HEC-RAS version to eliminate any differenced of results between versions. The 100-year (1% annual chance) fully developed discharges were used in the model. The plan name is “Pre-Project”.

The same revisions that were done to the FEMA effective model was done to the MDS model. Plus, corrections were made to North Goliad Street. The downstream side had been updated from the FEMA model which introduced some errors that the FEMA model does not have. The stationing of the weir no longer matched the stationing of cross section 1076. The stationing of the downstream weir was adjusted to be consistent with the upstream weir. The downstream culvert stationing was adjusted so that it is now located within the channel. The distance from the “deck” to the upstream cross section was corrected. Discharges were updated based on the results of the pre-project hydrology model. The discharges for the entire hydraulic model was reviewed and revised where deemed appropriate. The pre-project drainage area map shows the discharge locations that were applied to the hydraulic model. The MDS pre-project 100-year floodplain was mapped and shown on Exhibit 12. The maximum increase was 0.35 feet located on the upstream side of Pecan Valley Drive. This was due to correcting the discharge. The maximum decrease was 0.27 feet located upstream of Harvard Drive. This was due to correcting the discharge. The plan name is “Pre-Project”.

The FEMA and MDS 100-year water surface elevations are shown on Table 5 and Table 6, respectively. The location of the cross sections are shown on Exhibit 12. The output is included as Exhibit 13. The stream profile and cross sections are included as Exhibit 14 and Exhibit 15, respectively.

3.3.Post-Project Model

The pre-project FEMA model and pre-project MDS model was modified in the same way with the exception to discharges to create the post-project model. The proposed changes to the model are as follows:

- Fill was added to cross sections 1202 to 1622. The n-value for the fill slope was changed to 0.045.
- An excavated area was added to cross sections 1422 to 1622. The purpose of this is for creating additional floodplain storage to help offset the reduction in floodplain storage caused by the fill.
- MDS only: The hydrology was updated for post-project conditions.

The post-project FEMA model showed no increases in the water surface elevations compared to the pre-project FEMA model. The maximum decrease is 0.03 feet. The plan name is “Post-Project”.

The MDS post-project model showed a maximum increase was 0.02 feet located at cross section 2028. This is due to the reduction of discharge at a cross section with a depressed water surface elevation. The plan name is “Post-Project”.

The FEMA and MDS 100-year water surface elevations are shown on Table 5 and Table 6, respectively. The modifications, location of the cross sections, and the FEMA and MDS proposed floodplains are shown on Exhibit 16. The output is included as Exhibit 17. The stream profile is included as Exhibit 18. The cross sections are included as Exhibit 19.

The Erosion Hazard Setback is a requirement within the City. In general, it is determined by locating the toe of the channel and extending a line up at a slope of 4:1 until it daylight, plus

15 feet beyond. In this situation, there is not a well defined channel. As a result, the toe of the channel is not apparent on some of the cross sections. In this situation, the 4:1 slope is extended up from the flow line until it intersects with the fully developed 100-year floodplain. The drainage easement that contains the Erosion Hazard Setback was determined by offsetting the previously mentioned floodplain by 10 feet. This was all done in accordance to "Scenario 2 (Erosion Hazard Setback within Floodplain)" that is found in the Standards of Design and Construction for the City of Rockwall dated October 2019. The Erosion Hazard Setback and Drainage Easement are shown on Exhibits 16 and 20. The development of these are graphically shown on the Post-Project Cross Section, Exhibit 19.

3.4.Results

The hydraulic modeling results shown in Table 6 show a rise in water surface elevation at cross section 2028. The 0.02' rise is within the HOA lot. Fill elevations and finished floor elevations will be based on the proposed 100-year water surface elevations which uses fully developed discharges.

4. CONCLUSION

This study shows that this project will increase the 100-year water surface elevation which is located on the HOA lot. Permission can be obtained for this rise. Permissions will be obtained for offsite grading. We do not believe this project will hinder any potential development on properties adjacent to this development or downstream of the project.

The minimum fill elevations shall be 2 foot above the 100-year water surface elevations. The minimum finished floor elevations shall be a minimum 2' above the 100-year water surface elevations.

When there is sufficient grading completed a LOMR can be provided using FEMA's effective model.

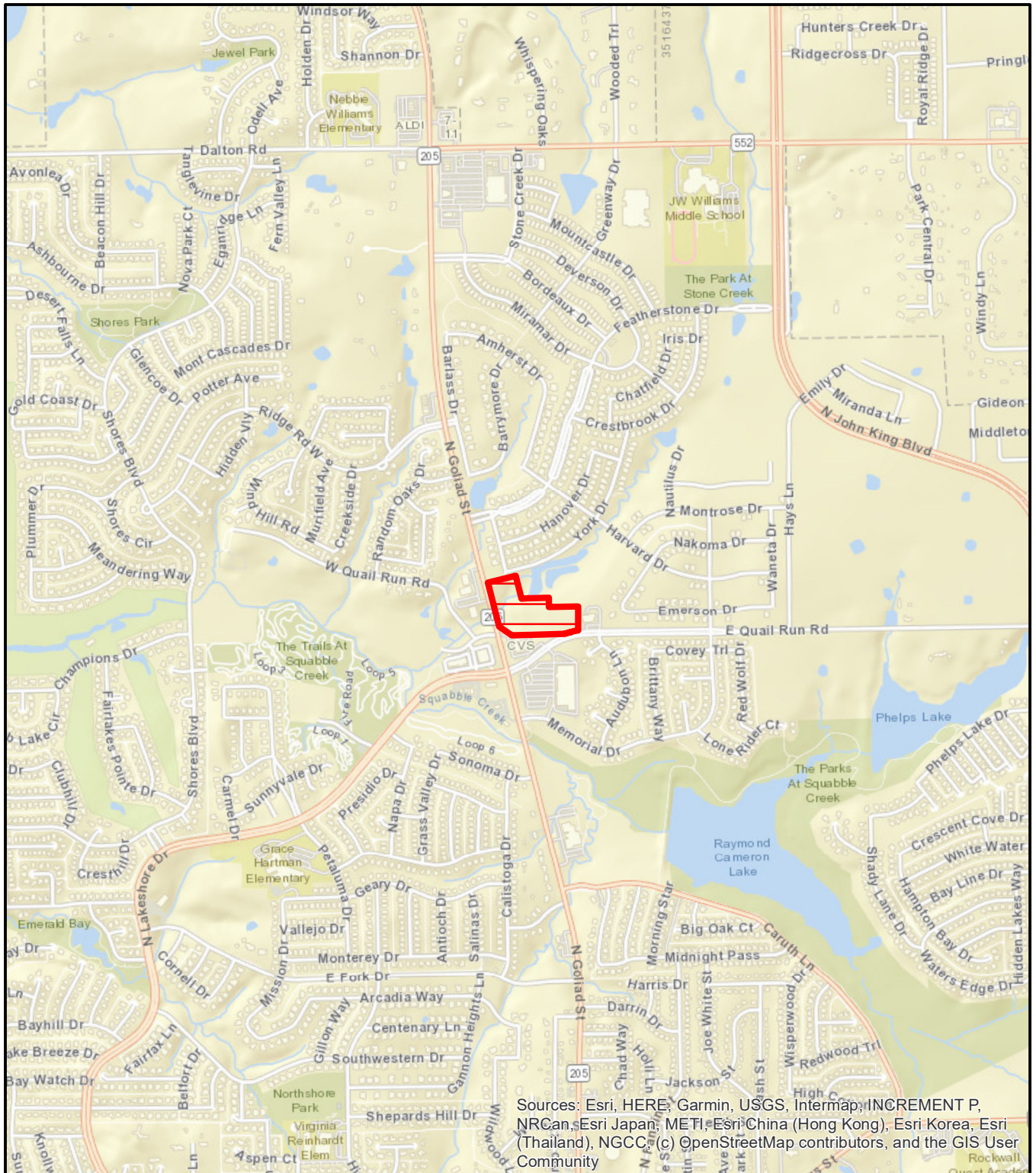
TABLE 5

FEMA WATER SURFACE COMPARISON							
Effective		Pre-Project			Post-Project		
STATION	W.S. Elev.	STATION	W.S. Elev.	Difference	STATION	W.S. Elev.	Difference
1973	492.07	1973	492.07	0.00	1973	492.07	0.00
1917	491.74	1917	491.74	0.00	1917	491.74	0.00
1716	480.54	1716	480.60	0.06	1716	480.60	0.00
SITE							
1622	480.38	1622	480.38	0.00	1622	480.35	-0.03
		1563	480.36		1563	480.34	-0.02
1538	480.35						
		1513	480.35		1513	480.34	-0.01
1422	480.32	1422	480.33	0.01	1422	480.33	0.00
					1328	480.33	
1284	480.32	1284	480.32	0.00	1284	480.32	0.00
1202	480.31	1202	480.30	-0.01	1202	480.30	0.00
SITE							
N. Goliad St							
1076	474.20	1076	474.20	0.00	1076	474.20	0.00
1026	471.40	1026	471.40	0.00	1026	471.40	0.00

TABLE 6


MDS WATER SURFACE COMPARISON

Effective			Pre-Project				Post-Project			
STATION	Q	W.S. Elev.	STATION	Q	W.S. Elev.	Difference	STATION	Q	W.S. Elev.	Difference
4830	441	521.17	4830	441	521.17	0.00	4830	441	521.17	0.00
4587	441	519.73	4587	441	519.73	0.00	4587	441	519.73	0.00
4437	386	519.73	4437	378	519.73	0.00	4437	378	519.73	0.00
Pond Culvert										
4291	386	513.12	4291	378	513.11	-0.01	4291	378	513.11	0.00
4188	386	511.11	4188	378	511.11	0.00	4188	378	511.11	0.00
3967	386	505.62	3967	378	505.59	-0.03	3967	378	505.59	0.00
3831	386	503.30	3831	378	503.29	-0.01	3831	378	503.29	0.00
3669	386	501.84	3669	386	501.84	0.00	3669	386	501.84	0.00
3525	386	500.23	3525	386	500.08	-0.15	3525	386	500.08	0.00
3310	448	498.42	3310	386	498.15	-0.27	3310	386	498.15	0.00
3134	448	496.63	3134	386	496.48	-0.15	3134	386	496.48	0.00
2997	475	494.51	2997	448	494.40	-0.11	2997	448	494.40	0.00
Harvard Dr										
2917	475	493.61	2917	448	493.56	-0.05	2917	448	493.56	0.00
2800	475	493.55	2800	448	493.54	-0.01	2800	448	493.51	-0.03
2677	475	493.09	2677	448	493.16	0.07	2677	448	493.11	-0.05
2550	475	493.09	2550	448	493.16	0.07	2550	448	493.10	-0.06
2396	472	493.04	2396	486	493.11	0.07	2396	475	493.06	-0.05
2200	472	492.92	2200	486	492.99	0.07	2200	475	492.94	-0.05
2028	472	491.59	2028	486	491.55	-0.04	2028	475	491.57	0.02
1973	472	492.06	1973	486	492.06	0.00	1973	475	492.05	-0.01
1917	472	491.74	1917	478	491.74	0.00	1917	469	491.74	0.00
1716	472	480.56	1716	478	480.55	-0.01	1716	469	480.42	-0.13
SITE										
1622	432	480.42	1622	477	480.26	-0.16	1622	474	480.01	-0.25
			1563	477	480.24		1563	474	480.00	-0.24
1538	432	480.38								
			1513	477	480.22		1513	474	479.99	-0.23
1422	432	480.36	1422	477	480.20	-0.16	1422	474	479.98	-0.22
							1328	474	479.97	
1284	432	480.35	1284	477	480.19	-0.16	1284	474	479.97	-0.22
1202	437	480.35	1202	431	480.16	-0.19	1202	423	479.94	-0.22
SITE										
N. Goliad St										
1076	437	474.19	1076	431	474.14	-0.05	1076	423	474.08	-0.06
1026	437	471.30	1026	431	471.28	-0.02	1026	423	471.25	-0.03
981	437	470.98	981	431	470.96	-0.02	981	423	470.93	-0.03
918	437	469.61	918	431	469.58	-0.03	918	423	469.55	-0.03
833	437	467.72	833	435	467.71	-0.01	833	428	467.68	-0.03
W. Quail Run Rd										
802	437	467.67	802	435	467.66	-0.01	802	428	467.64	-0.02
726	437	467.10	726	435	467.09	-0.01	726	428	467.07	-0.02
635	437	465.93	635	435	465.96	0.03	635	428	465.94	-0.02
619	437	465.27	619	435	465.47	0.20	619	428	465.45	-0.02
495	437	461.68	495	594	462.03	0.35	495	587	462.02	-0.01
Pecan Valley Dr										
393	437	461.26	393	594	461.51	0.25	393	587	461.50	-0.01

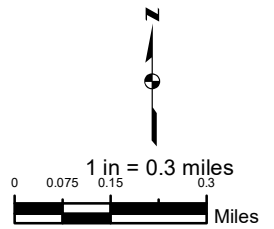


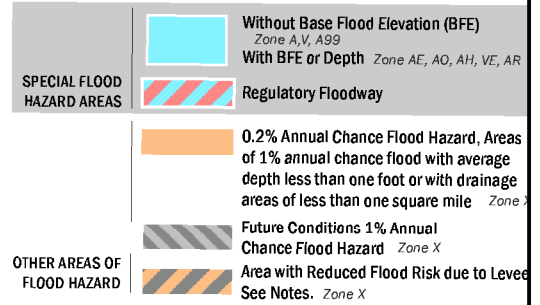
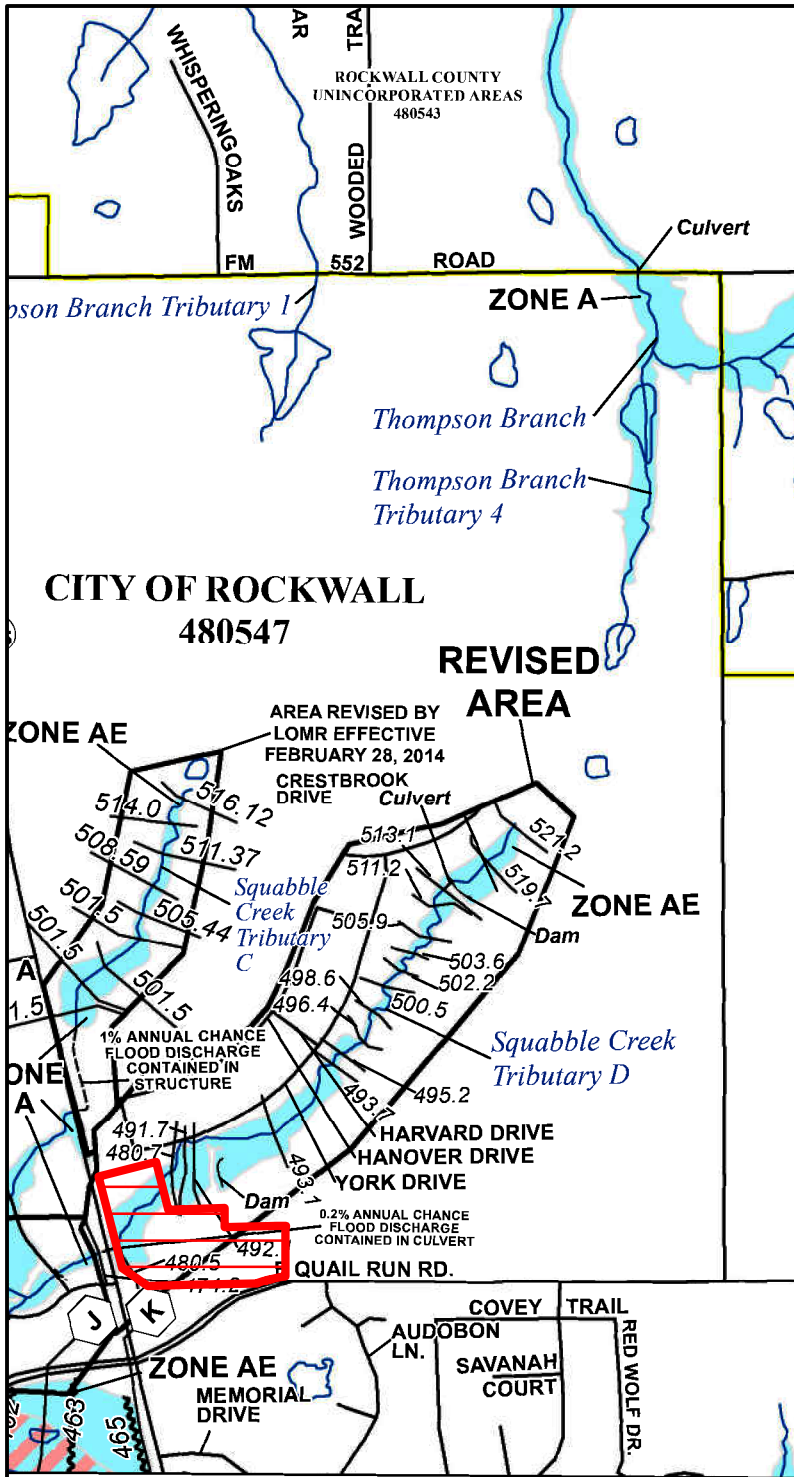
Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User Community

Legend

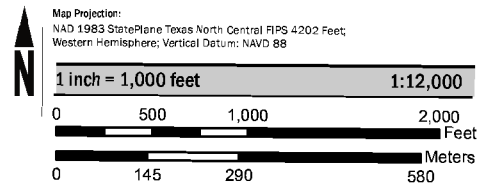
 Site

STONE CREEK RETAIL
BANNISTER
 ENGINEERING





SCALE



NATIONAL FLOOD INSURANCE PROGRAM
FLOOD INSURANCE RATE MAP

ROCKWALL COUNTY, TEXAS AND INCORPORATED AREAS
PANEL **30** OF **145**

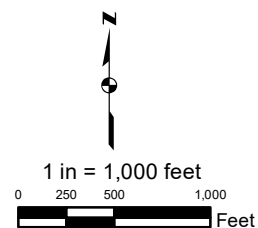
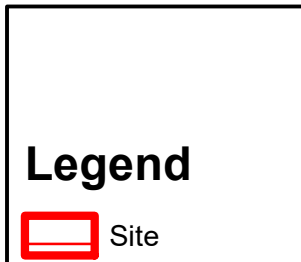


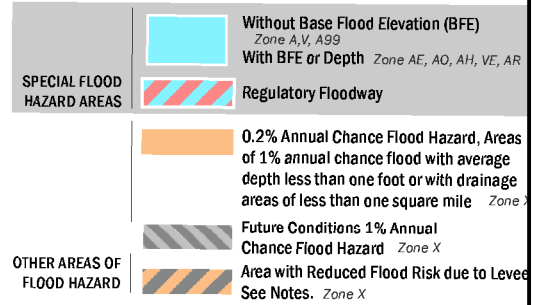
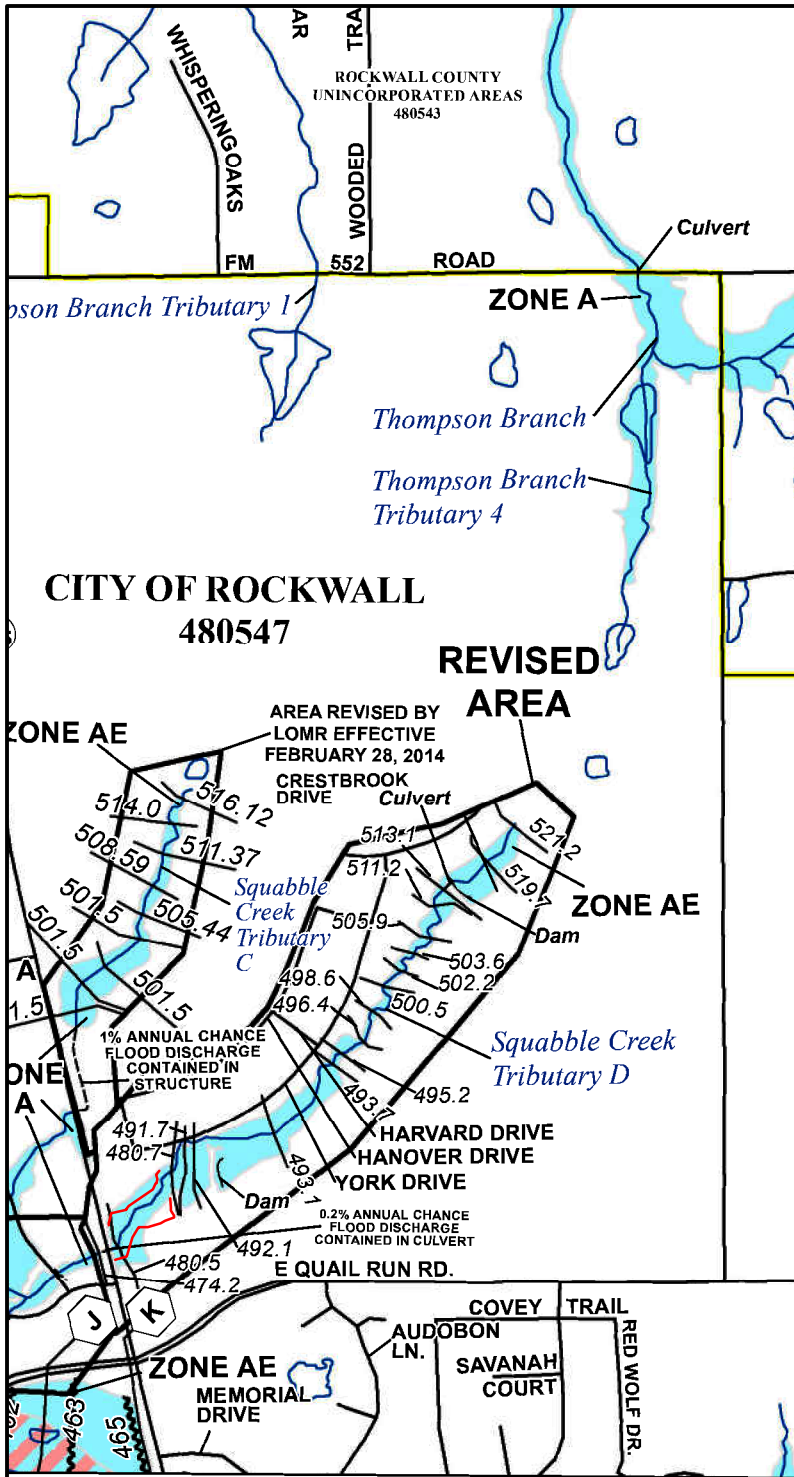
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DALLAS, CITY OF	480171	0030	L
ROCKWALL, CITY OF	480547	0030	L

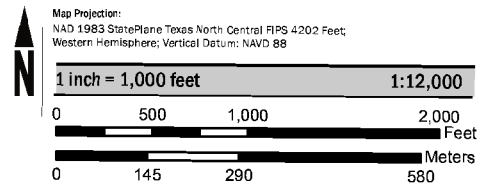
REVISED TO REFLECT LOMR EFFECTIVE: August 29, 2014

VERSION NUMBER 2.3.2.1
MAP NUMBER 48397C0030L
EFFECTIVE DATE September 26, 2008





SCALE



NATIONAL FLOOD INSURANCE PROGRAM
FLOOD INSURANCE RATE MAP

ROCKWALL COUNTY, TEXAS AND INCORPORATED AREAS

PANEL **30** OF **145**

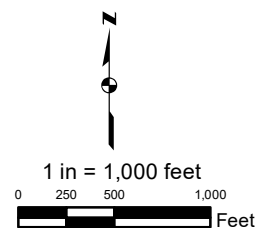


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DALLAS, CITY OF	480171	0030	L
ROCKWALL, CITY OF	480547	0030	L

REVISED TO REFLECT LOMR EFFECTIVE: August 29, 2014

VERSION NUMBER 2.3.2.1
MAP NUMBER 48397C0030L
EFFECTIVE DATE September 26, 2008



HEC-RAS Plan: Post-Project River: RIVER-1 Reach: Reach-1

Reach	River Sta	Profile	Q Total (cfs)	Min Ch El (ft)	W.S. Elev (ft)	Crit W.S. (ft)	E.G. Elev (ft)	E.G. Slope (ft/ft)	Vel Chnl (ft/s)	Flow Area (sq ft)	Top Width (ft)	Froude # Chl
Reach-1	4830	10 Year	282.80	519.35	520.87	520.87	521.29	0.025442	5.22	54.13	65.25	1.01
Reach-1	4830	50 Year	380.30	519.35	521.06	521.06	521.56	0.024427	5.65	67.39	72.18	1.02
Reach-1	4830	100 Year	428.80	519.35	521.15	521.15	521.68	0.023297	5.84	73.74	75.26	1.01
Reach-1	4830	500 Year	532.40	519.35	521.32	521.32	521.92	0.021548	6.21	87.15	81.38	0.99
Reach-1	4587	10 Year	282.80	513.00	518.86		518.87	0.000044	0.69	430.47	117.28	0.06
Reach-1	4587	50 Year	380.30	513.00	519.62		519.63	0.000047	0.78	525.32	135.41	0.06
Reach-1	4587	100 Year	428.80	513.00	519.73		519.74	0.000055	0.86	540.77	138.23	0.06
Reach-1	4587	500 Year	532.40	513.00	519.89		519.91	0.000076	1.03	563.88	142.35	0.08
Reach-1	4437	10 Year	221.00	513.00	518.87	513.47	518.87	0.000005	0.24	926.41	201.01	0.02
Reach-1	4437	50 Year	335.20	513.00	519.62	513.61	519.62	0.000008	0.31	1083.55	217.60	0.02
Reach-1	4437	100 Year	390.40	513.00	519.73	513.68	519.73	0.000010	0.35	1108.31	220.27	0.03
Reach-1	4437	500 Year	493.30	513.00	519.90	513.80	519.90	0.000014	0.43	1145.06	224.17	0.03
Reach-1	4338		Culvert									
Reach-1	4291	10 Year	272.80	510.40	512.89	512.89	513.25	0.028885	5.18	66.91	100.17	0.83
Reach-1	4291	50 Year	409.00	510.40	513.15	513.15	513.54	0.028737	5.59	95.01	113.44	0.84
Reach-1	4291	100 Year	479.10	510.40	513.25	513.25	513.66	0.029747	5.86	105.98	116.21	0.87
Reach-1	4291	500 Year	623.10	510.40	513.41	513.41	513.90	0.032533	6.42	124.98	120.85	0.92
Reach-1	4188	10 Year	272.80	508.32	510.93	510.68	511.05	0.017514	3.45	106.19	127.12	0.47
Reach-1	4188	50 Year	409.00	508.32	511.15	510.83	511.31	0.019117	3.91	134.76	130.67	0.50
Reach-1	4188	100 Year	479.10	508.32	511.24	510.92	511.42	0.020174	4.15	146.88	132.32	0.52
Reach-1	4188	500 Year	623.10	508.32	511.41	511.06	511.63	0.021960	4.57	169.63	135.38	0.55
Reach-1	3967	10 Year	272.80	501.10	505.24	505.24	505.74	0.036683	6.03	55.71	58.76	0.68
Reach-1	3967	50 Year	409.00	501.10	505.69	505.59	506.16	0.031380	6.25	85.16	73.06	0.65
Reach-1	3967	100 Year	479.10	501.10	505.89	505.74	506.34	0.028808	6.26	100.58	79.53	0.63
Reach-1	3967	500 Year	623.10	501.10	506.23		506.67	0.025430	6.31	128.62	85.54	0.60
Reach-1	3831	10 Year	272.80	498.10	502.86		503.01	0.011138	3.28	88.38	45.66	0.38
Reach-1	3831	50 Year	409.00	498.10	503.37		503.57	0.012865	3.81	114.80	55.84	0.41
Reach-1	3831	100 Year	479.10	498.10	503.58		503.81	0.013304	4.07	126.49	58.50	0.43
Reach-1	3831	500 Year	623.10	498.10	503.96		504.24	0.013766	4.51	150.16	63.54	0.44
Reach-1	3669	10 Year	272.80	496.18	501.34		501.49	0.009474	3.50	97.14	66.90	0.36

HEC-RAS Plan: Post-Project River: RIVER-1 Reach: Reach-1 (Continued)

Reach	River Sta	Profile	Q Total	Min Ch El	W.S. Elev	Crit W.S.	E.G. Elev	E.G. Slope	Vel Chnl	Flow Area	Top Width	Froude # Chl
			(cfs)	(ft)	(ft)	(ft)	(ft)	(ft/ft)	(ft/s)	(sq ft)	(ft)	
Reach-1	3669	50 Year	409.00	496.18	501.93		502.08	0.008351	3.54	138.10	71.48	0.34
Reach-1	3669	100 Year	479.10	496.18	502.19		502.34	0.007954	3.61	156.49	74.02	0.34
Reach-1	3669	500 Year	623.10	496.18	502.64		502.81	0.007470	3.79	191.09	78.93	0.34
Reach-1	3525	10 Year	272.80	495.50	499.43		499.78	0.021679	4.75	58.19	30.05	0.56
Reach-1	3525	50 Year	409.00	495.50	500.17		500.57	0.019240	5.14	84.12	40.85	0.54
Reach-1	3525	100 Year	479.10	495.50	500.48		500.89	0.018499	5.30	97.52	46.09	0.54
Reach-1	3525	500 Year	623.10	495.50	501.03		501.46	0.017060	5.51	125.54	55.36	0.53
Reach-1	3310	10 Year	272.80	492.48	497.61		497.71	0.005232	2.53	107.87	42.71	0.28
Reach-1	3310	50 Year	409.00	492.48	498.32		498.46	0.005731	2.91	140.53	49.72	0.30
Reach-1	3310	100 Year	479.10	492.48	498.62		498.77	0.005955	3.09	155.64	53.10	0.31
Reach-1	3310	500 Year	623.10	492.48	499.13		499.31	0.006414	3.42	184.32	59.50	0.33
Reach-1	3134	10 Year	272.80	491.51	495.61		495.98	0.023895	4.98	58.90	36.49	0.58
Reach-1	3134	50 Year	409.00	491.51	496.17		496.61	0.024250	5.57	81.76	45.51	0.60
Reach-1	3134	100 Year	479.10	491.51	496.42		496.88	0.024163	5.79	93.28	49.58	0.60
Reach-1	3134	500 Year	623.10	491.51	496.87		497.37	0.023271	6.08	117.44	57.20	0.60
Reach-1	2997	10 Year	303.70	491.25	494.56		494.64	0.004711	2.37	138.05	74.88	0.27
Reach-1	2997	50 Year	452.40	491.25	495.04		495.14	0.005251	2.81	174.98	81.53	0.29
Reach-1	2997	100 Year	530.10	491.25	495.24		495.37	0.005483	3.01	192.10	84.62	0.30
Reach-1	2997	500 Year	691.20	491.25	495.56		495.72	0.006290	3.44	220.04	89.43	0.33
Reach-1	2917	10 Year	303.70	491.50	493.20	493.20	493.72	0.062827	6.20	55.28	55.23	0.91
Reach-1	2917	50 Year	452.40	491.50	493.55	493.55	494.16	0.058026	6.86	75.79	63.63	0.90
Reach-1	2917	100 Year	530.10	491.50	493.70	493.70	494.36	0.056110	7.14	86.06	67.44	0.90
Reach-1	2917	500 Year	691.20	491.50	494.20		494.75	0.036216	6.67	122.54	79.52	0.75
Reach-1	2800	10 Year	303.70	490.60	492.98		493.00	0.001201	1.24	250.40	138.69	0.16
Reach-1	2800	50 Year	452.40	490.60	493.42		493.45	0.001325	1.49	312.59	144.40	0.17
Reach-1	2800	100 Year	530.10	490.60	493.65		493.69	0.001313	1.58	347.06	147.47	0.17
Reach-1	2800	500 Year	691.20	490.60	494.14		494.18	0.001236	1.72	419.93	153.76	0.17
Reach-1	2677	10 Year	303.70	490.30	492.21	492.15	492.55	0.032671	5.55	73.29	86.01	0.78
Reach-1	2677	50 Year	452.40	490.30	492.85		493.05	0.013683	4.51	135.96	110.28	0.54
Reach-1	2677	100 Year	530.10	490.30	493.15		493.33	0.009900	4.19	171.01	119.22	0.47
Reach-1	2677	500 Year	691.20	490.30	493.74		493.88	0.005963	3.74	244.98	131.60	0.37

HEC-RAS Plan: Post-Project River: RIVER-1 Reach: Reach-1 (Continued)

Reach	River Sta	Profile	Q Total (cfs)	Min Ch El (ft)	W.S. Elev (ft)	Crit W.S. (ft)	E.G. Elev (ft)	E.G. Slope (ft/ft)	Vel Chnl (ft/s)	Flow Area (sq ft)	Top Width (ft)	Froude # Chl
Reach-1	2550	10 Year	303.70	489.63	492.32		492.34	0.000270	1.16	303.29	144.05	0.13
Reach-1	2550	50 Year	452.40	489.63	492.86		492.89	0.000305	1.39	384.05	155.11	0.14
Reach-1	2550	100 Year	530.10	489.63	493.14		493.17	0.000306	1.48	429.02	161.23	0.14
Reach-1	2550	500 Year	691.20	489.63	493.72		493.75	0.000297	1.61	525.05	174.12	0.14
Reach-1	2396	10 Year	270.70	489.63	492.28		492.30	0.000248	1.05	270.77	124.71	0.12
Reach-1	2396	50 Year	416.40	489.63	492.81		492.84	0.000306	1.31	339.70	134.32	0.14
Reach-1	2396	100 Year	484.70	489.63	493.10		493.13	0.000303	1.38	382.92	227.01	0.14
Reach-1	2396	500 Year	628.80	489.63	493.68		493.71	0.000268	1.45	517.24	237.64	0.13
Reach-1	2200	10 Year	270.70	489.63	492.19		492.23	0.000539	1.49	183.10	82.84	0.17
Reach-1	2200	50 Year	416.40	489.63	492.70		492.75	0.000670	1.87	225.78	86.47	0.20
Reach-1	2200	100 Year	484.70	489.63	492.98		493.04	0.000663	1.97	250.48	88.51	0.20
Reach-1	2200	500 Year	628.80	489.63	493.56		493.63	0.000616	2.11	326.36	240.58	0.20
Reach-1	2028	10 Year	270.70	487.50	491.66		491.96	0.013208	4.35	62.34	28.40	0.52
Reach-1	2028	50 Year	416.40	487.50	491.65		492.35	0.031961	6.74	61.86	28.33	0.80
Reach-1	2028	100 Year	484.70	487.50	491.58	491.54	492.60	0.047555	8.09	59.92	28.06	0.98
Reach-1	2028	500 Year	628.80	487.50	491.96	491.96	493.18	0.049168	8.89	70.78	29.53	1.01
Reach-1	1973	10 Year	270.70	488.58	491.81		491.81	0.000014	0.30	908.58	290.49	0.03
Reach-1	1973	50 Year	416.40	488.58	491.99		491.99	0.000028	0.44	961.51	291.76	0.04
Reach-1	1973	100 Year	484.70	488.58	492.07		492.08	0.000034	0.50	986.86	292.53	0.05
Reach-1	1973	500 Year	628.80	488.58	492.21		492.22	0.000051	0.62	1027.78	293.77	0.06
Reach-1	1917	10 Year	270.70	489.00	491.58	491.58	491.78	0.026535	5.28	98.52	218.46	0.74
Reach-1	1917	50 Year	416.40	489.00	491.72	491.72	491.96	0.029801	5.93	131.47	239.74	0.80
Reach-1	1917	100 Year	484.70	489.00	491.74	491.74	492.04	0.037775	6.71	134.85	241.82	0.90
Reach-1	1917	500 Year	628.80	489.00	491.90	491.90	492.18	0.033371	6.69	177.20	287.74	0.86
Reach-1	1716	10 Year	270.70	478.80	479.89		480.01	0.021283	2.73	99.12	119.64	0.53
Reach-1	1716	50 Year	416.40	478.80	479.89		480.16	0.051125	4.22	98.62	119.47	0.82
Reach-1	1716	100 Year	484.70	478.80	480.54		480.65	0.009738	2.68	183.69	140.09	0.39
Reach-1	1716	500 Year	628.80	478.80	481.81		481.85	0.001752	1.73	383.86	173.48	0.18
Reach-1	1622	10 Year	279.70	476.05	478.09		478.26	0.017709	3.55	93.08	92.02	0.50
Reach-1	1622	50 Year	391.30	476.05	479.28		479.34	0.003122	2.17	216.48	114.51	0.23

HEC-RAS Plan: Post-Project River: RIVER-1 Reach: Reach-1 (Continued)

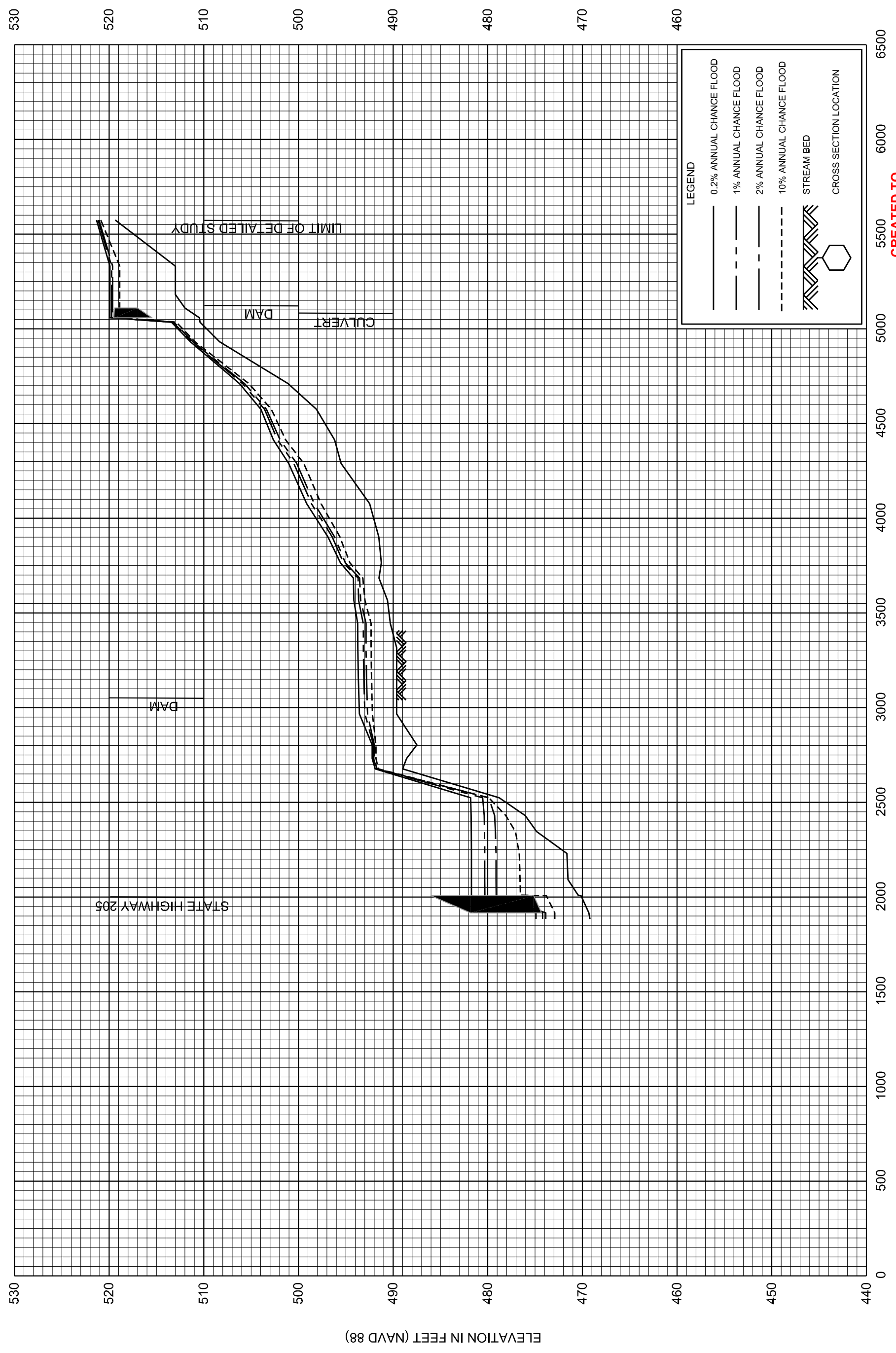
Reach	River Sta	Profile	Q Total (cfs)	Min Ch El (ft)	W.S. Elev (ft)	Crit W.S. (ft)	E.G. Elev (ft)	E.G. Slope (ft/ft)	Vel Chnl (ft/s)	Flow Area (sq ft)	Top Width (ft)	Froude # Chl
Reach-1	1622	100 Year	435.70	476.05	480.38		480.41	0.000947	1.50	353.53	133.91	0.13
Reach-1	1622	500 Year	551.50	476.05	481.76		481.77	0.000428	1.23	554.14	158.60	0.10
Reach-1	1538	10 Year	279.70	474.84	477.08		477.18	0.009658	2.72	110.16	84.08	0.37
Reach-1	1538	50 Year	391.30	474.84	479.19		479.21	0.000823	1.38	332.09	125.80	0.12
Reach-1	1538	100 Year	435.70	474.84	480.35		480.36	0.000348	1.07	493.66	152.35	0.08
Reach-1	1538	500 Year	551.50	474.84	481.74		481.75	0.000198	0.95	727.64	184.29	0.07
Reach-1	1422	10 Year	279.70	471.64	476.67		476.73	0.002026	2.15	169.20	82.82	0.19
Reach-1	1422	50 Year	391.30	471.64	479.13		479.15	0.000345	1.23	443.99	135.35	0.09
Reach-1	1422	100 Year	435.70	471.64	480.32		480.33	0.000178	0.99	617.27	155.40	0.06
Reach-1	1422	500 Year	551.50	471.64	481.72		481.73	0.000119	0.91	849.01	175.48	0.05
Reach-1	1284	10 Year	279.70	471.53	476.59		476.61	0.000450	1.11	331.31	134.93	0.09
Reach-1	1284	50 Year	391.30	471.53	479.12		479.12	0.000102	0.72	760.09	204.11	0.05
Reach-1	1284	100 Year	435.70	471.53	480.32		480.32	0.000057	0.60	1022.94	234.16	0.04
Reach-1	1284	500 Year	551.50	471.53	481.72		481.72	0.000042	0.57	1373.05	265.81	0.03
Reach-1	1202	10 Year	279.70	470.45	476.55	473.53	476.57	0.000355	1.40	341.29	174.16	0.11
Reach-1	1202	50 Year	391.30	470.45	479.11	473.89	479.12	0.000060	0.74	916.62	263.73	0.05
Reach-1	1202	100 Year	435.70	470.45	480.31	474.00	480.32	0.000031	0.59	1250.20	290.97	0.03
Reach-1	1202	500 Year	551.50	470.45	481.72	474.27	481.72	0.000022	0.54	1676.91	318.31	0.03
Reach-1	1119.5		Culvert									
Reach-1	1076	10 Year	282.00	469.20	472.93	472.93	474.78	0.023479	10.91	25.85	87.56	1.00
Reach-1	1076	50 Year	395.80	469.20	473.87	473.87	476.19	0.021797	12.22	32.39	128.13	1.00
Reach-1	1076	100 Year	440.80	469.20	474.20	474.20	476.71	0.021461	12.70	34.72	140.97	1.00
Reach-1	1076	500 Year	555.70	469.20	474.90	474.90	475.09	0.002633	4.85	190.24	165.71	0.36
Reach-1	1026	10 Year	282.00	465.90	471.01		471.06	0.000698	1.99	181.74	85.91	0.17
Reach-1	1026	50 Year	395.80	465.90	471.24		471.32	0.001080	2.56	202.38	93.46	0.22
Reach-1	1026	100 Year	440.80	465.90	471.40		471.49	0.001136	2.69	217.83	98.73	0.22
Reach-1	1026	500 Year	555.70	465.90	471.51		471.65	0.001612	3.26	229.14	102.43	0.27
Reach-1	981	10 Year	282.00	465.70	470.99		471.03	0.000553	1.85	200.66	97.08	0.16
Reach-1	981	50 Year	395.80	465.70	471.20		471.28	0.000872	2.40	222.73	105.91	0.20
Reach-1	981	100 Year	440.80	465.70	471.36		471.44	0.000921	2.52	240.09	112.38	0.20

HEC-RAS Plan: Post-Project River: RIVER-1 Reach: Reach-1 (Continued)

Reach	River Sta	Profile	Q Total	Min Ch El	W.S. Elev	Crit W.S.	E.G. Elev	E.G. Slope	Vel Chnl	Flow Area	Top Width	Froude # Chl
			(cfs)	(ft)	(ft)	(ft)	(ft)	(ft/ft)	(ft/s)	(sq ft)	(ft)	
Reach-1	981	500 Year	555.70	465.70	471.46		471.58	0.001331	3.07	251.04	116.27	0.25
Reach-1	918	10 Year	282.00	465.30	470.98		471.00	0.000248	1.24	310.87	138.11	0.10
Reach-1	918	50 Year	395.80	465.30	471.20		471.23	0.000390	1.61	341.55	145.46	0.13
Reach-1	918	100 Year	440.80	465.30	471.36		471.39	0.000411	1.69	365.21	150.88	0.14
Reach-1	918	500 Year	555.70	465.30	471.45		471.50	0.000595	2.06	379.59	154.08	0.17
Reach-1	833	10 Year	282.00	464.10	470.97	468.82	470.98	0.000154	1.01	445.86	201.91	0.07
Reach-1	833	50 Year	395.80	464.10	471.18	469.99	471.19	0.000276	1.38	489.21	211.73	0.09
Reach-1	833	100 Year	440.80	464.10	471.34	470.27	471.35	0.000286	1.43	523.46	217.95	0.09
Reach-1	833	500 Year	555.70	464.10	471.43	470.27	471.45	0.000414	1.73	542.53	221.34	0.11
Reach-1	817.5		Culvert									
Reach-1	802	10 Year	282.00	463.92	467.34	466.81	467.44	0.005690	3.52	134.62	107.33	0.34
Reach-1	802	50 Year	395.80	463.92	467.74	466.81	467.85	0.005549	3.76	182.16	128.59	0.34
Reach-1	802	100 Year	440.80	463.92	467.88	466.82	467.99	0.005497	3.83	200.36	135.85	0.35
Reach-1	802	500 Year	555.70	463.92	468.18	467.06	468.29	0.005376	3.99	243.25	146.09	0.35
Reach-1	726	10 Year	282.00	463.60	466.81		466.93	0.008483	2.84	107.79	76.39	0.34
Reach-1	726	50 Year	395.80	463.60	467.17		467.32	0.008976	3.24	138.43	91.08	0.36
Reach-1	726	100 Year	440.80	463.60	467.30		467.46	0.009085	3.37	150.37	96.20	0.37
Reach-1	726	500 Year	555.70	463.60	467.56		467.75	0.009732	3.71	176.62	106.60	0.38
Reach-1	635	10 Year	282.00	462.00	464.69	464.69	465.28	0.055775	6.34	49.72	48.27	0.84
Reach-1	635	50 Year	395.80	462.00	465.06	465.06	465.67	0.048502	6.71	69.95	61.60	0.81
Reach-1	635	100 Year	440.80	462.00	465.18	465.18	465.81	0.047404	6.87	77.23	65.74	0.81
Reach-1	635	500 Year	555.70	462.00	465.48	465.45	466.10	0.041128	6.97	99.15	76.87	0.77
Reach-1	619	10 Year	282.00	460.00	464.25		464.55	0.018752	4.45	64.29	35.08	0.50
Reach-1	619	50 Year	395.80	460.00	464.66		465.07	0.020718	5.19	82.06	50.78	0.54
Reach-1	619	100 Year	440.80	460.00	464.80		465.24	0.021169	5.42	89.57	56.11	0.55
Reach-1	619	500 Year	555.70	460.00	465.11		465.61	0.022059	5.90	108.69	67.81	0.57
Reach-1	495	10 Year	282.00	458.30	462.20		462.37	0.016112	3.28	86.59	60.43	0.45
Reach-1	495	50 Year	395.80	458.30	462.56		462.77	0.015970	3.72	111.07	76.60	0.46
Reach-1	495	100 Year	440.80	458.30	462.67		462.90	0.016008	3.87	120.53	82.00	0.47
Reach-1	495	500 Year	555.70	458.30	462.94		463.20	0.016084	4.20	144.27	94.20	0.48

HEC-RAS Plan: Post-Project River: RIVER-1 Reach: Reach-1 (Continued)

Reach	River Sta	Profile	Q Total	Min Ch El	W.S. Elev	Crit W.S.	E.G. Elev	E.G. Slope	Vel Chnl	Flow Area	Top Width	Froude # Chl
			(cfs)	(ft)	(ft)	(ft)	(ft)	(ft/ft)	(ft/s)	(sq ft)	(ft)	
Reach-1	393	10 Year	282.00	456.95	460.91	459.87	461.07	0.010542	3.50	103.01	95.31	0.39
Reach-1	393	50 Year	395.80	456.95	461.17	460.61	461.37	0.012367	4.04	129.30	106.93	0.42
Reach-1	393	100 Year	440.80	456.95	461.26	460.74	461.48	0.012933	4.22	139.10	110.95	0.44
Reach-1	393	500 Year	555.70	456.95	461.45	460.94	461.71	0.014548	4.67	160.99	119.45	0.47



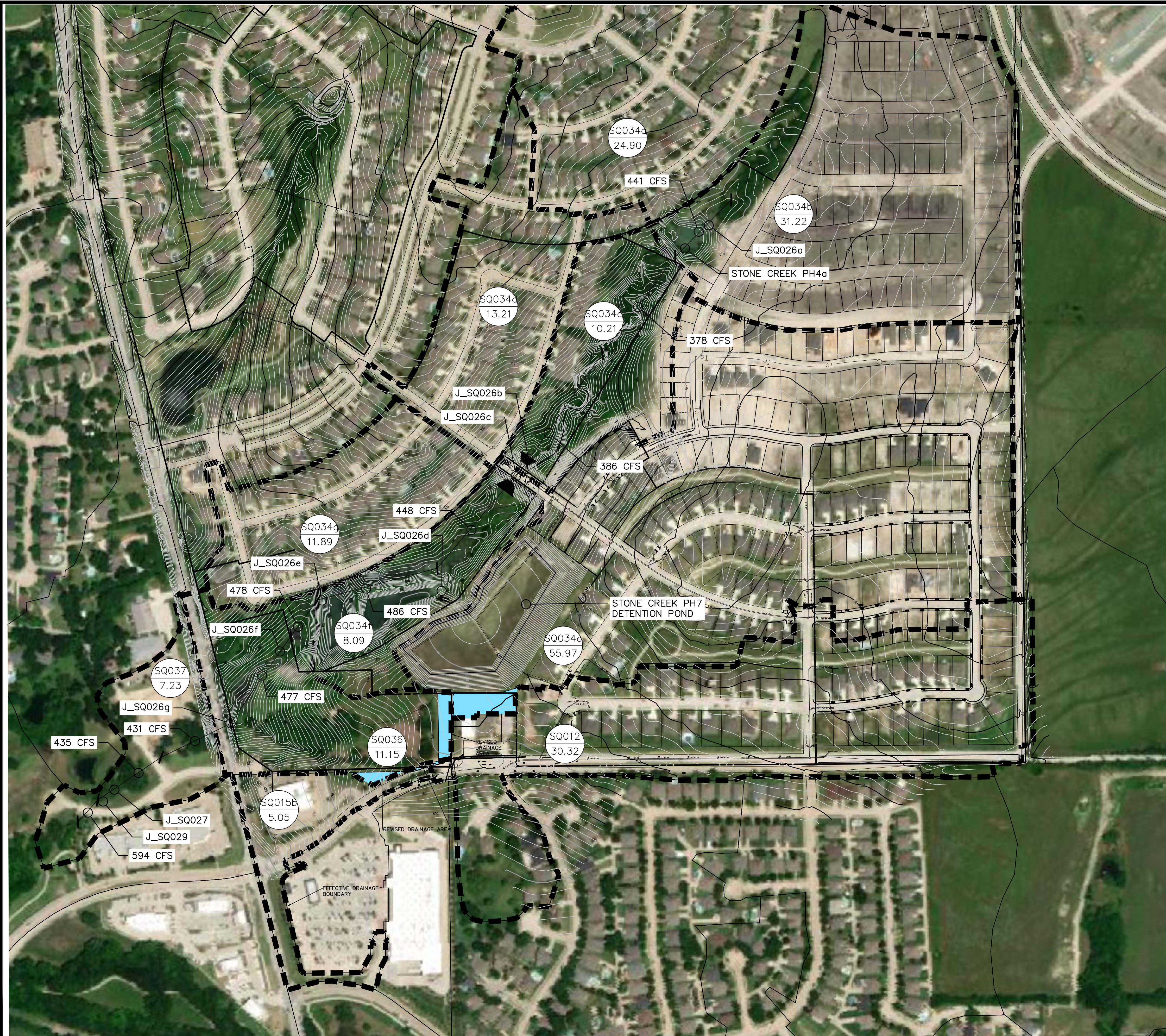
LEGEND

- 0.2% ANNUAL CHANCE FLOOD
- 1% ANNUAL CHANCE FLOOD
- 2% ANNUAL CHANCE FLOOD
- 10% ANNUAL CHANCE FLOOD
- STREAM BED
- CROSS SECTION LOCATION

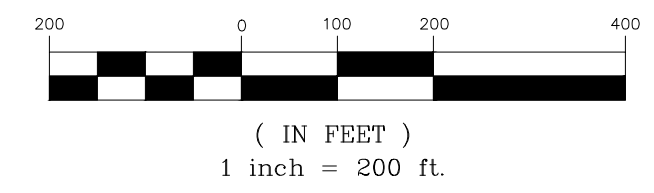
CREATED TO
REFLECT LOMR
EFFECTIVE: August 29, 2014

STREAM DISTANCE IN FEET ABOVE THE CONFLUENCE WITH SQUABBLE CREEK

File: B:\Clients\262 (DuWest)\262-21-001 (Stone Creek Retail - Rockwall)\Flood Study\Overall Existing Drainage Area Map.dwg II Date Plotted: 3/15/2022 3:07 PM II Plotted By: mmc



GRAPHIC SCALE



LEGEND

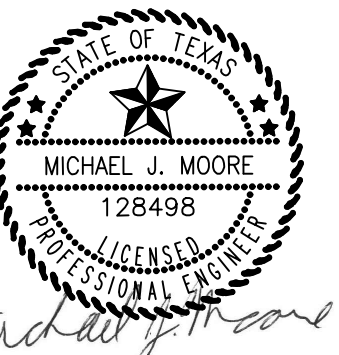
	-118-	EXISTING CONTOUR
	Tc	TIME OF CONCENTRATION
	Tc	FLOW TYPE CHANGE
		DISCHARGE SEGMENT
		AREA DIVIDE
AREA ACRES	DA-X 1.00	DRAINAGE AREA LABEL

MDS REVISED SUBBASINS

1. SQ012
2. SQ015b
3. SQ034e
4. SQ034f
5. SQ036 (SITE)

BENCHMARKS

BM#1:
CITY OF ROCKWALL MONUMENT 14
NAVD88
ELEV.=497.13



3/15/2022

SHEET NUMBER

STONE CREEK RETAIL

ROCKWALL, TEXAS

OVERALL EXISTING DRAINAGE AREA MAP

No. Date Revision Description

PROJECT NO.: 262-21-001

SCS TIME OF CONCENTRATION CALCULATIONS

EXISTING SCS Tc CALCULATIONS FOR AREA SQ034e									
TYPE	CONDITION	DIST	UP ELEV	DOWN ELEV	SLOPE	Coeff.	P ₂	VELOCITY	TIME (MIN)
SHEET	GRASS	28	541.3	540.8	1.8%	0.24	4.09	0.10	4.8
SHALLOW	GRASS	126	540.8	539.4	1.1%	16.13		1.70	1.2
SHALLOW	PAVE	480	538.9	535.19	0.8%	20.33		1.79	4.5
PIPE	PAVE	1913						10.4	3.1
TOTAL									13.5

SCS CALCULATION REFERENCES

Sheet Flow

Sheet flow can be calculated using the following formula:

$$T_t = \frac{0.42 (nL)^{0.8}}{60 (P_2)^{0.5} (S)^{0.4}} = \frac{0.007(nL)^{0.8}}{(P_2)^{0.5} (S)^{0.4}} \quad (1.10)$$

where:

- T_t = travel time (hr)
- n = Manning roughness coefficient (see Table 1.10)
- L = flow length (ft)
- P₂ = 2-year, 24-hour rainfall
- S = land slope (ft/ft)

Table 1.10 Roughness Coefficients (Manning's n) for Sheet Flow¹

Surface Description	n
Smooth surfaces	
(concrete, asphalt, gravel or bare soil)	0.011
Fallow	
(no residue)	0.05
Cultivated soils:	
Residue cover < 20%	0.06
Residue cover > 20%	0.17
Grass:	
Short grass prairie	0.15
Dense grasses ²	0.24
Bermuda grass	0.41
Range	
(natural)	0.13
Woods ³	
Light underbrush	0.40
Dense underbrush	0.80

¹ The n values are a composite of information by Engman (1986).
² Includes species such as bluestem grass, buffalo grass, grama grass, and native grass mixtures.
³ When selecting n, consider cover to a height of about 0.1 ft. This is the only part of the plant cover that will obstruct sheet flow.
 Source: SCS, TR-55, Second Edition, June 1986.

NOTE: REFERENCED SHEET FLOW EQUATION CALCULATES Tc IN HOURS. THE EQUATION USED WAS MODIFIED TO CALCULATE Tc IN MINUTES

VELOCITY SHALLOW FLOW EQUATION

Unpaved $V = 16.13(S)^{0.5}$

Paved $V = 20.33(S)^{0.5}$

where:
 V = average velocity (ft/s)
 S = slope of hydraulic grade line (watercourse slope, ft/ft)

PHASE 7 STONE CREEK DETENTION POND

POND VOLUME CALCULATIONS

ELEVATION (ft)	AREA (sf)	VOLUME (cu.ft.)	TOTAL VOLUME (cu.ft.)
493	0	0	0
494	19,559	9,780	9,780
494.5	44,932	16,123	25,902
495	71,048	28,995	54,897
495.5	90,653	40,425	95,323
496	104,477	48,783	144,105
496.5	116,529	55,252	199,357
497	119,958	59,122	258,478
498	128,248	124,103	382,581
499	136,734	132,491	515,072
500	145,415	141,075	656,147
501	154,292	149,854	806,000
502	163,365	158,829	964,829

ROUTING TABLES

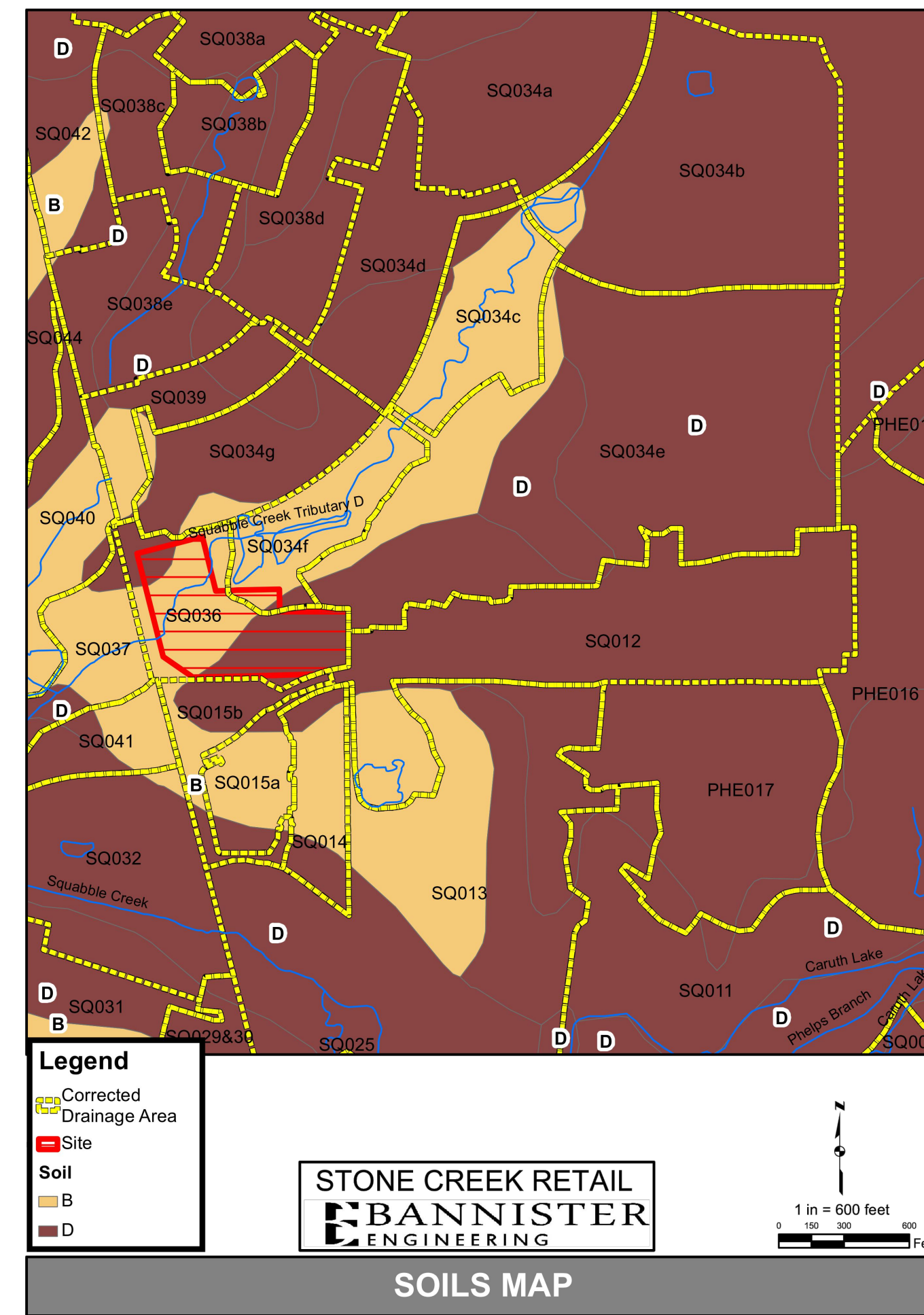
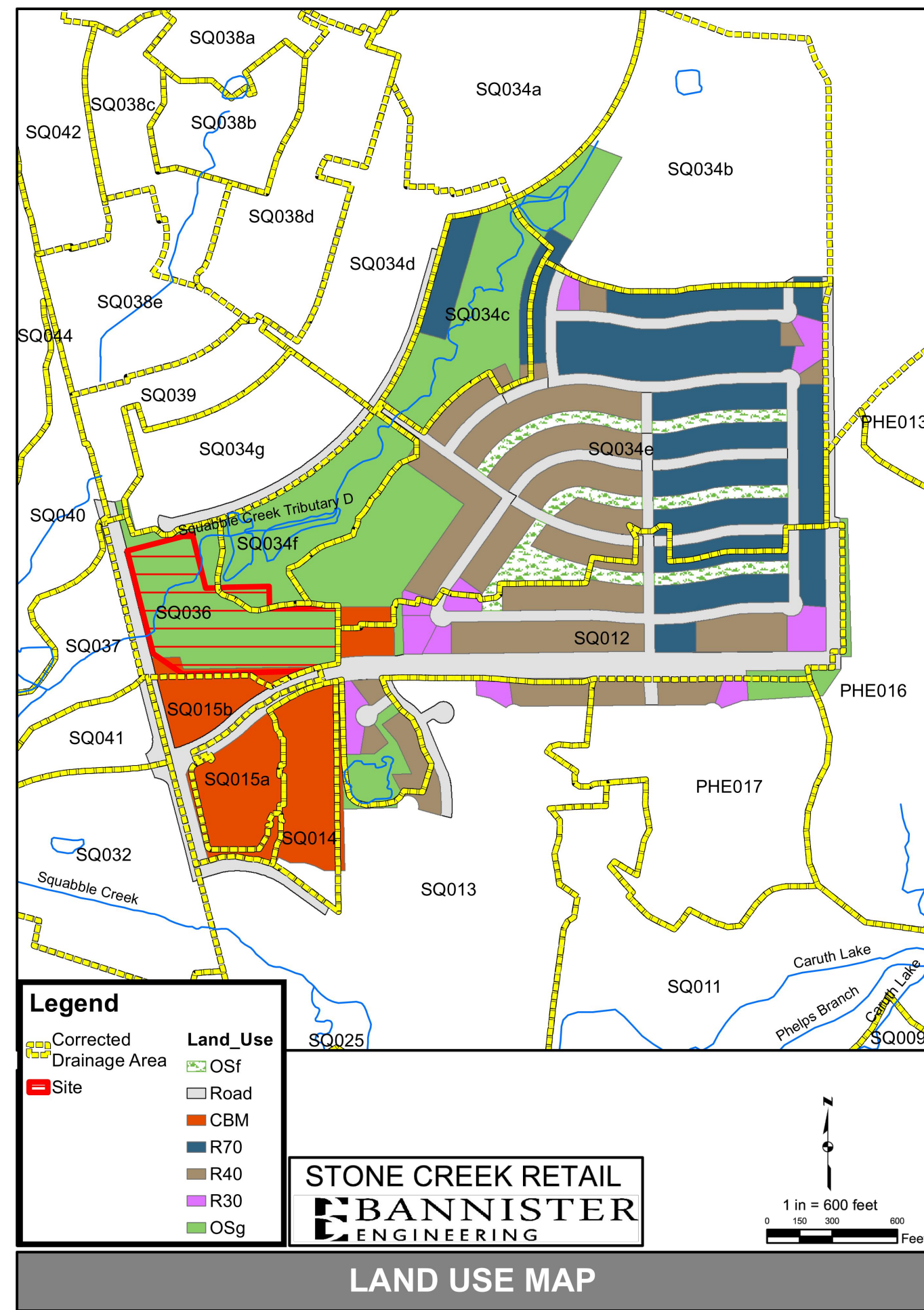
1622-1917		1202-1622	
R_SQ015e		R_SQ015f	
Volume (ac-ft)	Discharge (cfs)	Volume (ac-ft)	Discharge (cfs)
0.16	50	0.24	50
0.27	100	0.45	100
0.35	150	0.75	150
0.42	200	1.17	200
0.49	250	1.70	250
0.54	300	2.42	300
0.58	350	3.72	350
0.66	400	5.44	400
1.13	450	7.74	450
2.02	500	10.71	500
2.63	600	12.60	600
3.34	650	14.86	650
3.60	700		

COMPUTATION SUMMARY SHEET											
BY:		LOSS RATE METHOD		HYDROLOGY BY UNIT HYDROGRAPH METHOD						SHEET 1 OF 1	
DATE:		STREAM ROUTING		SUBWATERSHED						MAJOR WATERSHED	
CK'D:				JOB/FILE NO.:							
DATE:											
ANALYSIS POINT	SUBWATERSHED AREA (SQ.MI.)	WATERSHED AREA (SQ.MI.)	UNIT HYDROGRAPH COEFFICIENTS			PEAK DISCHARGES (CFS)				COMMENTS	
			SCS METHOD	SNYDER'S METHOD	TP (HR)	Q5	Q10	Q25	Q100		
Cn	Lag (MIN)	Cp	Tr (HR)	Q5	Q10	Q25	Q100				
MDS											
SQ012	0.04874	0.04874	94.40	18.7					169.0		
SQ015b	0.00804	0.00804	96.88	10					35.2		
SQ034a	0.03900	0.03900	95.64	4.28					203.9		
SQ034b	0.04860	0.04860	95.35	6.19					236.7		
SQ034c	0.01730	0.01730	88.93	5.43					83.9		
SQ034d	0.02050	0.02050	96.35	5.38					103.9		
SQ034e	0.08520	0.08520	95.46	9.10					380.9		
SQ034f	0.01480	0.01480	87.10	6.47					92.4		
SQ034g	0.01840	0.01840	94.81	5.49					92.4	Site	
SQ036	0.01670	0.01670	92.71	4.12					86.4		
Stone Creek Phase 7		0.08520							130.3		
R_SQ015e		0.22540							457.0		
R_SQ015f		0.24380							421.6		
J_SQ008		0.14576							509.7		
J_SQ009		0.16226							531.5		
J_SQ010		4.86640							1125.5		
J_SQ021		5.44221							2377.7		
J_SQ023		5.45421							2429.2		
J_SQ024		5.48127							2425.0		
J_SQ025		5.56291							2680.3		
J_SQ026a		0.08760							440.7		
J_SQ026b		0.10490							385.8		
J_SQ026c		0.12540							447.8		
J_SQ026d		0.21060							475.0		
J_SQ026e		0.22540							474.4		
J_SQ026f		0.24380							472.4		
J_SQ026g		0.26050							431.5		
J_SQ027		0.27250							436.5		
J_SQ029		0.42610							595.5		
J_SQ030		5.98901							3206.7		
J_SQ031		6.08258							2776.8		
J_SQ034		6.26310							3032.3		
J_SQ035		6.28927							2999.3		
J_SQ037		6.40495							3006.3		
J_SQ039		6.50460							3080.6		
J_SQ040		6.76805							3188.2		
J_SQ041		7.03088							3529.5		
PRE-PROJECT											
SQ012	0.04738	0.04738	94.4	18.7					164.3		
SQ015b	0.00789	0.00789	96.8	10					34.5		
SQ034a	0.03900	0.03900	95.64	4.28					203.9		
SQ034b	0.04860	0.04860	95.35	6.19					236.7		
SQ034c	0.01730	0.01730	88.93	5.43					83.9		
SQ034d	0.02050	0.02050	96.35	5.38					103.9		
SQ034e	0.08745	0.08745	94.2	9.10					403.8		
SQ034f	0.01264	0.01264	79.1	6.47					52.9		
SQ034g	0.01840	0.01840	94.81	5.49					92.4		
SQ036	0.01742	0.01742	86.6	7.4					77.8	Proposed site.	
Stone Creek Phase 7		0.08745							136.3		
R_SQ015e		0.22550							460.7		
R_SQ015f		0.24390							419.5		
J_SQ008		0.14440							508.9		
J_SQ009		0.16090							530.7		
J_SQ010		4.88504							1125.2		
J_SQ021		5.44070							2376.1		
J_SQ023		5.45270							2427.6		
J_SQ024		5.47976							2423.0		
J_SQ025		5.56140							2678.2		
J_SQ026a		0.08760							440.7		
J_SQ026b		0.10490							385.8		
J_SQ026c		0.12540							447.8		
J_SQ026d		0.21285							486.0		
J_SQ026e		0.22550							477.9		
J_SQ026f		0.24390							477.1		
J_SQ026g		0.26131							430.7		
J_SQ027		0.27331							435.4		
J_SQ029		0.42691							594.4		
J_SQ030		5.98831							3206.1		
J_SQ031		6.08188							2770.9		
J_SQ034		6.26240							3023.6		
J_SQ035		6.28857							2992.0		
J_SQ037		6.40425							2997.4		
J_SQ039		6.50390							3071.6		
J_SQ040		6.76735							3185.4		
J_SQ041		7.03018							3525.4		

MDS/PRE-PROJECT 100-YEAR DISCHARGE SUMMARY

MDS		PRE-PROJECT		
DESIGN POINT	DISCHARGE (cfs)	DESIGN POINT	DISCHARGE (cfs)	DIFFERENCE (cfs)
SQ012	169.0	SQ012	164.3	-4.7
SQ015b	35.2	SQ015b	34.5	-0.7
SQ034a	203.9	SQ034a	203.9	0.0
SQ034b	236.7	SQ034b	236.7	0.0
SQ034c	83.9	SQ034c	83.9	0.0
SQ034d	103.9	SQ034d	103.9	0.0
SQ034e	380.9	SQ034e	403.8	22.9
SQ034f	92.4	SQ034f	52.9	-14.9
SQ034g	92.4	SQ034g	92.4	0.0
SQ036	86.4	SQ036	77.8	-8.6
Stone Creek Phase 7		Stone Creek Phase 7	136.3	6.0
J_SQ008	509.7	J_SQ008	508.9	-0.8
J_SQ009	531.5	J_SQ009	530.7	-0.8
J_SQ010	1125.5	J_SQ010	1125.2	-0.3
J_SQ021	2377.7	J_SQ021	2376.1	-1.6
J_SQ023	2429.2	J_SQ023	2427.6	-1.6
J_SQ024	2425.0	J_SQ024	2423.0	-2.0
J_SQ025	2680.3	J_SQ025	2678.2	-2.1
J_SQ026c	447.8	J_SQ026c	447.8	0.0
J_SQ026d	475.0	J_SQ026d	486.0	11.0
J_SQ026e	474.4	J_SQ026e	477.9	3.8
J_SQ026f	472.4	J_SQ026f	477.1	4.7
J_SQ026g	431.5	J_SQ026g	430.7	-0

File: B:\Clients\262 (DuWest)\262-21-001 (Stone Creek Retail - Rockwall)\Flood Study\Overall Existing Drainage Area Map.dwg || Date Plotted: 3/15/2022 3:14 PM || Plotted By: mmcove



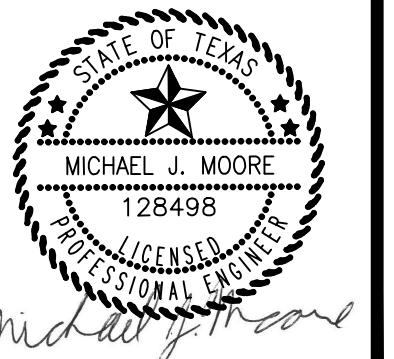
STONE CREEK RETAIL

ROCKWALL, TEXAS

EXISTING LAND USE & SOILS MAP

No.	Date	Revision Description

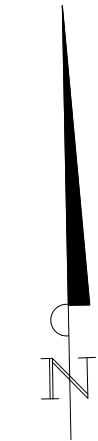
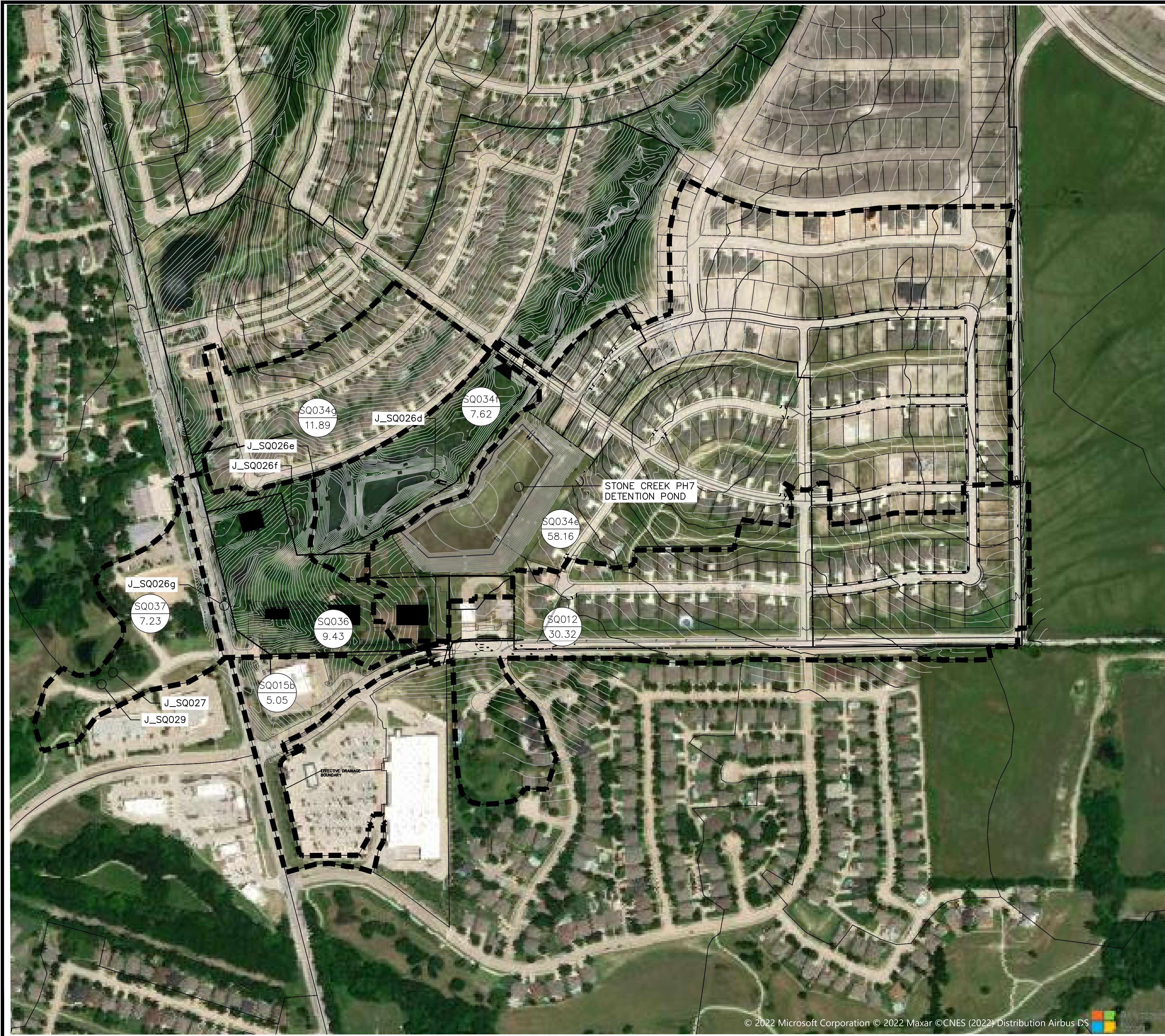
PROJECT NO.: 262-21-001



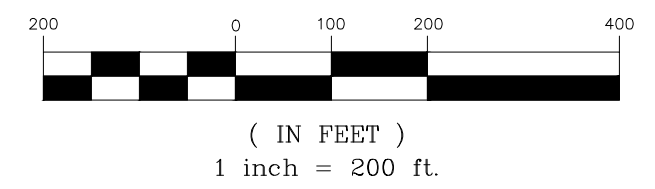
3/15/2022

SHEET NUMBER

File: B:\Clients\262 (DuWest)\262-21-001 (Stone Creek Retail - Rockwall)\Flood Study\Overall Proposed Drainage Area Map.dwg || Date Plotted: 3/15/2022 3:21 PM || Plotted By: mmore



GRAPHIC SCALE



LEGEND

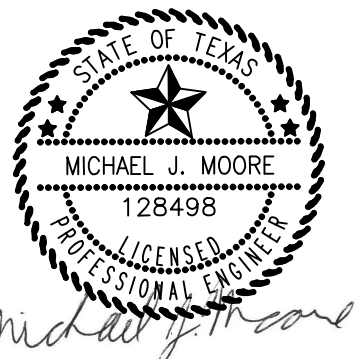
	-118-	EXISTING CONTOUR
	Tc	TIME OF CONCENTRATION
	Tc	FLOW TYPE CHANGE AREA DIVIDE
	DA-X 1.00	DRAINAGE AREA LABEL

POST-PROJECT REVISED SUBBASINS

1. SQ034e
2. SQ034f
3. SQ036 (SITE)

BENCHMARKS

BM#1:
CITY OF ROCKWALL MONUMENT 14
NAVD88
ELEV.=497.13



3/15/2022

SHEET NUMBER

STONE CREEK RETAIL

ROCKWALL, TEXAS

OVERALL PROPOSED DRAINAGE AREA MAP

No. | Date | Revision | Description

No.	Date	Revision	Description

PROJECT NO.: 262-21-001

BANNISTER
ENGINEERING
240 North Mitchell Road | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax
REGISTRATION # F-10599 (TEXAS)

SCS TIME OF CONCENTRATION CALCULATIONS

LAG 8.1

EXISTING SCS Tc CALCULATIONS FOR AREA SQ034f									
TYPE	CONDITION	DIST	UP ELEV / DOWN ELEV	SLOPE	Coeff.	P ₂	VELOCITY	TIME (MIN)	
SHEET	GRASS	79	510 492	22.8%	0.24	4.09	0.33	4.0	
SHALLOW CHANNEL	GRASS	116	492 490.5	1.3%	16.13		1.83	1.1	
		871	SC PH7 - from HEC-RAS				2.5	5.8	
								TOTAL	10.8

SCS CALCULATION REFERENCES

Sheet Flow

Sheet flow can be calculated using the following formula:

$$T_t = \frac{0.42 (nL)^{0.8}}{60 (P_2)^{0.5} (S)^{0.4}} = \frac{0.007(nL)^{0.8}}{(P_2)^{0.5} (S)^{0.4}} \quad (1.10)$$

where:

- T_t = travel time (hr)
- n = Manning roughness coefficient (see Table 1.10)
- L = flow length (ft)
- P₂ = 2-year, 24-hour rainfall
- S = land slope (ft/ft)

Table 1.10 Roughness Coefficients (Manning's n) for Sheet Flow¹

Surface Description	n
Smooth surfaces (concrete, asphalt, gravel or bare soil)	0.011
Fallow (no residue)	0.05
Cultivated soils: Residue cover < 20%	0.06
Residue cover > 20%	0.17
Grass: Short grass prairie	0.15
Dense grasses ²	0.24
Bermuda grass	0.41
Range (natural)	0.13
Woods ³ Light underbrush	0.40
Dense underbrush	0.80

¹ The n values are a composite of information by Engman (1986).
² Includes species such as bluestem grass, buffalo grass, grama grass, and native grass mixtures.
³ When selecting n, consider cover to a height of about 0.1 ft. This is the only part of the plant cover that will obstruct sheet flow.
 Source: SCS, TR-55, Second Edition, June 1986.

NOTE: REFERENCED SHEET FLOW EQUATION CALCULATES Tc IN HOURS. THE EQUATION USED WAS MODIFIED TO CALCULATE Tc IN MINUTES

VELOCITY SHALLOW FLOW EQUATION

Unpaved V = 16.13(S)^{0.5}
 Paved V = 20.33(S)^{0.5}

where:

- V = average velocity (ft/s)
- S = slope of hydraulic grade line (watercourse slope, ft/ft)

PHASE 7 STONE CREEK DETENTION POND

POND VOLUME CALCULATIONS

ELEVATION (ft)	AREA (sf)	VOLUME (cu.ft.)	TOTAL VOLUME (cu.ft.)
493	0	0	0
494	19,559	9,780	9,780
494.5	44,932	16,123	25,902
495	71,048	28,995	54,897
495.5	90,653	40,425	95,323
496	107,413	49,517	144,839
496.5	124,966	58,095	202,934
497	133,300	64,567	267,500
497.5	141,163	68,616	336,116
498	145,016	71,545	407,661
499	154,380	74,698	482,359
500	163,913	77,147	560,505
501	173,615	79,884	642,389
502	183,722	82,909	729,298

PROPOSED DETENTION POND SUMMARY

Storm Event	Discharge In (cfs)	Top of Berm (ft)	Max. Storage (ac.ft.)	Discharge Out (cfs)	Peak Elevation (ft)	Utilized Storage (ac.ft.)	Freeboard (ft)
100-YEAR	419.8	502	24.42	127.9	499.66	15.21	2.34
25-YEAR	327.8	502	24.42	70.2	498.83	12.21	3.17
10-YEAR	278.9	502	24.42	64.8	498.15	9.87	3.85
5-YEAR	230.3	502	24.42	58.8	497.47	7.62	4.53

WEIR EQUATION:
 Q = CLH^{1.5}
 C = WEIR COEFFICIENT = 3.32
 L = WEIR LENGTH
 H = HEAD ABOVE WEIR

RISER EMERGENCY OVERFLOW
 L = 46'
 H = 2'
 DEPTH = 1.96'
 Q CAPACITY = 432.0 CFS
 Q100 = 419.8 CFS

ROUTING TABLES

1622-1917 R SQ015e		1202-1622 R SQ015f	
Volume (ac-ft)	Discharge (cfs)	Volume (ac-ft)	Discharge (cfs)
0.16	50	0.27	50
0.26	100	0.52	100
0.36	150	0.83	150
0.43	200	1.27	200
0.48	250	1.90	250
0.54	300	2.73	300
0.58	350	4.15	350
0.63	400	5.91	400
1.06	450	8.12	450
1.88	500	10.79	500
2.47	600	12.64	600
3.19	650	15.08	650
3.45	700		

ANALYSIS POINT	SUBWATERSHED AREA (SQ.MI.)	WATERSHED AREA (SQ.MI.)	COMPUTATION SUMMARY SHEET								COMMENTS	
			UNIT HYDROGRAPH COEFFICIENTS				PEAK DISCHARGES (CFS)					
			SCS METHOD	SNYDER'S METHOD	C _n	L _{ag} (MIN)	C _p	T _p (HR)	Q ₅	Q ₁₀		Q ₂₅
PRE-PROJECT												
SQ034e	0.08745	0.08745	94.24	9.10				221.3	268.2	315.2	403.8	
SQ034f	0.01264	0.01264	79.13	6.47				24.5	31.7	39	52.9	
SQ036	0.01742	0.01742	86.57	7.69				39.6	49.4	59.3	77.8	Site
Stone Creek Phase 7												
R_SQ015e		0.22550						204.4	259.9	320.9	460.7	
R_SQ015f		0.24390						207.6	260.2	311.4	419.5	
J_SQ026d		0.21285						203.1	256.5	315.1	486.0	
J_SQ026e		0.22550						204.6	259.8	321.5	477.9	
J_SQ026f		0.24390						212.1	271	338.0	477.1	
J_SQ026g		0.26131						213.9	268.7	322.4	430.7	
J_SQ027		0.27331						216	271.6	327.5	435.4	
J_SQ029		0.42691						282.1	369	450.9	594.4	
J_SQ030		5.98831						1615.2	2059.1	2429.5	3206.1	
J_SQ031		6.08188						1383.1	1692.8	2073.3	2770.9	
J_SQ034		6.26240						1481.1	1823.8	2242.5	3023.6	
J_SQ035		6.28857						1470.8	1801.9	2188.7	2992.0	
J_SQ037		6.40425						1508.7	1837.7	2220.6	2997.4	
J_SQ039		6.50390						1572.7	1879.9	2270.3	3071.6	
J_SQ040		6.76735						1958.3	2276.6	2607.3	3185.4	
J_SQ041		7.03018						1960.1	2335.2	2768.3	3525.4	
POST-PROJECT												
SQ034e	0.09087	0.09087	95.46	9.1				230.3	278.9	327.8	419.8	
SQ034f	0.01191	0.01191	87.10	6.47				22.7	29.5	36.4	49.4	
SQ036	0.01473	0.01473	85.1	7.7				38.7	47.1	55.7	71.7	Proposed site.
Stone Creek Phase 7												
R_SQ015e		0.22818						204.3	259.1	319.4	455.6	
R_SQ015f		0.24658						206.5	257.6	308.0	414.1	
J_SQ026d		0.21627						203.2	256.1	314.4	474.6	
J_SQ026e		0.22818						204.4	259	320.1	469.0	
J_SQ026f		0.24658						212	269.7	336.4	473.6	
J_SQ026g		0.26131						211.9	264.4	316.3	423.3	
J_SQ027		0.27331						213.9	267.1	321.1	428.0	
J_SQ029		0.42691						281.3	365.9	445.7	586.9	
J_SQ030		5.98831						1608.9	2049.6	2417.7	3186.3	
J_SQ031		6.08188						1379.7	1687.2	2063.6	2757.6	
J_SQ034		6.26240						1478.1	1818.6	2233.4	3010.4	
J_SQ035		6.28857						1467.9	1797.2	2180.1	2978.7	
J_SQ037		6.40425						1506.2	1833.2	2212.4	2985.8	
J_SQ039		6.50390						1572.9	1875.9	2262.1	3060.1	
J_SQ040		6.76735						1958.6	2276.8	2607.5	3185.4	
J_SQ041		7.03018						1960.5	2335.4	2768.4	3525.4	

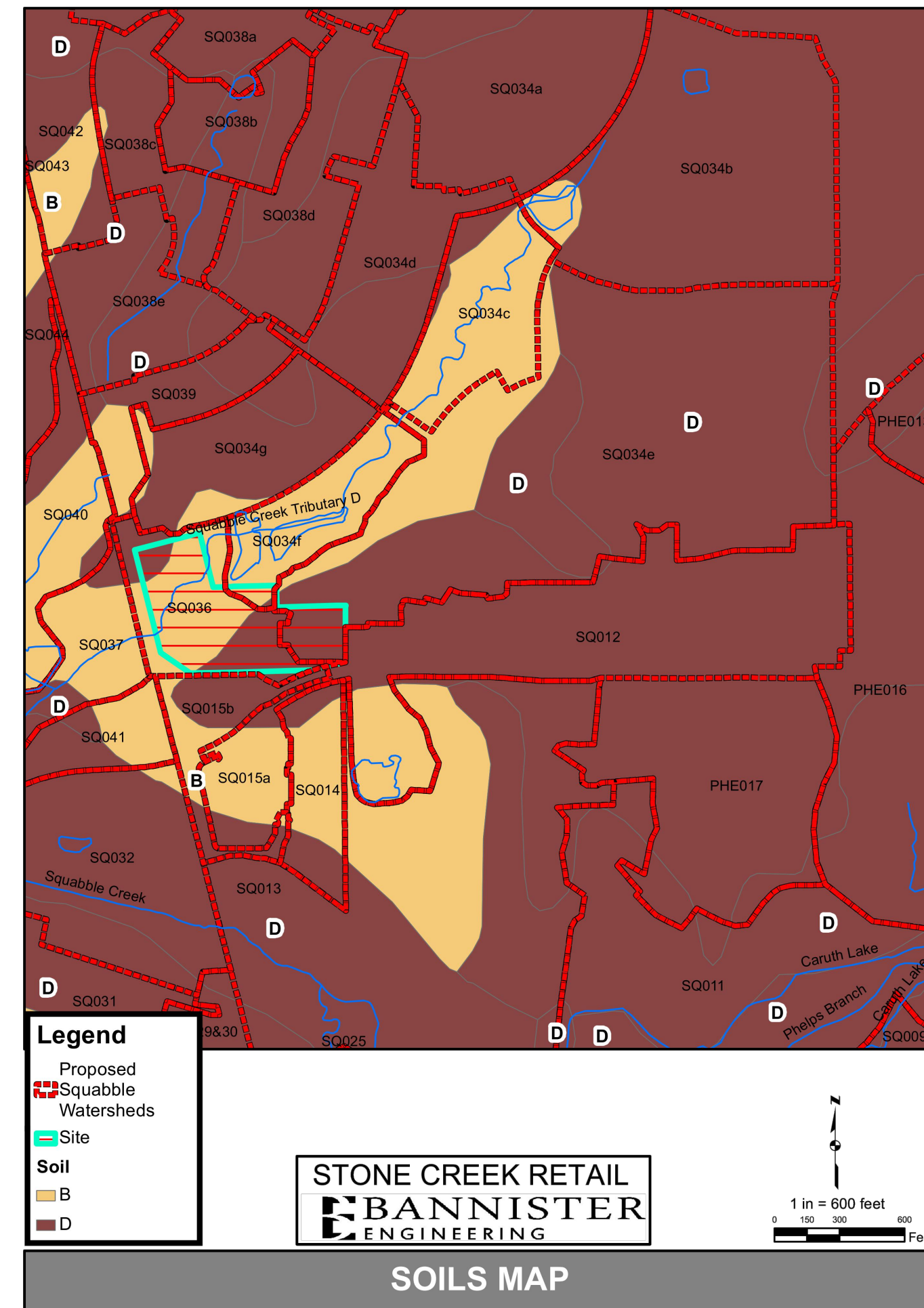
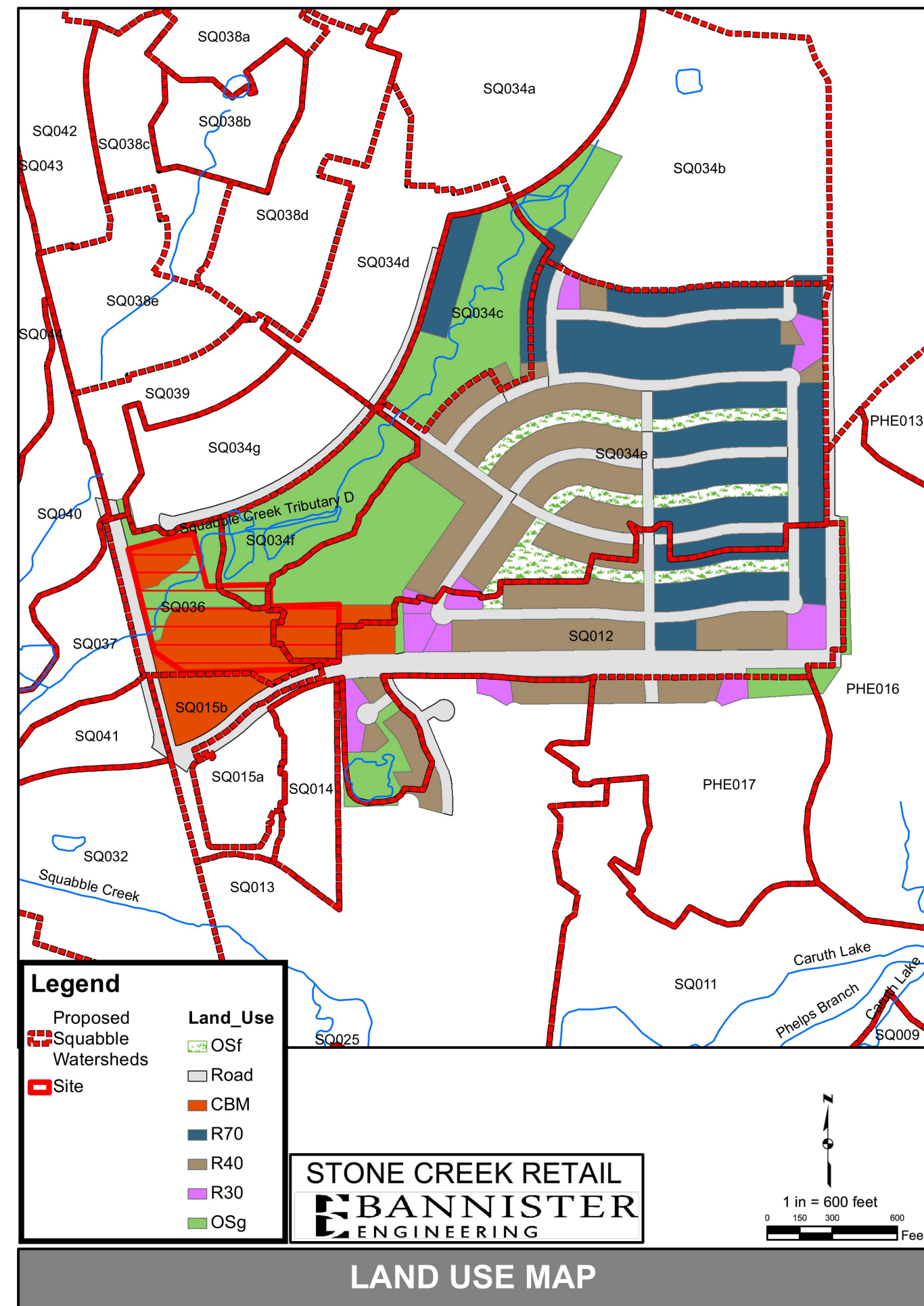
SCS CURVE NUMBER CALCULATIONS

PROPOSED CN CALCULATIONS							
BASIN	LAND USE	AREA	SOIL GROUP	AREA	CN	%	CN*%
SQ036	OPEN SPACE (Good)	2.91	B	2.55	61	27.1%	16.5
			D	0.36	80	3.8%	3.0
	PAVED STREET	1.09	B	0.64	89	6.8%	6.0
			D	0.45	93	4.8%	4.4
	COMMERCIAL	5.43	B	2.68	92	28.4%	26.1
			D	2.75	95	29.2%	27.7
	TOTAL	9.43		9.43		TOTAL	83.9
SQ034e	OPEN SPACE (Good)	6.91	B	3.07	61	5.3%	3.2
			D	3.85	80	6.6%	5.3
	OPEN SPACE (Fair)	4.98	B	0.01	69	0.0%	0.0
			D	4.97	84	8.6%	7.2
	PAVED STREET	9.85	B	1.21	89	2.1%	1.9
			D	8.64	93	14.9%	13.8
	COMMERCIAL	2.16	B	0.00	92	0.0%	0.0
			D	2.16	95	3.7%	3.5
	RES 1/8 ACRE	18.76	B	0.62	87	1.1%	0.9
			D	18.14	93	31.2%	29.0
	RES 1/4 ACRE	14.21	B	2.89	78	5.0%	3.9
			D	11.32	88	19.5%	17.1
	RES 1/3 ACRE	1.12	B	0.00	75	0.0%	0.0
			D	1.12	87	1.9%	1.7
	RES 1/2 ACRE	0.17	B	0.00	75	0.0%	0.0
			D	0.17	87	0.3%	0.2
	TOTAL	58.16		58.16		TOTAL	87.8
SQ034f	OPEN SPACE (Good)	7.50	B	7.44	61	97.7%	59.6
			D	0.06	80	0.8%	0.6
	PAVED STREET	0.07	B	0.05	89	0.7%	0.6
			D	0.02	93	0.3%	0.3
	RES 1/4 ACRE	0.04	B	0.04	78	0.5%	0.4
			D	0.00	88	0.0%	0.0
	TOTAL	7.62		7.62		TOTAL	61.5

CN SUMMARY

BASIN	AREA	%	CN
SQ036	9.43	1.00	83.9
AMC-3			92.3
SQ034e	58.16	1.00	87.8
AMC-3			94.3
SQ034f	7.62	1.00	61.5
AMC-3			78.6

Cover Type	Cover Description	Land Use Code	A	B	C	D	W
Cultivated land	w/o conservation treatment	1	72	81	88	91	100
	w/ conservation treatment	2	62	71	78	81	100
	poor	3	68	79	86	89	100
Pasture	good	4	39	61	74	80	100
	Open Space	5	39	61	74	80	100
Brush	good	6	30	48	65	73	100
	thin stand, poor cover	7	45	66	77	83	100
Forest land	good cover	8	30	55	70	77	100

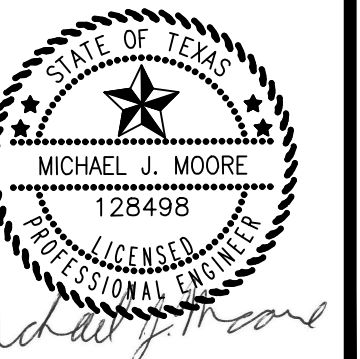


STONE CREEK RETAIL

ROCKWALL, TEXAS

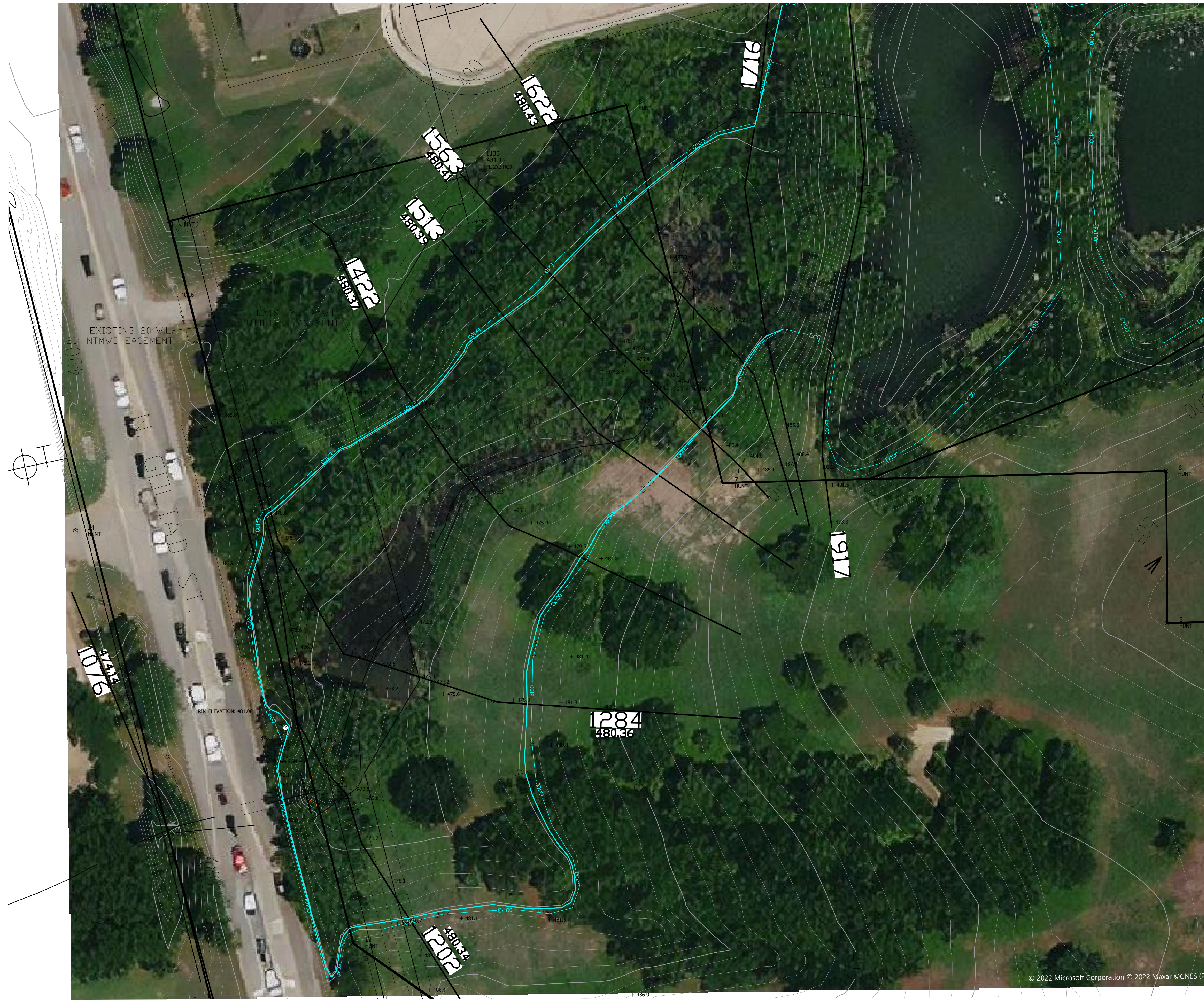
PROPOSED LAND USE & SOILS MAP

No.	Date	Revision Description



3/15/2022

SHEET NUMBER



GRAPHIC SCALE
(IN FEET)
1 inch = 30 ft.

LEGEND

- 631--- EXISTING CONTOUR
- INEFFECTIVE FLOW LIMIT
- EF100— EFFECTIVE 100-YEAR FLOODPLAIN
- EX100— PRE-PROJECT 100-YEAR FLOODPLAIN
- PRE-PROJECT MDS 100YR FLOODPLAIN

BENCHMARKS

BM#1:
CITY OF ROCKWALL MONUMENT 14
NAVD88
ELEV.=497.13

BANNISTER
ENGINEERING

240 N. Mitchell Road | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax
REGISTRATION # F-10599 (TEXAS)

STONE CREEK RETAIL
ROCKWALL, TEXAS

EXISTING HYDRAULIC WORK MAP

No.	Date	Revision Description

PROJECT NO.: 262-21-001

MICHAEL J. MOORE
 LICENSED PROFESSIONAL ENGINEER
 STATE OF TEXAS
 3/15/2022

SHEET NUMBER

12

HEC-RAS Plan: Pre-Proj River: RIVER-1 Reach: Reach-1

Reach	River Sta	Profile	Q Total (cfs)	Min Ch El (ft)	W.S. Elev (ft)	Crit W.S. (ft)	E.G. Elev (ft)	E.G. Slope (ft/ft)	Vel Chnl (ft/s)	Flow Area (sq ft)	Top Width (ft)	Froude # Chl
Reach-1	4830	10 Year	282.80	519.35	520.87	520.87	521.29	0.025442	5.22	54.13	65.25	1.01
Reach-1	4830	50 Year	380.30	519.35	521.06	521.06	521.56	0.024427	5.65	67.39	72.18	1.02
Reach-1	4830	100 Year	428.80	519.35	521.15	521.15	521.68	0.023297	5.84	73.74	75.26	1.01
Reach-1	4830	500 Year	532.40	519.35	521.32	521.32	521.92	0.021548	6.21	87.15	81.38	0.99
Reach-1	4587	10 Year	282.80	513.00	518.86		518.87	0.000044	0.69	430.47	117.28	0.06
Reach-1	4587	50 Year	380.30	513.00	519.62		519.63	0.000047	0.78	525.32	135.41	0.06
Reach-1	4587	100 Year	428.80	513.00	519.73		519.74	0.000055	0.86	540.77	138.23	0.06
Reach-1	4587	500 Year	532.40	513.00	519.89		519.91	0.000076	1.03	563.88	142.35	0.08
Reach-1	4437	10 Year	221.00	513.00	518.87	513.47	518.87	0.000005	0.24	926.41	201.01	0.02
Reach-1	4437	50 Year	335.20	513.00	519.62	513.61	519.62	0.000008	0.31	1083.55	217.60	0.02
Reach-1	4437	100 Year	390.40	513.00	519.73	513.68	519.73	0.000010	0.35	1108.31	220.27	0.03
Reach-1	4437	500 Year	493.30	513.00	519.90	513.80	519.90	0.000014	0.43	1145.06	224.17	0.03
Reach-1	4338		Culvert									
Reach-1	4291	10 Year	272.80	510.40	512.89	512.89	513.25	0.028885	5.18	66.91	100.17	0.83
Reach-1	4291	50 Year	409.00	510.40	513.15	513.15	513.54	0.028737	5.59	95.01	113.44	0.84
Reach-1	4291	100 Year	479.10	510.40	513.25	513.25	513.66	0.029747	5.86	105.98	116.21	0.87
Reach-1	4291	500 Year	623.10	510.40	513.41	513.41	513.90	0.032533	6.42	124.98	120.85	0.92
Reach-1	4188	10 Year	272.80	508.32	510.93	510.68	511.05	0.017514	3.45	106.19	127.12	0.47
Reach-1	4188	50 Year	409.00	508.32	511.15	510.83	511.31	0.019117	3.91	134.76	130.67	0.50
Reach-1	4188	100 Year	479.10	508.32	511.24	510.92	511.42	0.020174	4.15	146.88	132.32	0.52
Reach-1	4188	500 Year	623.10	508.32	511.41	511.06	511.63	0.021960	4.57	169.63	135.38	0.55
Reach-1	3967	10 Year	272.80	501.10	505.24	505.24	505.74	0.036683	6.03	55.71	58.76	0.68
Reach-1	3967	50 Year	409.00	501.10	505.69	505.59	506.16	0.031380	6.25	85.16	73.06	0.65
Reach-1	3967	100 Year	479.10	501.10	505.89	505.74	506.34	0.028808	6.26	100.58	79.53	0.63
Reach-1	3967	500 Year	623.10	501.10	506.23		506.67	0.025430	6.31	128.62	85.54	0.60
Reach-1	3831	10 Year	272.80	498.10	502.86		503.01	0.011138	3.28	88.38	45.66	0.38
Reach-1	3831	50 Year	409.00	498.10	503.37		503.57	0.012865	3.81	114.80	55.84	0.41
Reach-1	3831	100 Year	479.10	498.10	503.58		503.81	0.013304	4.07	126.49	58.50	0.43
Reach-1	3831	500 Year	623.10	498.10	503.96		504.24	0.013766	4.51	150.16	63.54	0.44
Reach-1	3669	10 Year	272.80	496.18	501.34		501.49	0.009474	3.50	97.14	66.90	0.36

HEC-RAS Plan: Pre-Proj River: RIVER-1 Reach: Reach-1 (Continued)

Reach	River Sta	Profile	Q Total	Min Ch El	W.S. Elev	Crit W.S.	E.G. Elev	E.G. Slope	Vel Chnl	Flow Area	Top Width	Froude # Chl
			(cfs)	(ft)	(ft)	(ft)	(ft)	(ft/ft)	(ft/s)	(sq ft)	(ft)	
Reach-1	3669	50 Year	409.00	496.18	501.93		502.08	0.008351	3.54	138.10	71.48	0.34
Reach-1	3669	100 Year	479.10	496.18	502.19		502.34	0.007954	3.61	156.49	74.02	0.34
Reach-1	3669	500 Year	623.10	496.18	502.64		502.81	0.007470	3.79	191.09	78.93	0.34
Reach-1	3525	10 Year	272.80	495.50	499.43		499.78	0.021679	4.75	58.19	30.05	0.56
Reach-1	3525	50 Year	409.00	495.50	500.17		500.57	0.019240	5.14	84.12	40.85	0.54
Reach-1	3525	100 Year	479.10	495.50	500.48		500.89	0.018499	5.30	97.52	46.09	0.54
Reach-1	3525	500 Year	623.10	495.50	501.03		501.46	0.017060	5.51	125.54	55.36	0.53
Reach-1	3310	10 Year	272.80	492.48	497.61		497.71	0.005232	2.53	107.87	42.71	0.28
Reach-1	3310	50 Year	409.00	492.48	498.32		498.46	0.005731	2.91	140.53	49.72	0.30
Reach-1	3310	100 Year	479.10	492.48	498.62		498.77	0.005955	3.09	155.64	53.10	0.31
Reach-1	3310	500 Year	623.10	492.48	499.13		499.31	0.006414	3.42	184.32	59.50	0.33
Reach-1	3134	10 Year	272.80	491.51	495.61		495.98	0.023895	4.98	58.90	36.49	0.58
Reach-1	3134	50 Year	409.00	491.51	496.17		496.61	0.024250	5.57	81.76	45.51	0.60
Reach-1	3134	100 Year	479.10	491.51	496.42		496.88	0.024163	5.79	93.28	49.58	0.60
Reach-1	3134	500 Year	623.10	491.51	496.87		497.37	0.023271	6.08	117.44	57.20	0.60
Reach-1	2997	10 Year	303.70	491.25	494.56		494.64	0.004711	2.37	138.05	74.88	0.27
Reach-1	2997	50 Year	452.40	491.25	495.04		495.14	0.005251	2.81	174.98	81.53	0.29
Reach-1	2997	100 Year	530.10	491.25	495.24		495.37	0.005483	3.01	192.10	84.62	0.30
Reach-1	2997	500 Year	691.20	491.25	495.56		495.72	0.006290	3.44	220.04	89.43	0.33
Reach-1	2917	10 Year	303.70	491.50	493.20	493.20	493.72	0.062827	6.20	55.28	55.23	0.91
Reach-1	2917	50 Year	452.40	491.50	493.55	493.55	494.16	0.058026	6.86	75.79	63.63	0.90
Reach-1	2917	100 Year	530.10	491.50	493.70	493.70	494.36	0.056110	7.14	86.06	67.44	0.90
Reach-1	2917	500 Year	691.20	491.50	494.20		494.75	0.036216	6.67	122.54	79.52	0.75
Reach-1	2800	10 Year	303.70	490.60	492.98		493.00	0.001201	1.24	250.40	138.69	0.16
Reach-1	2800	50 Year	452.40	490.60	493.42		493.45	0.001325	1.49	312.59	144.40	0.17
Reach-1	2800	100 Year	530.10	490.60	493.65		493.69	0.001313	1.58	347.06	147.47	0.17
Reach-1	2800	500 Year	691.20	490.60	494.14		494.18	0.001236	1.72	419.93	153.76	0.17
Reach-1	2677	10 Year	303.70	490.30	492.21	492.15	492.55	0.032680	5.55	73.28	86.01	0.78
Reach-1	2677	50 Year	452.40	490.30	492.85		493.05	0.013683	4.51	135.96	110.28	0.54
Reach-1	2677	100 Year	530.10	490.30	493.15		493.33	0.009900	4.19	171.01	119.22	0.47
Reach-1	2677	500 Year	691.20	490.30	493.74		493.88	0.005963	3.74	244.98	131.60	0.37

HEC-RAS Plan: Pre-Proj River: RIVER-1 Reach: Reach-1 (Continued)

Reach	River Sta	Profile	Q Total (cfs)	Min Ch El (ft)	W.S. Elev (ft)	Crit W.S. (ft)	E.G. Elev (ft)	E.G. Slope (ft/ft)	Vel Chnl (ft/s)	Flow Area (sq ft)	Top Width (ft)	Froude # Chl
Reach-1	2550	10 Year	303.70	489.63	492.32		492.34	0.000270	1.16	303.29	144.04	0.13
Reach-1	2550	50 Year	452.40	489.63	492.86		492.89	0.000305	1.39	384.05	155.11	0.14
Reach-1	2550	100 Year	530.10	489.63	493.14		493.17	0.000306	1.48	429.02	161.23	0.14
Reach-1	2550	500 Year	691.20	489.63	493.72		493.75	0.000297	1.61	525.05	174.12	0.14
Reach-1	2396	10 Year	270.70	489.63	492.28		492.30	0.000248	1.05	270.77	124.71	0.12
Reach-1	2396	50 Year	416.40	489.63	492.81		492.84	0.000306	1.31	339.70	134.32	0.14
Reach-1	2396	100 Year	484.70	489.63	493.10		493.13	0.000303	1.38	382.92	227.01	0.14
Reach-1	2396	500 Year	628.80	489.63	493.68		493.71	0.000268	1.45	517.24	237.64	0.13
Reach-1	2200	10 Year	270.70	489.63	492.19		492.23	0.000539	1.49	183.10	82.84	0.17
Reach-1	2200	50 Year	416.40	489.63	492.70		492.75	0.000670	1.87	225.78	86.47	0.20
Reach-1	2200	100 Year	484.70	489.63	492.98		493.04	0.000663	1.97	250.48	88.51	0.20
Reach-1	2200	500 Year	628.80	489.63	493.56		493.63	0.000616	2.11	326.36	240.58	0.20
Reach-1	2028	10 Year	270.70	487.50	491.66		491.96	0.013209	4.35	62.33	28.40	0.52
Reach-1	2028	50 Year	416.40	487.50	491.65		492.35	0.031961	6.74	61.86	28.33	0.80
Reach-1	2028	100 Year	484.70	487.50	491.58	491.54	492.60	0.047555	8.09	59.92	28.06	0.98
Reach-1	2028	500 Year	628.80	487.50	491.96	491.96	493.18	0.049168	8.89	70.78	29.53	1.01
Reach-1	1973	10 Year	270.70	488.58	491.81		491.81	0.000014	0.30	908.57	290.49	0.03
Reach-1	1973	50 Year	416.40	488.58	491.99		491.99	0.000028	0.44	961.51	291.76	0.04
Reach-1	1973	100 Year	484.70	488.58	492.07		492.08	0.000034	0.50	986.86	292.53	0.05
Reach-1	1973	500 Year	628.80	488.58	492.21		492.22	0.000051	0.62	1027.78	293.77	0.06
Reach-1	1917	10 Year	270.70	489.00	491.58	491.58	491.78	0.026517	5.28	98.54	218.48	0.74
Reach-1	1917	50 Year	416.40	489.00	491.72	491.72	491.96	0.029801	5.93	131.47	239.74	0.80
Reach-1	1917	100 Year	484.70	489.00	491.74	491.74	492.04	0.037775	6.71	134.85	241.82	0.90
Reach-1	1917	500 Year	628.80	489.00	491.90	491.90	492.18	0.033371	6.69	177.20	287.74	0.86
Reach-1	1716	10 Year	270.70	478.80	480.16		480.22	0.008586	2.05	132.35	128.71	0.35
Reach-1	1716	50 Year	416.40	478.80	480.12		480.28	0.023283	3.29	126.91	127.44	0.57
Reach-1	1716	100 Year	484.70	478.80	480.60		480.70	0.008481	2.57	192.05	141.86	0.37
Reach-1	1716	500 Year	628.80	478.80	481.83		481.87	0.001712	1.72	386.84	173.90	0.18
Reach-1	1622	10 Year	279.70	476.80	478.01	478.01	478.38	0.068920	5.10	61.51	85.46	0.91
Reach-1	1622	50 Year	391.30	476.80	479.25		479.33	0.005417	2.47	183.82	112.06	0.29

HEC-RAS Plan: Pre-Proj River: RIVER-1 Reach: Reach-1 (Continued)

Reach	River Sta	Profile	Q Total (cfs)	Min Ch El (ft)	W.S. Elev (ft)	Crit W.S. (ft)	E.G. Elev (ft)	E.G. Slope (ft/ft)	Vel Chnl (ft/s)	Flow Area (sq ft)	Top Width (ft)	Froude # Chl
Reach-1	1622	100 Year	435.70	476.80	480.38		480.41	0.001314	1.60	322.83	133.82	0.15
Reach-1	1622	500 Year	551.50	476.80	481.76		481.78	0.000527	1.28	524.56	158.65	0.10
Reach-1	1563	10 Year	279.70	474.30	477.19		477.27	0.006180	2.49	133.79	98.40	0.31
Reach-1	1563	50 Year	391.30	474.30	479.21		479.23	0.000678	1.30	371.74	137.85	0.11
Reach-1	1563	100 Year	435.70	474.30	480.36		480.37	0.000289	1.00	543.74	158.28	0.08
Reach-1	1563	500 Year	551.50	474.30	481.75		481.76	0.000167	0.89	775.58	176.12	0.06
Reach-1	1513	10 Year	279.70	474.00	476.90		476.99	0.005430	2.62	127.76	81.22	0.30
Reach-1	1513	50 Year	391.30	474.00	479.17		479.19	0.000616	1.37	366.60	127.71	0.11
Reach-1	1513	100 Year	435.70	474.00	480.35		480.36	0.000283	1.08	529.28	149.60	0.08
Reach-1	1513	500 Year	551.50	474.00	481.74		481.75	0.000174	0.98	756.47	176.81	0.06
Reach-1	1422	10 Year	279.70	471.64	476.67		476.72	0.001809	2.21	188.62	91.69	0.19
Reach-1	1422	50 Year	391.30	471.64	479.14		479.15	0.000308	1.23	469.40	133.97	0.08
Reach-1	1422	100 Year	435.70	471.64	480.33		480.34	0.000164	1.00	638.73	151.14	0.06
Reach-1	1422	500 Year	551.50	471.64	481.73		481.74	0.000115	0.93	864.78	172.08	0.05
Reach-1	1284	10 Year	279.70	472.20	476.60		476.61	0.000421	0.99	346.78	142.03	0.09
Reach-1	1284	50 Year	391.30	472.20	479.13		479.13	0.000090	0.64	796.37	211.62	0.05
Reach-1	1284	100 Year	435.70	472.20	480.32		480.33	0.000051	0.54	1068.22	242.02	0.03
Reach-1	1284	500 Year	551.50	472.20	481.73		481.73	0.000037	0.52	1429.72	273.96	0.03
Reach-1	1202	10 Year	279.70	469.60	476.54	472.82	476.57	0.000389	1.51	219.63	173.52	0.11
Reach-1	1202	50 Year	391.30	469.60	479.10	473.30	479.12	0.000169	1.28	349.96	263.32	0.08
Reach-1	1202	100 Year	435.70	469.60	480.30	473.47	480.32	0.000124	1.20	411.23	290.66	0.07
Reach-1	1202	500 Year	551.50	469.60	481.70	473.88	481.72	0.000117	1.28	482.55	317.93	0.07
Reach-1	1119.5		Culvert									
Reach-1	1076	10 Year	282.00	469.20	472.93	472.93	474.78	0.023479	10.91	25.85	87.56	1.00
Reach-1	1076	50 Year	395.80	469.20	473.87	473.87	476.19	0.021797	12.22	32.39	128.13	1.00
Reach-1	1076	100 Year	440.80	469.20	474.20	474.20	476.71	0.021461	12.70	34.72	140.97	1.00
Reach-1	1076	500 Year	555.70	469.20	474.90	474.90	475.09	0.002633	4.85	190.24	165.71	0.36
Reach-1	1026	10 Year	282.00	465.90	471.01		471.06	0.000698	1.99	181.74	85.91	0.17
Reach-1	1026	50 Year	395.80	465.90	471.24		471.32	0.001080	2.56	202.38	93.46	0.22
Reach-1	1026	100 Year	440.80	465.90	471.40		471.49	0.001136	2.69	217.83	98.73	0.22

HEC-RAS Plan: Pre-Proj River: RIVER-1 Reach: Reach-1 (Continued)

Reach	River Sta	Profile	Q Total (cfs)	Min Ch El (ft)	W.S. Elev (ft)	Crit W.S. (ft)	E.G. Elev (ft)	E.G. Slope (ft/ft)	Vel Chnl (ft/s)	Flow Area (sq ft)	Top Width (ft)	Froude # Chl
Reach-1	1026	500 Year	555.70	465.90	471.51		471.65	0.001612	3.26	229.14	102.43	0.27
Reach-1	981	10 Year	282.00	465.70	470.99		471.03	0.000553	1.85	200.66	97.08	0.16
Reach-1	981	50 Year	395.80	465.70	471.20		471.28	0.000872	2.40	222.73	105.91	0.20
Reach-1	981	100 Year	440.80	465.70	471.36		471.44	0.000921	2.52	240.09	112.38	0.20
Reach-1	981	500 Year	555.70	465.70	471.46		471.58	0.001331	3.07	251.04	116.27	0.25
Reach-1	918	10 Year	282.00	465.30	470.98		471.00	0.000248	1.24	310.87	138.11	0.10
Reach-1	918	50 Year	395.80	465.30	471.20		471.23	0.000390	1.61	341.55	145.46	0.13
Reach-1	918	100 Year	440.80	465.30	471.36		471.39	0.000411	1.69	365.21	150.88	0.14
Reach-1	918	500 Year	555.70	465.30	471.45		471.50	0.000595	2.06	379.59	154.08	0.17
Reach-1	833	10 Year	282.00	464.10	470.97	468.82	470.98	0.000154	1.01	445.86	201.91	0.07
Reach-1	833	50 Year	395.80	464.10	471.18	469.99	471.19	0.000276	1.38	489.21	211.73	0.09
Reach-1	833	100 Year	440.80	464.10	471.34	470.27	471.35	0.000286	1.43	523.46	217.95	0.09
Reach-1	833	500 Year	555.70	464.10	471.43	470.27	471.45	0.000414	1.73	542.53	221.34	0.11
Reach-1	817.5		Culvert									
Reach-1	802	10 Year	282.00	463.92	467.34	466.81	467.44	0.005690	3.52	134.62	107.33	0.34
Reach-1	802	50 Year	395.80	463.92	467.74	466.81	467.85	0.005549	3.76	182.16	128.59	0.34
Reach-1	802	100 Year	440.80	463.92	467.88	466.82	467.99	0.005497	3.83	200.36	135.85	0.35
Reach-1	802	500 Year	555.70	463.92	468.18	467.06	468.29	0.005376	3.99	243.25	146.09	0.35
Reach-1	726	10 Year	282.00	463.60	466.81		466.93	0.008483	2.84	107.79	76.39	0.34
Reach-1	726	50 Year	395.80	463.60	467.17		467.32	0.008976	3.24	138.43	91.08	0.36
Reach-1	726	100 Year	440.80	463.60	467.30		467.46	0.009085	3.37	150.37	96.20	0.37
Reach-1	726	500 Year	555.70	463.60	467.56		467.75	0.009732	3.71	176.62	106.60	0.38
Reach-1	635	10 Year	282.00	462.00	464.69	464.69	465.28	0.055775	6.34	49.72	48.27	0.84
Reach-1	635	50 Year	395.80	462.00	465.06	465.06	465.67	0.048502	6.71	69.95	61.60	0.81
Reach-1	635	100 Year	440.80	462.00	465.18	465.18	465.81	0.047404	6.87	77.23	65.74	0.81
Reach-1	635	500 Year	555.70	462.00	465.48	465.45	466.10	0.041128	6.97	99.15	76.87	0.77
Reach-1	619	10 Year	282.00	460.00	464.25		464.55	0.018752	4.45	64.29	35.08	0.50
Reach-1	619	50 Year	395.80	460.00	464.66		465.07	0.020718	5.19	82.06	50.78	0.54
Reach-1	619	100 Year	440.80	460.00	464.80		465.24	0.021169	5.42	89.57	56.11	0.55
Reach-1	619	500 Year	555.70	460.00	465.11		465.61	0.022059	5.90	108.69	67.81	0.57

HEC-RAS Plan: Pre-Proj River: RIVER-1 Reach: Reach-1 (Continued)

Reach	River Sta	Profile	Q Total (cfs)	Min Ch El (ft)	W.S. Elev (ft)	Crit W.S. (ft)	E.G. Elev (ft)	E.G. Slope (ft/ft)	Vel Chnl (ft/s)	Flow Area (sq ft)	Top Width (ft)	Froude # Chl
Reach-1	495	10 Year	282.00	458.30	462.20		462.37	0.016112	3.28	86.59	60.43	0.45
Reach-1	495	50 Year	395.80	458.30	462.56		462.77	0.015970	3.72	111.07	76.60	0.46
Reach-1	495	100 Year	440.80	458.30	462.67		462.90	0.016008	3.87	120.53	82.00	0.47
Reach-1	495	500 Year	555.70	458.30	462.94		463.20	0.016084	4.20	144.27	94.20	0.48
Reach-1	393	10 Year	282.00	456.95	460.91	459.87	461.07	0.010542	3.50	103.01	95.31	0.39
Reach-1	393	50 Year	395.80	456.95	461.17	460.61	461.37	0.012367	4.04	129.30	106.93	0.42
Reach-1	393	100 Year	440.80	456.95	461.26	460.74	461.48	0.012933	4.22	139.10	110.95	0.44
Reach-1	393	500 Year	555.70	456.95	461.45	460.94	461.71	0.014548	4.67	160.99	119.45	0.47

HEC-RAS Plan: PrePro River: RIVER-1 Reach: Reach-1

Reach	River Sta	Profile	Q Total (cfs)	Min Ch El (ft)	W.S. Elev (ft)	Crit W.S. (ft)	E.G. Elev (ft)	E.G. Slope (ft/ft)	Vel Chnl (ft/s)	Flow Area (sq ft)	Top Width (ft)	Froude # Chl
Reach-1	4830	10yr	294.00	519.35	520.89	520.89	521.32	0.025262	5.26	55.84	66.19	1.01
Reach-1	4830	50yr	392.00	519.35	521.08	521.08	521.59	0.024217	5.70	68.85	72.90	1.01
Reach-1	4830	100yr	441.00	519.35	521.17	521.17	521.71	0.022900	5.88	75.49	76.09	1.00
Reach-1	4830	500yr	544.00	519.35	521.34	521.34	521.94	0.021345	6.25	88.70	82.06	0.99
Reach-1	4587	10yr	294.00	513.00	518.52		518.53	0.000062	0.78	391.12	110.37	0.06
Reach-1	4587	50yr	392.00	513.00	519.59		519.60	0.000050	0.81	521.85	134.77	0.06
Reach-1	4587	100yr	441.00	513.00	519.73		519.74	0.000058	0.89	540.59	138.20	0.07
Reach-1	4587	500yr	544.00	513.00	519.89		519.90	0.000080	1.06	563.04	142.20	0.08
Reach-1	4437	10yr	204.00	513.00	518.52	513.44	518.52	0.000006	0.24	857.91	195.92	0.02
Reach-1	4437	50yr	324.00	513.00	519.59	513.60	519.59	0.000007	0.30	1078.05	217.00	0.02
Reach-1	4437	100yr	378.00	513.00	519.73	513.67	519.73	0.000009	0.34	1108.10	220.24	0.03
Reach-1	4437	500yr	481.00	513.00	519.89	513.78	519.89	0.000013	0.42	1143.84	224.05	0.03
Reach-1	4338		Culvert									
Reach-1	4291	10yr	204.00	510.40	512.70	512.70	513.05	0.029995	5.00	48.89	80.77	0.83
Reach-1	4291	50yr	324.00	510.40	513.01	513.01	513.37	0.028699	5.32	78.82	109.22	0.83
Reach-1	4291	100yr	378.00	510.40	513.11	513.11	513.48	0.028395	5.47	89.70	112.07	0.84
Reach-1	4291	500yr	481.00	510.40	513.25	513.25	513.67	0.029759	5.87	106.28	116.28	0.87
Reach-1	4188	10yr	204.00	508.32	510.82	510.58	510.91	0.014858	3.04	92.35	125.82	0.43
Reach-1	4188	50yr	324.00	508.32	511.02	510.75	511.15	0.017870	3.61	118.18	128.36	0.48
Reach-1	4188	100yr	378.00	508.32	511.11	510.81	511.25	0.018552	3.80	129.23	129.90	0.49
Reach-1	4188	500yr	481.00	508.32	511.25	510.92	511.43	0.019607	4.11	148.64	132.56	0.51
Reach-1	3967	10yr	204.00	501.10	504.78	504.65	505.36	0.052446	6.25	34.82	27.40	0.79
Reach-1	3967	50yr	324.00	501.10	505.42	505.39	505.91	0.035153	6.18	66.38	64.31	0.68
Reach-1	3967	100yr	378.00	501.10	505.59	505.53	506.07	0.032930	6.25	78.06	69.88	0.66
Reach-1	3967	500yr	481.00	501.10	505.88	505.74	506.35	0.029893	6.36	99.39	79.05	0.64
Reach-1	3831	10yr	204.00	498.10	502.49		502.61	0.010147	2.94	72.67	39.61	0.35
Reach-1	3831	50yr	324.00	498.10	503.09		503.26	0.012213	3.45	99.70	52.00	0.40
Reach-1	3831	100yr	378.00	498.10	503.29		503.47	0.012461	3.66	110.00	54.71	0.41
Reach-1	3831	500yr	481.00	498.10	503.62		503.84	0.012686	4.01	128.94	59.04	0.42
Reach-1	3669	10yr	216.00	496.18	500.99		501.14	0.009548	3.34	74.48	44.15	0.36

HEC-RAS Plan: PrePro River: RIVER-1 Reach: Reach-1 (Continued)

Reach	River Sta	Profile	Q Total (cfs)	Min Ch El (ft)	W.S. Elev (ft)	Crit W.S. (ft)	E.G. Elev (ft)	E.G. Slope (ft/ft)	Vel Chnl (ft/s)	Flow Area (sq ft)	Top Width (ft)	Froude # Chl
Reach-1	3669	50yr	326.00	496.18	501.59		501.74	0.008938	3.51	114.00	68.82	0.35
Reach-1	3669	100yr	386.00	496.18	501.84		501.99	0.008505	3.53	131.56	70.77	0.35
Reach-1	3669	500yr	505.00	496.18	502.27		502.43	0.007839	3.64	162.96	74.97	0.34
Reach-1	3525	10yr	216.00	495.50	499.07		499.38	0.022868	4.49	48.18	24.96	0.56
Reach-1	3525	50yr	326.00	495.50	499.77		500.13	0.019984	4.88	68.98	34.72	0.54
Reach-1	3525	100yr	386.00	495.50	500.08		500.46	0.019059	5.04	80.53	39.33	0.54
Reach-1	3525	500yr	505.00	495.50	500.60		501.01	0.017939	5.31	103.23	48.15	0.53
Reach-1	3310	10yr	216.00	492.48	497.18		497.27	0.005301	2.40	90.07	39.01	0.28
Reach-1	3310	50yr	326.00	492.48	497.85		497.97	0.005863	2.76	118.16	44.71	0.30
Reach-1	3310	100yr	386.00	492.48	498.15		498.28	0.006083	2.93	131.91	47.69	0.31
Reach-1	3310	500yr	505.00	492.48	498.64		498.80	0.006497	3.24	156.69	53.33	0.32
Reach-1	3134	10yr	216.00	491.51	495.66	494.61	495.89	0.012613	3.91	60.75	37.29	0.43
Reach-1	3134	50yr	326.00	491.51	496.26	495.20	496.53	0.012128	4.41	85.94	47.03	0.44
Reach-1	3134	100yr	386.00	491.51	496.48	495.47	496.78	0.012739	4.72	96.61	50.70	0.45
Reach-1	3134	500yr	505.00	491.51	496.89	495.92	497.24	0.013071	5.16	118.84	57.61	0.47
Reach-1	2997	10yr	253.00	492.00	493.78	493.08	493.96	0.015133	3.44	73.44	71.25	0.46
Reach-1	2997	50yr	378.00	492.00	494.08	493.39	494.38	0.019804	4.38	86.20	75.75	0.54
Reach-1	2997	100yr	448.00	492.00	494.40	493.56	494.71	0.017301	4.51	99.41	78.58	0.52
Reach-1	2997	500yr	589.00	492.00	494.99	493.86	495.34	0.014274	4.75	124.10	83.87	0.49
Reach-1	2957		Culvert									
Reach-1	2917	10yr	253.00	491.30	492.87	492.87	493.55	0.081943	6.60	38.35	28.83	1.01
Reach-1	2917	50yr	378.00	491.30	493.40	493.40	494.01	0.050474	6.46	63.58	69.46	0.84
Reach-1	2917	100yr	448.00	491.30	493.56	493.56	494.23	0.050717	6.84	71.38	72.73	0.85
Reach-1	2917	500yr	589.00	491.30	494.15		494.71	0.030046	6.25	101.12	87.84	0.68
Reach-1	2800	10yr	253.00	490.60	492.81		492.83	0.001119	1.13	228.22	136.59	0.15
Reach-1	2800	50yr	378.00	490.60	493.24		493.27	0.001205	1.35	287.41	142.11	0.16
Reach-1	2800	100yr	448.00	490.60	493.54		493.57	0.001088	1.40	330.88	146.04	0.16
Reach-1	2800	500yr	589.00	490.60	494.16		494.19	0.000874	1.45	423.65	154.07	0.14
Reach-1	2677	10yr	253.00	490.30	492.20		492.44	0.023691	4.70	72.10	85.48	0.67
Reach-1	2677	50yr	378.00	490.30	492.73		492.91	0.012461	4.15	123.25	105.81	0.51

HEC-RAS Plan: PrePro River: RIVER-1 Reach: Reach-1 (Continued)

Reach	River Sta	Profile	Q Total (cfs)	Min Ch El (ft)	W.S. Elev (ft)	Crit W.S. (ft)	E.G. Elev (ft)	E.G. Slope (ft/ft)	Vel Chnl (ft/s)	Flow Area (sq ft)	Top Width (ft)	Froude # Chl
Reach-1	2677	100yr	448.00	490.30	493.16		493.29	0.006924	3.51	172.25	119.43	0.39
Reach-1	2677	500yr	589.00	490.30	493.91		494.00	0.003358	2.91	267.59	135.16	0.28
Reach-1	2550	10yr	253.00	489.63	492.27		492.28	0.000201	0.98	296.19	143.03	0.11
Reach-1	2550	50yr	378.00	489.63	492.75		492.77	0.000242	1.21	366.83	152.82	0.12
Reach-1	2550	100yr	448.00	489.63	493.16		493.18	0.000216	1.24	430.98	161.50	0.12
Reach-1	2550	500yr	589.00	489.63	493.90		493.92	0.000184	1.31	556.55	178.14	0.11
Reach-1	2396	10yr	257.00	489.63	492.23		492.25	0.000238	1.02	264.93	123.86	0.12
Reach-1	2396	50yr	386.00	489.63	492.70		492.73	0.000298	1.27	324.90	132.31	0.13
Reach-1	2396	100yr	486.00	489.63	493.11		493.14	0.000301	1.38	385.41	227.21	0.14
Reach-1	2396	500yr	679.00	489.63	493.85		493.88	0.000260	1.48	559.40	240.89	0.13
Reach-1	2200	10yr	257.00	489.63	492.15		492.18	0.000516	1.44	179.56	82.53	0.17
Reach-1	2200	50yr	386.00	489.63	492.59		492.64	0.000654	1.81	216.59	85.70	0.20
Reach-1	2200	100yr	486.00	489.63	492.99		493.05	0.000658	1.97	251.51	88.59	0.20
Reach-1	2200	500yr	679.00	489.63	493.74		493.81	0.000588	2.13	369.71	243.57	0.20
Reach-1	2028	10yr	257.00	487.50	491.66		491.93	0.011925	4.13	62.30	28.39	0.49
Reach-1	2028	50yr	386.00	487.50	491.68		492.27	0.026230	6.15	62.84	28.47	0.73
Reach-1	2028	100yr	486.00	487.50	491.55	491.54	492.60	0.049798	8.23	59.09	27.95	1.00
Reach-1	2028	500yr	679.00	487.50	492.11	492.11	493.37	0.047784	9.02	75.36	30.13	1.00
Reach-1	1973	10yr	257.00	488.58	491.79		491.79	0.000013	0.29	904.21	290.41	0.03
Reach-1	1973	50yr	386.00	488.58	491.97		491.97	0.000024	0.41	955.18	291.56	0.04
Reach-1	1973	100yr	486.00	488.58	492.06		492.07	0.000035	0.50	983.21	292.42	0.05
Reach-1	1973	500yr	679.00	488.58	492.27		492.27	0.000056	0.66	1043.77	294.25	0.06
Reach-1	1917	10yr	260.00	489.00	491.57	491.57	491.77	0.026164	5.21	95.95	216.72	0.73
Reach-1	1917	50yr	398.00	489.00	491.71	491.71	491.94	0.028610	5.79	129.01	238.21	0.78
Reach-1	1917	100yr	478.00	489.00	491.74	491.74	492.03	0.035162	6.50	137.12	243.20	0.87
Reach-1	1917	500yr	692.00	489.00	491.95	491.95	492.23	0.032279	6.72	194.34	303.52	0.85
Reach-1	1716	10yr	260.00	478.80	480.14		480.20	0.008519	2.01	129.42	128.02	0.35
Reach-1	1716	50yr	398.00	478.80	480.18		480.31	0.017369	2.95	135.10	129.34	0.50
Reach-1	1716	100yr	478.00	478.80	480.55		480.65	0.009338	2.63	184.52	140.27	0.38
Reach-1	1716	500yr	692.00	478.80	481.79		481.84	0.002180	1.92	380.38	173.00	0.21

HEC-RAS Plan: PrePro River: RIVER-1 Reach: Reach-1 (Continued)

Reach	River Sta	Profile	Q Total	Min Ch El	W.S. Elev	Crit W.S.	E.G. Elev	E.G. Slope	Vel Chnl	Flow Area	Top Width	Froude # Chl
			(cfs)	(ft)	(ft)	(ft)	(ft)	(ft/ft)	(ft/s)	(sq ft)	(ft)	
Reach-1	1622	10yr	271.00	476.80	478.00	478.00	478.35	0.068780	5.04	60.23	85.12	0.91
Reach-1	1622	50yr	418.00	476.80	478.93		479.06	0.011545	3.24	148.49	105.44	0.42
Reach-1	1622	100yr	477.00	476.80	480.26		480.30	0.001811	1.84	307.53	131.74	0.18
Reach-1	1622	500yr	652.00	476.80	481.69		481.72	0.000779	1.54	514.15	157.46	0.13
Reach-1	1563	10yr	271.00	474.30	477.12		477.20	0.006768	2.54	126.60	96.73	0.32
Reach-1	1563	50yr	418.00	474.30	478.85		478.88	0.001139	1.58	323.68	130.90	0.15
Reach-1	1563	100yr	477.00	474.30	480.24		480.26	0.000383	1.14	524.68	156.61	0.09
Reach-1	1563	500yr	652.00	474.30	481.68		481.69	0.000244	1.07	763.30	175.19	0.07
Reach-1	1513	10yr	271.00	474.00	476.79		476.88	0.006234	2.71	118.55	78.51	0.32
Reach-1	1513	50yr	418.00	474.00	478.79		478.83	0.001020	1.67	319.52	120.48	0.14
Reach-1	1513	100yr	477.00	474.00	480.22		480.24	0.000373	1.22	510.61	147.20	0.09
Reach-1	1513	500yr	652.00	474.00	481.67		481.68	0.000255	1.17	743.41	175.33	0.08
Reach-1	1422	10yr	271.00	471.64	476.52		476.57	0.002071	2.31	174.97	89.00	0.20
Reach-1	1422	50yr	418.00	471.64	478.74		478.76	0.000485	1.48	417.13	128.04	0.10
Reach-1	1422	100yr	477.00	471.64	480.20		480.21	0.000214	1.13	619.10	149.19	0.07
Reach-1	1422	500yr	652.00	471.64	481.65		481.66	0.000168	1.12	851.24	170.89	0.06
Reach-1	1284	10yr	271.00	472.20	476.44		476.45	0.000472	1.02	324.24	137.13	0.09
Reach-1	1284	50yr	418.00	472.20	478.72		478.73	0.000139	0.76	712.52	200.73	0.06
Reach-1	1284	100yr	477.00	472.20	480.19		480.20	0.000067	0.61	1036.24	238.99	0.04
Reach-1	1284	500yr	652.00	472.20	481.64		481.65	0.000054	0.62	1407.56	272.11	0.04
Reach-1	1202	10yr	269.00	469.60	476.38	472.78	476.41	0.000407	1.51	211.29	165.51	0.11
Reach-1	1202	50yr	375.00	469.60	478.69	473.25	478.71	0.000190	1.31	329.12	253.51	0.08
Reach-1	1202	100yr	431.00	469.60	480.16	473.46	480.18	0.000128	1.20	404.43	288.13	0.07
Reach-1	1202	500yr	548.00	469.60	481.62	473.87	481.64	0.000119	1.28	478.42	316.31	0.07
Reach-1	1119.5		Culvert									
Reach-1	1076	10yr	269.00	469.20	472.81	472.81	474.61	0.023811	10.75	25.02	82.43	1.00
Reach-1	1076	50yr	375.00	469.20	473.70	473.70	475.94	0.022081	12.00	31.24	120.98	1.00
Reach-1	1076	100yr	431.00	469.20	474.14	474.14	476.60	0.021346	12.56	34.31	138.88	1.00
Reach-1	1076	500yr	548.00	469.20	474.90	474.90	475.08	0.002560	4.79	190.24	165.71	0.35
Reach-1	1026	10yr	269.00	468.01	470.55		470.84	0.008148	4.61	67.07	40.86	0.54

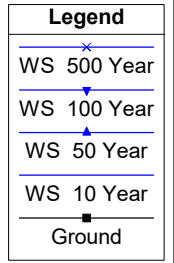
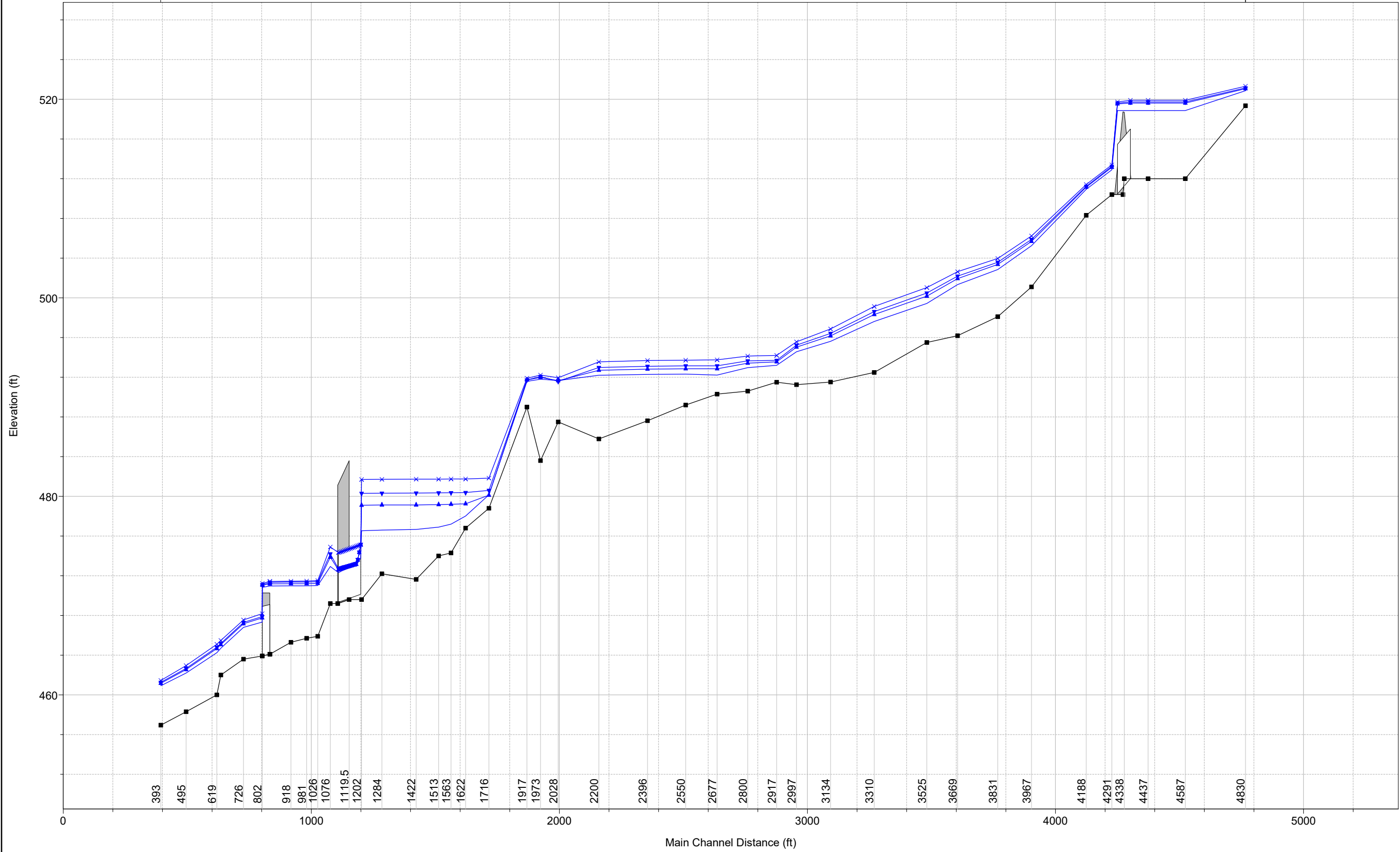
HEC-RAS Plan: PrePro River: RIVER-1 Reach: Reach-1 (Continued)

Reach	River Sta	Profile	Q Total (cfs)	Min Ch El (ft)	W.S. Elev (ft)	Crit W.S. (ft)	E.G. Elev (ft)	E.G. Slope (ft/ft)	Vel Chnl (ft/s)	Flow Area (sq ft)	Top Width (ft)	Froude # Chl
Reach-1	1026	50yr	375.00	468.01	471.06		471.40	0.007356	5.02	89.94	49.60	0.53
Reach-1	1026	100yr	431.00	468.01	471.28		471.65	0.007386	5.29	102.34	60.78	0.54
Reach-1	1026	500yr	548.00	468.01	471.77		472.13	0.006299	5.40	135.07	74.70	0.51
Reach-1	981	10yr	269.00	466.62	470.21		470.53	0.006361	5.10	69.91	40.24	0.50
Reach-1	981	50yr	375.00	466.62	470.72		471.09	0.006509	5.69	92.99	51.58	0.52
Reach-1	981	100yr	431.00	466.62	470.96		471.34	0.006384	5.87	106.17	56.75	0.52
Reach-1	981	500yr	548.00	466.62	471.45		471.85	0.006103	6.20	137.31	72.90	0.52
Reach-1	918	10yr	269.00	466.33	468.92	468.92	469.74	0.028085	7.33	38.32	25.93	0.96
Reach-1	918	50yr	375.00	466.33	469.37	469.37	470.32	0.024711	7.97	51.00	30.52	0.93
Reach-1	918	100yr	431.00	466.33	469.58	469.58	470.59	0.023794	8.29	57.53	33.49	0.93
Reach-1	918	500yr	548.00	466.33	469.89	469.89	471.09	0.024617	9.12	68.90	39.29	0.96
Reach-1	833	10yr	272.00	464.91	466.89	466.65	467.31	0.027049	5.35	53.41	38.55	0.72
Reach-1	833	50yr	381.00	464.91	467.47	466.98	467.87	0.017667	5.26	77.05	41.93	0.61
Reach-1	833	100yr	435.00	464.91	467.71	467.12	468.11	0.015799	5.31	87.02	42.81	0.59
Reach-1	833	500yr	551.00	464.91	468.13	467.42	468.57	0.013973	5.53	105.25	44.49	0.57
Reach-1	817.5		Culvert									
Reach-1	802	10yr	272.00	464.24	467.04	465.67	467.13	0.004201	2.47	110.21	61.19	0.28
Reach-1	802	50yr	381.00	464.24	467.48	465.93	467.61	0.004704	2.93	130.42	63.80	0.31
Reach-1	802	100yr	435.00	464.24	467.66	466.05	467.81	0.004994	3.14	138.70	64.90	0.32
Reach-1	802	500yr	551.00	464.24	467.97	466.29	468.17	0.005774	3.60	153.04	66.86	0.35
Reach-1	726	10yr	272.00	462.44	466.53		466.77	0.013324	4.39	78.09	54.33	0.44
Reach-1	726	50yr	381.00	462.44	466.93		467.21	0.014147	4.91	101.82	69.81	0.46
Reach-1	726	100yr	435.00	462.44	467.09		467.39	0.014472	5.12	114.62	80.77	0.47
Reach-1	726	500yr	551.00	462.44	467.40		467.73	0.014522	5.42	141.16	88.40	0.48
Reach-1	635	10yr	272.00	462.11	465.30		465.51	0.014316	4.09	82.83	61.78	0.45
Reach-1	635	50yr	381.00	462.11	465.77		465.99	0.012398	4.27	114.92	74.45	0.43
Reach-1	635	100yr	435.00	462.11	465.96		466.18	0.011988	4.37	129.07	78.40	0.43
Reach-1	635	500yr	551.00	462.11	466.31		466.54	0.011437	4.57	157.45	85.54	0.43
Reach-1	619	10yr	272.00	461.54	464.89	464.10	465.25	0.019001	5.02	63.01	41.89	0.53
Reach-1	619	50yr	381.00	461.54	465.31	464.70	465.74	0.020157	5.67	83.70	56.89	0.56

HEC-RAS Plan: PrePro River: RIVER-1 Reach: Reach-1 (Continued)

Reach	River Sta	Profile	Q Total (cfs)	Min Ch El (ft)	W.S. Elev (ft)	Crit W.S. (ft)	E.G. Elev (ft)	E.G. Slope (ft/ft)	Vel Chnl (ft/s)	Flow Area (sq ft)	Top Width (ft)	Froude # Chl
Reach-1	619	100yr	435.00	461.54	465.47	464.86	465.93	0.020659	5.93	93.35	62.12	0.57
Reach-1	619	500yr	551.00	461.54	465.39	465.39	466.20	0.037367	7.85	88.45	59.65	0.76
Reach-1	495	10yr	369.00	459.66	461.52	461.52	462.17	0.085097	6.45	57.34	51.90	0.99
Reach-1	495	50yr	524.00	459.66	461.88	461.88	462.67	0.075528	7.14	74.31	56.05	0.98
Reach-1	495	100yr	594.00	459.66	462.03	462.03	462.88	0.072303	7.40	81.84	59.03	0.97
Reach-1	495	500yr	749.00	459.66	462.90	462.34	463.46	0.029453	6.13	126.39	69.80	0.66
Reach-1	400		Culvert									
Reach-1	393	10yr	369.00	458.16	460.96	460.96	461.66	0.054951	7.33	58.69	41.27	0.87
Reach-1	393	50yr	524.00	458.16	461.36	461.36	462.20	0.053649	8.09	75.67	43.86	0.88
Reach-1	393	100yr	594.00	458.16	461.51	461.51	462.43	0.054301	8.44	82.25	44.85	0.89
Reach-1	393	500yr	749.00	458.16	461.85	461.85	462.87	0.052576	8.97	97.89	47.23	0.90

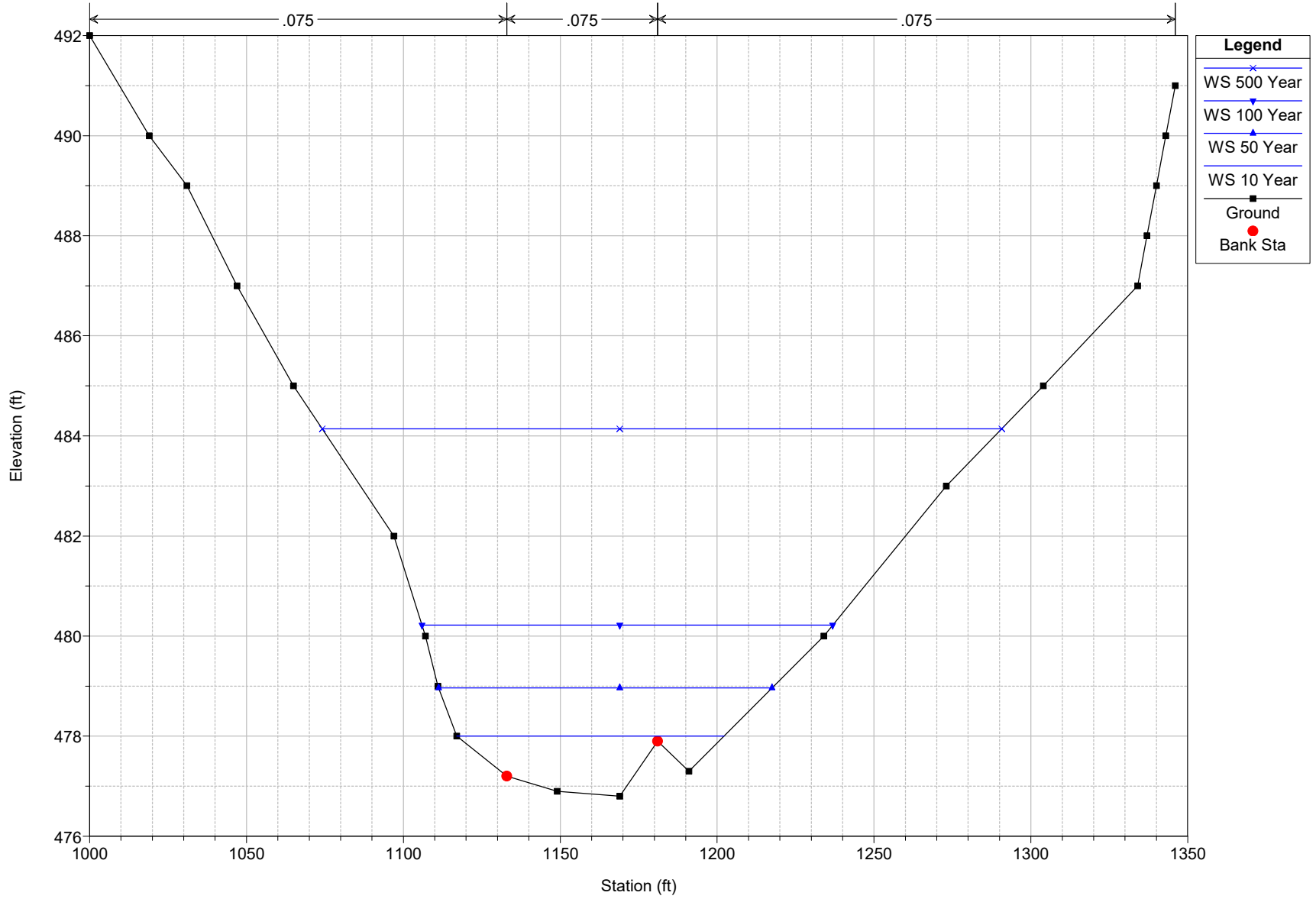
RIVER-1 Reach-1



1 in Horiz. = 400 ft 1 in Vert. = 10 ft

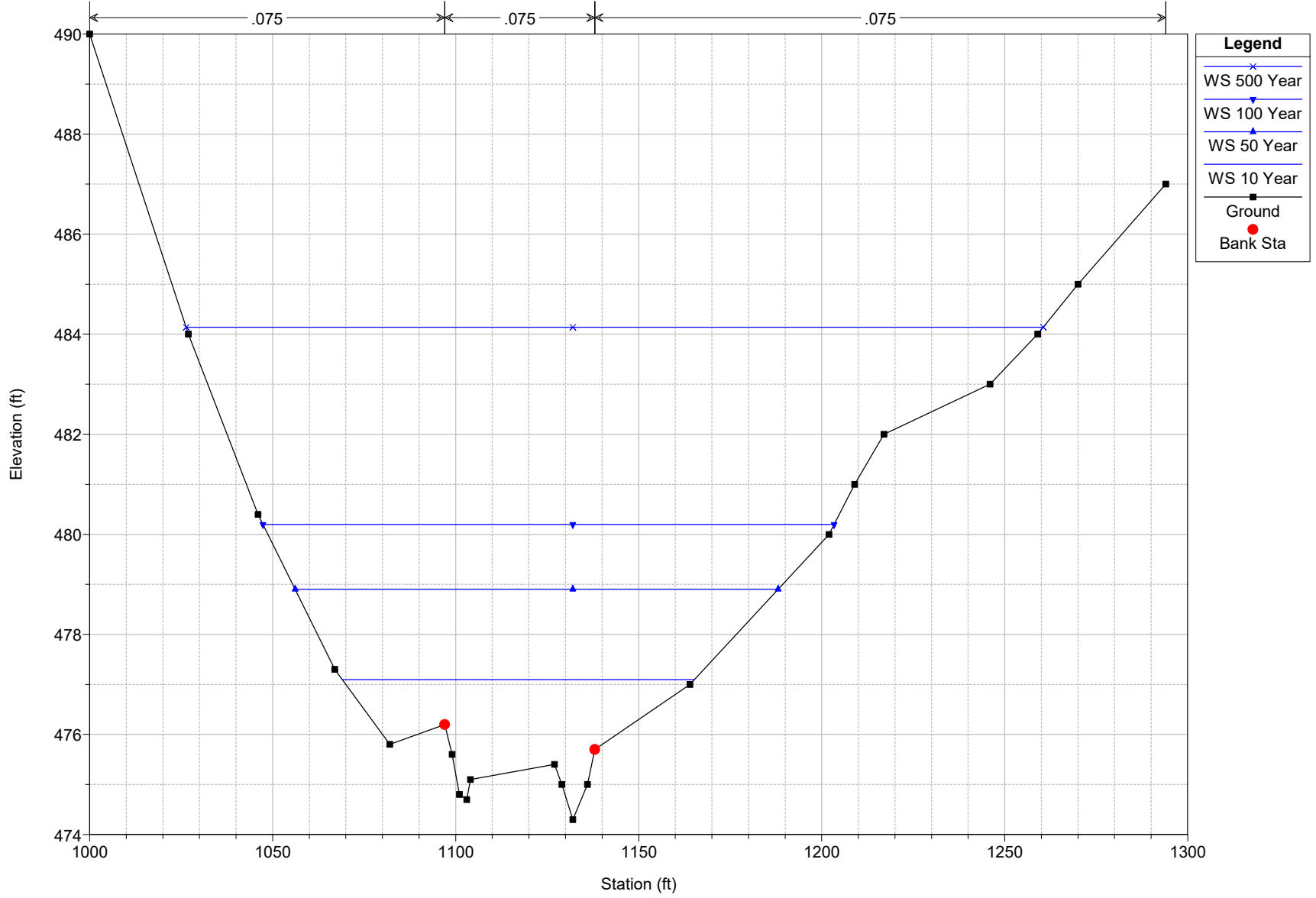
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RS = 1622 STA 1133 - 1191 surveyed 8-2021.(BE)



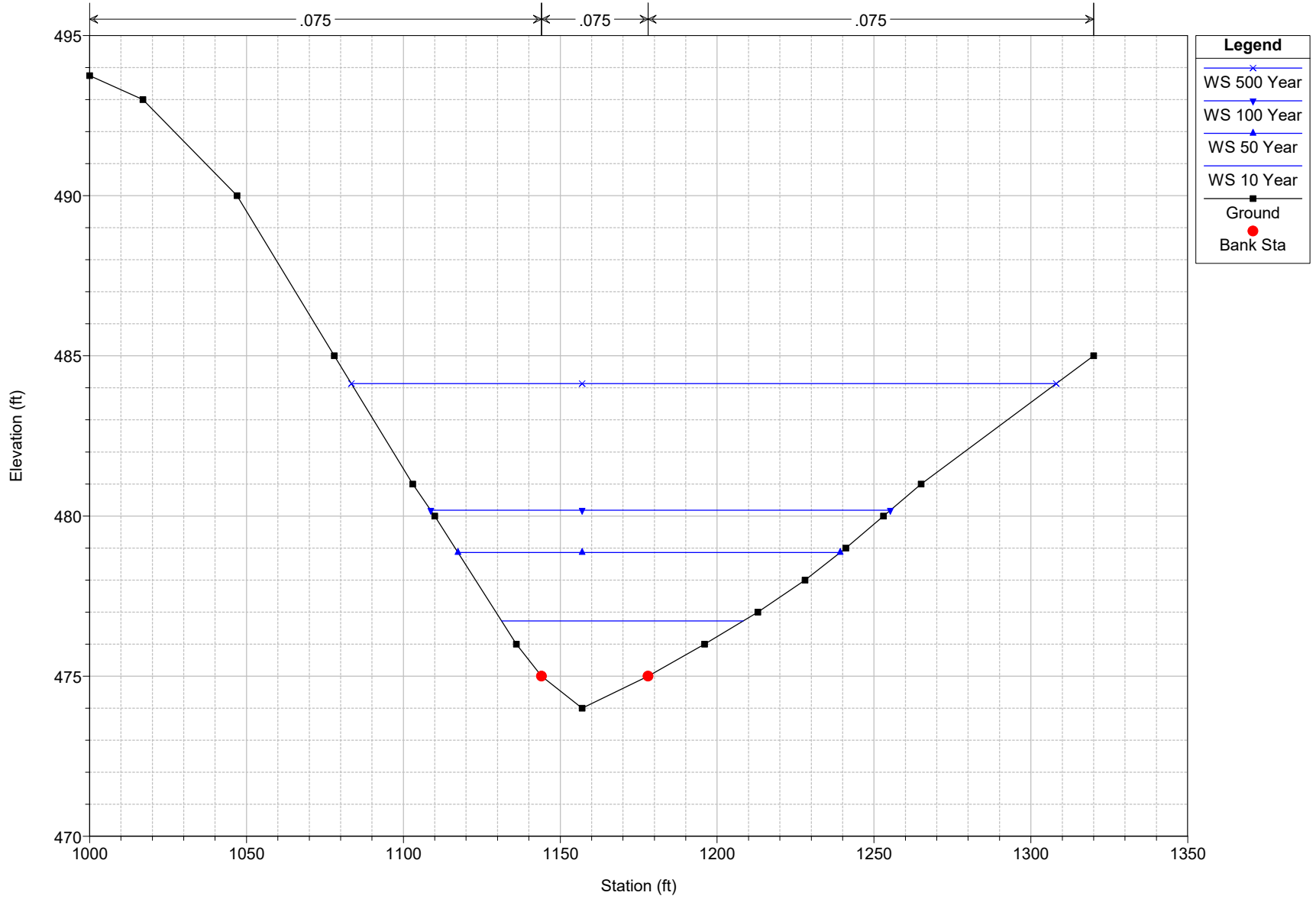
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RS = 1563 Channel surveyed 8-2021.(BE) LOB & ROB from Corwin topo.



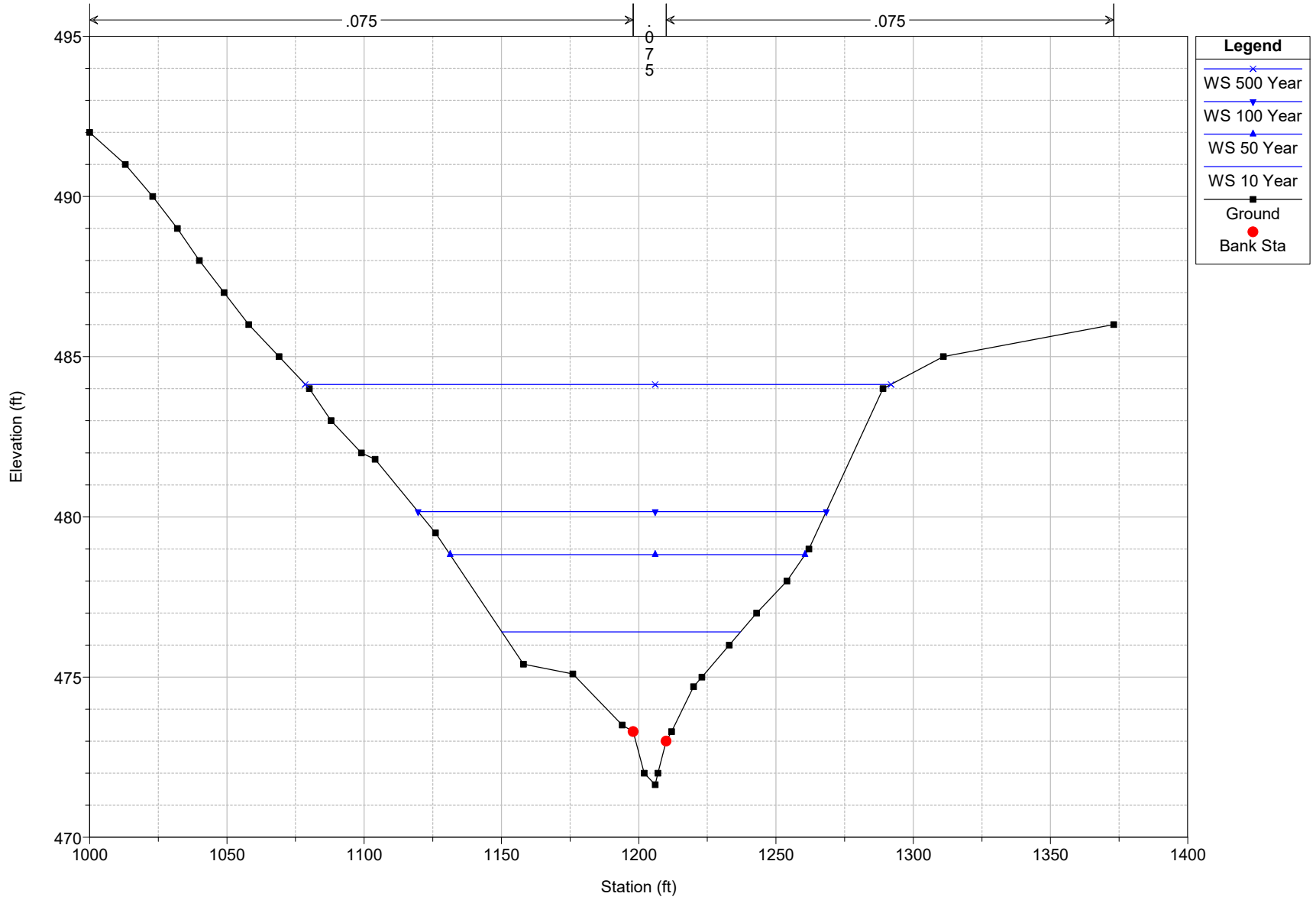
Squabble Crk Trib D Plan: Revised Existing 10/20/2021 4:24:37 PM

RS = 1513 Section from Corwin topo. (BE)



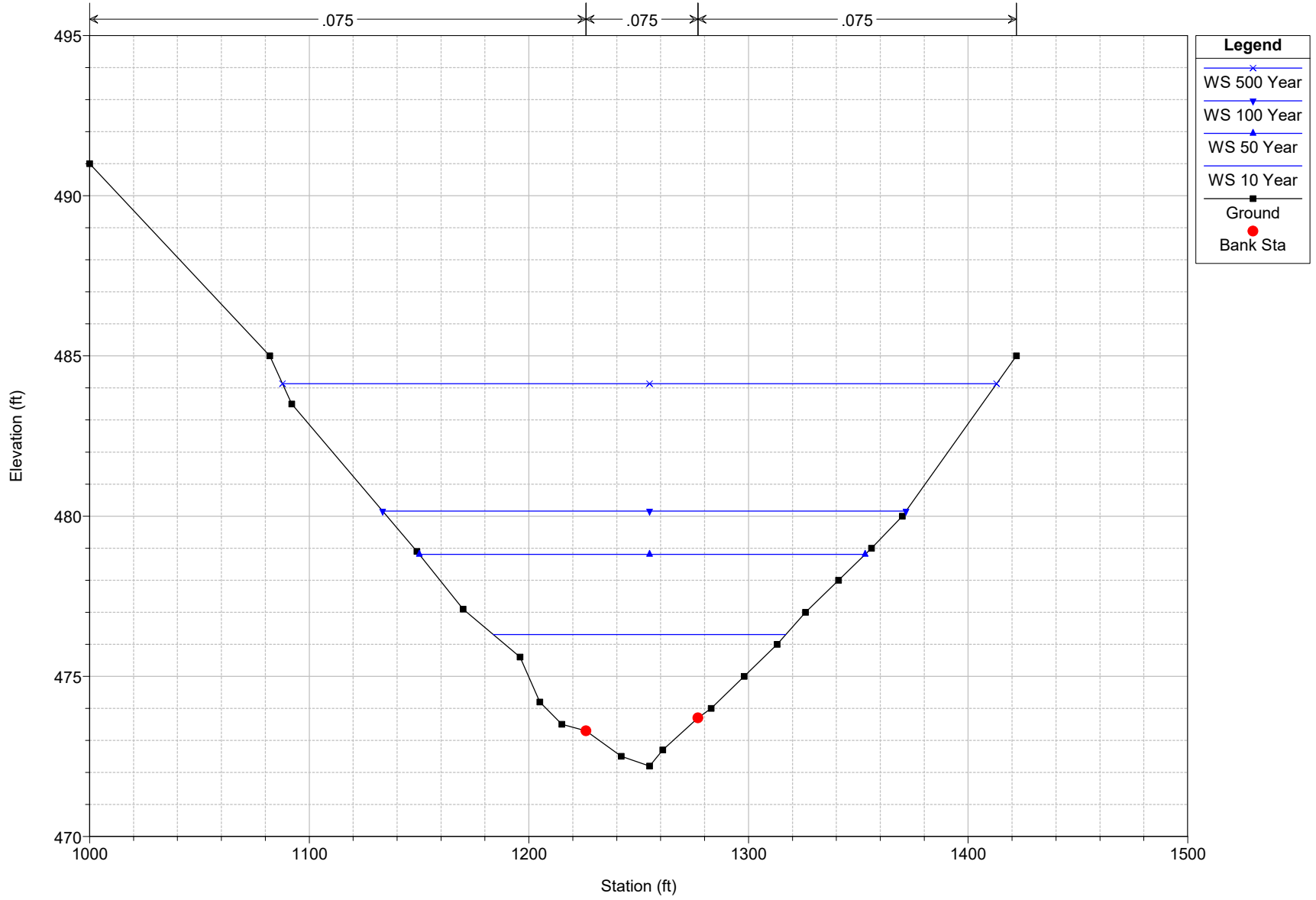
Squabble Crk Trib D Plan: Revised Existing 10/20/2021 4:24:37 PM

RS = 1422 STA 1104 - 1220 surveyed 8-2021.(BE)



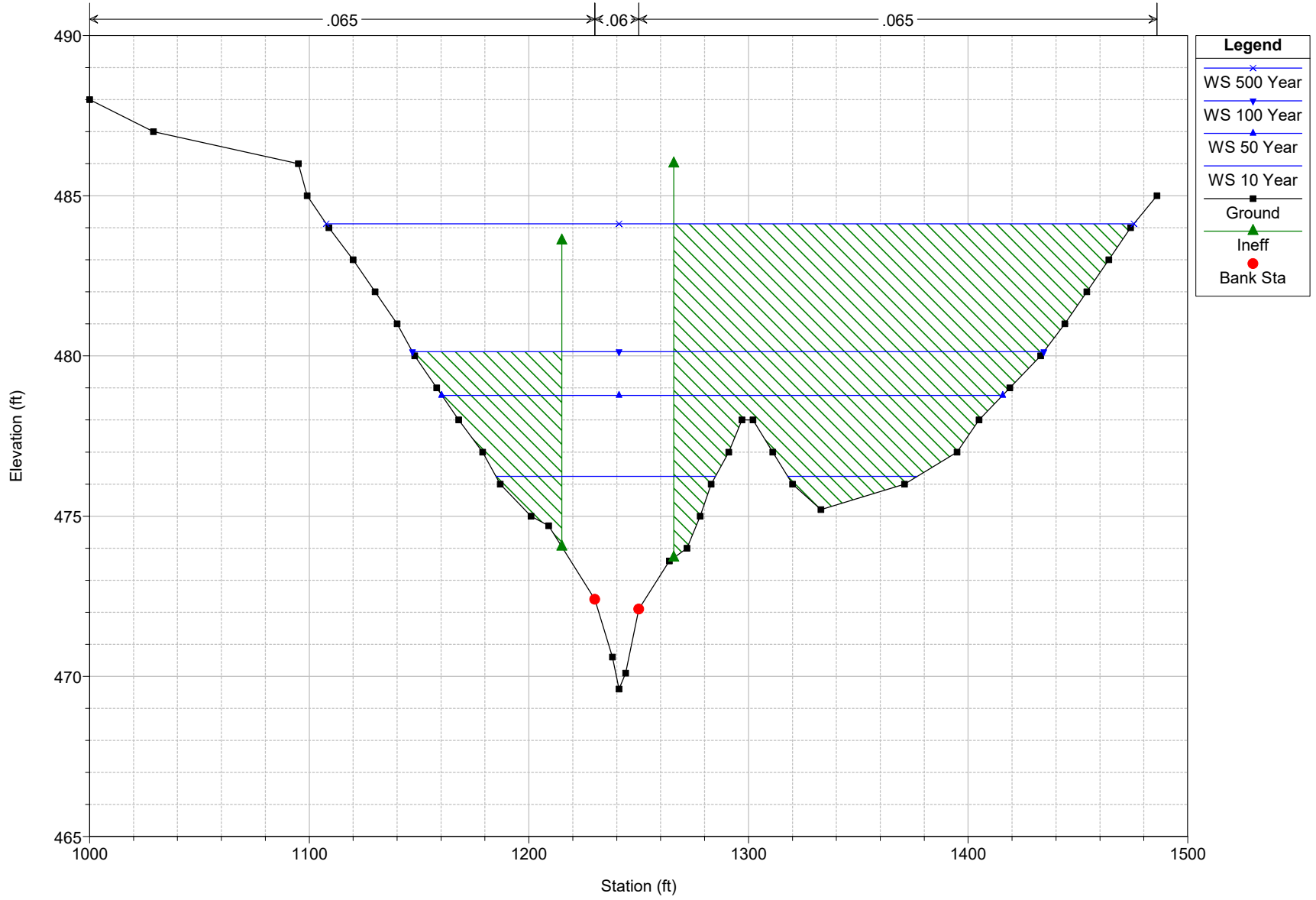
Squabble CrkTrib D Plan: Revised Existing 10/20/2021 4:24:37 PM

RS = 1284 STA 1092 - 1277 surveyed 8-2021.(BE)



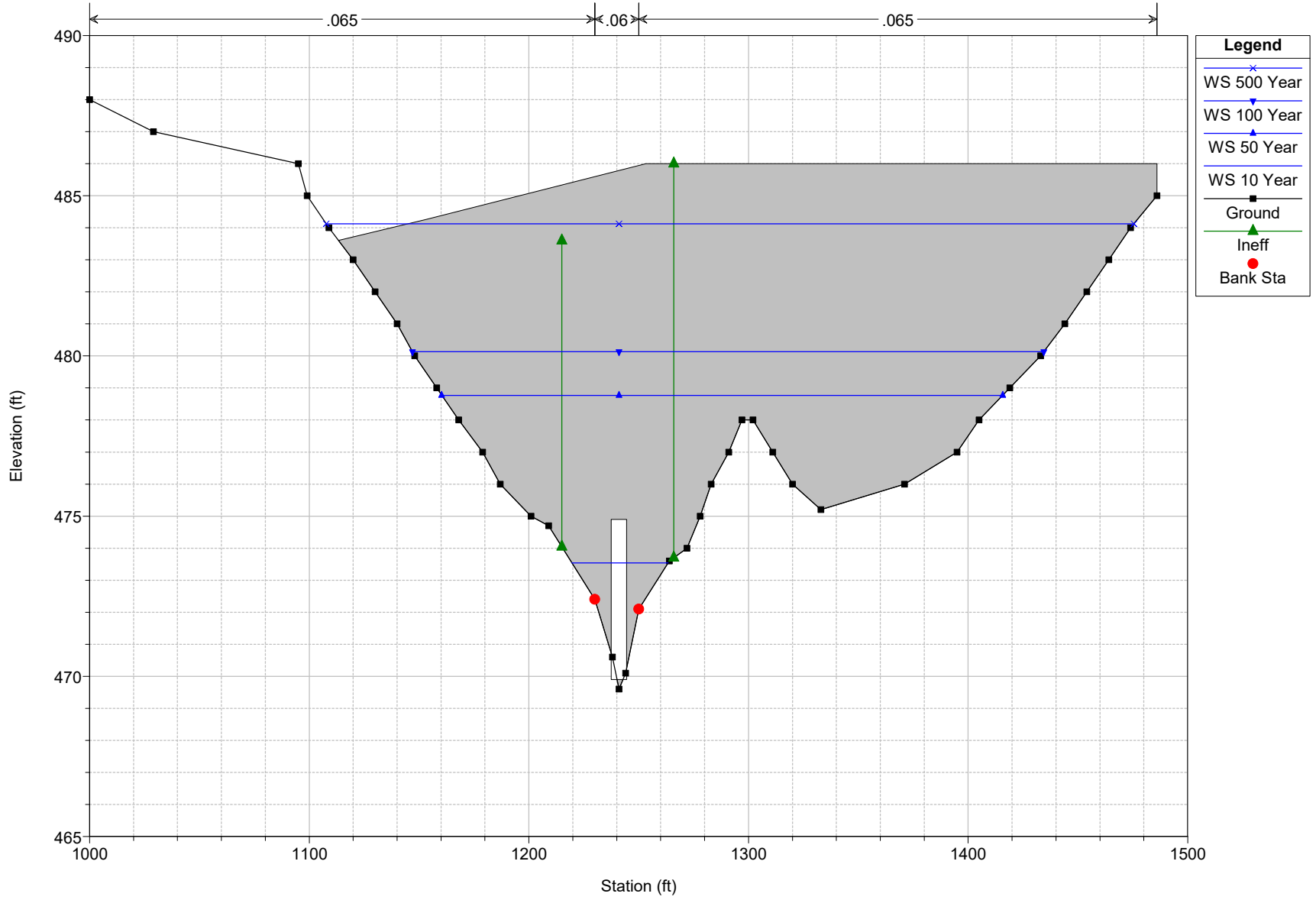
Squabble Crk Trib D Plan: Revised Existing 10/20/2021 4:24:37 PM

RS = 1202 U/S of N. Goliad St. STA 1209 - 1264 surveyed 8-2021. Ineffective



Squabble Crk Trib D Plan: Revised Existing 10/20/2021 4:24:37 PM

RS = 1119.5 Culv Culvert #2 (1 7' x 5' Box)





N

GRAPHIC SCALE
(IN FEET)
1 inch = 30 ft.

LEGEND

- 631--- EXISTING CONTOUR
- INEFFECTIVE FLOW LIMIT
- EF100— EFFECTIVE 100-YEAR FLOODPLAIN
- P100— PROPOSED 100-YEAR FLOODPLAIN
- P100— PROPOSED ULT 100YR FLOODPLAIN

BENCHMARKS

BM#1:
CITY OF ROCKWALL MONUMENT 14
NAVD88
ELEV.=497.13

BANNISTER
ENGINEERING

240 N. Mitchell Road | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax
REGISTRATION # F-10599 (TEXAS)

STONE CREEK RETAIL
ROCKWALL, TEXAS
PROPOSED HYDRAULIC WORK MAP

No.	Date	Revision Description

PROJECT NO.: 262-21-001

STATE OF TEXAS
MICHAEL J. MOORE
284495
PROFESSIONAL ENGINEER

Michael J. Moore
3/15/2022

SHEET NUMBER

HEC-RAS Plan: Post-Proj River: RIVER-1 Reach: Reach-1

Reach	River Sta	Profile	Q Total (cfs)	Min Ch El (ft)	W.S. Elev (ft)	Crit W.S. (ft)	E.G. Elev (ft)	E.G. Slope (ft/ft)	Vel Chnl (ft/s)	Flow Area (sq ft)	Top Width (ft)	Froude # Chl
Reach-1	4830	10 Year	282.80	519.35	520.87	520.87	521.29	0.025442	5.22	54.13	65.25	1.01
Reach-1	4830	50 Year	380.30	519.35	521.06	521.06	521.56	0.024427	5.65	67.39	72.18	1.02
Reach-1	4830	100 Year	428.80	519.35	521.15	521.15	521.68	0.023297	5.84	73.74	75.26	1.01
Reach-1	4830	500 Year	532.40	519.35	521.32	521.32	521.92	0.021548	6.21	87.15	81.38	0.99
Reach-1	4587	10 Year	282.80	513.00	518.86		518.87	0.000044	0.69	430.47	117.28	0.06
Reach-1	4587	50 Year	380.30	513.00	519.62		519.63	0.000047	0.78	525.32	135.41	0.06
Reach-1	4587	100 Year	428.80	513.00	519.73		519.74	0.000055	0.86	540.77	138.23	0.06
Reach-1	4587	500 Year	532.40	513.00	519.89		519.91	0.000076	1.03	563.88	142.35	0.08
Reach-1	4437	10 Year	221.00	513.00	518.87	513.47	518.87	0.000005	0.24	926.41	201.01	0.02
Reach-1	4437	50 Year	335.20	513.00	519.62	513.61	519.62	0.000008	0.31	1083.55	217.60	0.02
Reach-1	4437	100 Year	390.40	513.00	519.73	513.68	519.73	0.000010	0.35	1108.31	220.27	0.03
Reach-1	4437	500 Year	493.30	513.00	519.90	513.80	519.90	0.000014	0.43	1145.06	224.17	0.03
Reach-1	4338		Culvert									
Reach-1	4291	10 Year	272.80	510.40	512.89	512.89	513.25	0.028885	5.18	66.91	100.17	0.83
Reach-1	4291	50 Year	409.00	510.40	513.15	513.15	513.54	0.028737	5.59	95.01	113.44	0.84
Reach-1	4291	100 Year	479.10	510.40	513.25	513.25	513.66	0.029747	5.86	105.98	116.21	0.87
Reach-1	4291	500 Year	623.10	510.40	513.41	513.41	513.90	0.032533	6.42	124.98	120.85	0.92
Reach-1	4188	10 Year	272.80	508.32	510.93	510.68	511.05	0.017514	3.45	106.19	127.12	0.47
Reach-1	4188	50 Year	409.00	508.32	511.15	510.83	511.31	0.019117	3.91	134.76	130.67	0.50
Reach-1	4188	100 Year	479.10	508.32	511.24	510.92	511.42	0.020174	4.15	146.88	132.32	0.52
Reach-1	4188	500 Year	623.10	508.32	511.41	511.06	511.63	0.021960	4.57	169.63	135.38	0.55
Reach-1	3967	10 Year	272.80	501.10	505.24	505.24	505.74	0.036683	6.03	55.71	58.76	0.68
Reach-1	3967	50 Year	409.00	501.10	505.69	505.59	506.16	0.031380	6.25	85.16	73.06	0.65
Reach-1	3967	100 Year	479.10	501.10	505.89	505.74	506.34	0.028808	6.26	100.58	79.53	0.63
Reach-1	3967	500 Year	623.10	501.10	506.23		506.67	0.025430	6.31	128.62	85.54	0.60
Reach-1	3831	10 Year	272.80	498.10	502.86		503.01	0.011138	3.28	88.38	45.66	0.38
Reach-1	3831	50 Year	409.00	498.10	503.37		503.57	0.012865	3.81	114.80	55.84	0.41
Reach-1	3831	100 Year	479.10	498.10	503.58		503.81	0.013304	4.07	126.49	58.50	0.43
Reach-1	3831	500 Year	623.10	498.10	503.96		504.24	0.013766	4.51	150.16	63.54	0.44
Reach-1	3669	10 Year	272.80	496.18	501.34		501.49	0.009474	3.50	97.14	66.90	0.36

HEC-RAS Plan: Post-Proj River: RIVER-1 Reach: Reach-1 (Continued)

Reach	River Sta	Profile	Q Total	Min Ch El	W.S. Elev	Crit W.S.	E.G. Elev	E.G. Slope	Vel Chnl	Flow Area	Top Width	Froude # Chl
			(cfs)	(ft)	(ft)	(ft)	(ft)	(ft/ft)	(ft/s)	(sq ft)	(ft)	
Reach-1	3669	50 Year	409.00	496.18	501.93		502.08	0.008351	3.54	138.10	71.48	0.34
Reach-1	3669	100 Year	479.10	496.18	502.19		502.34	0.007954	3.61	156.49	74.02	0.34
Reach-1	3669	500 Year	623.10	496.18	502.64		502.81	0.007470	3.79	191.09	78.93	0.34
Reach-1	3525	10 Year	272.80	495.50	499.43		499.78	0.021679	4.75	58.19	30.05	0.56
Reach-1	3525	50 Year	409.00	495.50	500.17		500.57	0.019240	5.14	84.12	40.85	0.54
Reach-1	3525	100 Year	479.10	495.50	500.48		500.89	0.018499	5.30	97.52	46.09	0.54
Reach-1	3525	500 Year	623.10	495.50	501.03		501.46	0.017060	5.51	125.54	55.36	0.53
Reach-1	3310	10 Year	272.80	492.48	497.61		497.71	0.005232	2.53	107.87	42.71	0.28
Reach-1	3310	50 Year	409.00	492.48	498.32		498.46	0.005731	2.91	140.53	49.72	0.30
Reach-1	3310	100 Year	479.10	492.48	498.62		498.77	0.005955	3.09	155.64	53.10	0.31
Reach-1	3310	500 Year	623.10	492.48	499.13		499.31	0.006414	3.42	184.32	59.50	0.33
Reach-1	3134	10 Year	272.80	491.51	495.61		495.98	0.023895	4.98	58.90	36.49	0.58
Reach-1	3134	50 Year	409.00	491.51	496.17		496.61	0.024250	5.57	81.76	45.51	0.60
Reach-1	3134	100 Year	479.10	491.51	496.42		496.88	0.024163	5.79	93.28	49.58	0.60
Reach-1	3134	500 Year	623.10	491.51	496.87		497.37	0.023271	6.08	117.44	57.20	0.60
Reach-1	2997	10 Year	303.70	491.25	494.56		494.64	0.004711	2.37	138.05	74.88	0.27
Reach-1	2997	50 Year	452.40	491.25	495.04		495.14	0.005251	2.81	174.98	81.53	0.29
Reach-1	2997	100 Year	530.10	491.25	495.24		495.37	0.005483	3.01	192.10	84.62	0.30
Reach-1	2997	500 Year	691.20	491.25	495.56		495.72	0.006290	3.44	220.04	89.43	0.33
Reach-1	2917	10 Year	303.70	491.50	493.20	493.20	493.72	0.062827	6.20	55.28	55.23	0.91
Reach-1	2917	50 Year	452.40	491.50	493.55	493.55	494.16	0.058026	6.86	75.79	63.63	0.90
Reach-1	2917	100 Year	530.10	491.50	493.70	493.70	494.36	0.056110	7.14	86.06	67.44	0.90
Reach-1	2917	500 Year	691.20	491.50	494.20		494.75	0.036216	6.67	122.54	79.52	0.75
Reach-1	2800	10 Year	303.70	490.60	492.98		493.00	0.001201	1.24	250.40	138.69	0.16
Reach-1	2800	50 Year	452.40	490.60	493.42		493.45	0.001325	1.49	312.59	144.40	0.17
Reach-1	2800	100 Year	530.10	490.60	493.65		493.69	0.001313	1.58	347.06	147.47	0.17
Reach-1	2800	500 Year	691.20	490.60	494.14		494.18	0.001236	1.72	419.93	153.76	0.17
Reach-1	2677	10 Year	303.70	490.30	492.21	492.15	492.55	0.032671	5.55	73.29	86.01	0.78
Reach-1	2677	50 Year	452.40	490.30	492.85		493.05	0.013683	4.51	135.96	110.28	0.54
Reach-1	2677	100 Year	530.10	490.30	493.15		493.33	0.009900	4.19	171.01	119.22	0.47
Reach-1	2677	500 Year	691.20	490.30	493.74		493.88	0.005963	3.74	244.98	131.60	0.37

HEC-RAS Plan: Post-Proj River: RIVER-1 Reach: Reach-1 (Continued)

Reach	River Sta	Profile	Q Total (cfs)	Min Ch El (ft)	W.S. Elev (ft)	Crit W.S. (ft)	E.G. Elev (ft)	E.G. Slope (ft/ft)	Vel Chnl (ft/s)	Flow Area (sq ft)	Top Width (ft)	Froude # Chl
Reach-1	2550	10 Year	303.70	489.63	492.32		492.34	0.000270	1.16	303.29	144.05	0.13
Reach-1	2550	50 Year	452.40	489.63	492.86		492.89	0.000305	1.39	384.05	155.11	0.14
Reach-1	2550	100 Year	530.10	489.63	493.14		493.17	0.000306	1.48	429.02	161.23	0.14
Reach-1	2550	500 Year	691.20	489.63	493.72		493.75	0.000297	1.61	525.05	174.12	0.14
Reach-1	2396	10 Year	270.70	489.63	492.28		492.30	0.000248	1.05	270.77	124.71	0.12
Reach-1	2396	50 Year	416.40	489.63	492.81		492.84	0.000306	1.31	339.70	134.32	0.14
Reach-1	2396	100 Year	484.70	489.63	493.10		493.13	0.000303	1.38	382.92	227.01	0.14
Reach-1	2396	500 Year	628.80	489.63	493.68		493.71	0.000268	1.45	517.24	237.64	0.13
Reach-1	2200	10 Year	270.70	489.63	492.19		492.23	0.000539	1.49	183.10	82.84	0.17
Reach-1	2200	50 Year	416.40	489.63	492.70		492.75	0.000670	1.87	225.78	86.47	0.20
Reach-1	2200	100 Year	484.70	489.63	492.98		493.04	0.000663	1.97	250.48	88.51	0.20
Reach-1	2200	500 Year	628.80	489.63	493.56		493.63	0.000616	2.11	326.36	240.58	0.20
Reach-1	2028	10 Year	270.70	487.50	491.66		491.96	0.013208	4.35	62.34	28.40	0.52
Reach-1	2028	50 Year	416.40	487.50	491.65		492.35	0.031961	6.74	61.86	28.33	0.80
Reach-1	2028	100 Year	484.70	487.50	491.58	491.54	492.60	0.047555	8.09	59.92	28.06	0.98
Reach-1	2028	500 Year	628.80	487.50	491.96	491.96	493.18	0.049168	8.89	70.78	29.53	1.01
Reach-1	1973	10 Year	270.70	488.58	491.81		491.81	0.000014	0.30	908.58	290.49	0.03
Reach-1	1973	50 Year	416.40	488.58	491.99		491.99	0.000028	0.44	961.51	291.76	0.04
Reach-1	1973	100 Year	484.70	488.58	492.07		492.08	0.000034	0.50	986.86	292.53	0.05
Reach-1	1973	500 Year	628.80	488.58	492.21		492.22	0.000051	0.62	1027.78	293.77	0.06
Reach-1	1917	10 Year	270.70	489.00	491.58	491.58	491.78	0.026535	5.28	98.52	218.46	0.74
Reach-1	1917	50 Year	416.40	489.00	491.72	491.72	491.96	0.029801	5.93	131.47	239.74	0.80
Reach-1	1917	100 Year	484.70	489.00	491.74	491.74	492.04	0.037775	6.71	134.85	241.82	0.90
Reach-1	1917	500 Year	628.80	489.00	491.90	491.90	492.18	0.033371	6.69	177.20	287.74	0.86
Reach-1	1716	10 Year	270.70	478.80	480.16		480.22	0.008591	2.05	132.33	128.70	0.35
Reach-1	1716	50 Year	416.40	478.80	480.13		480.29	0.022367	3.25	128.49	127.81	0.56
Reach-1	1716	100 Year	484.70	478.80	480.60		480.70	0.008562	2.57	191.46	141.73	0.37
Reach-1	1716	500 Year	628.80	478.80	481.82		481.86	0.001727	1.72	385.73	173.75	0.18
Reach-1	1622	10 Year	279.70	476.80	478.01	478.01	478.37	0.069060	5.10	60.97	82.65	0.91
Reach-1	1622	50 Year	391.30	476.80	479.19		479.28	0.006118	2.58	165.95	94.63	0.31

HEC-RAS Plan: Post-Proj River: RIVER-1 Reach: Reach-1 (Continued)

Reach	River Sta	Profile	Q Total (cfs)	Min Ch El (ft)	W.S. Elev (ft)	Crit W.S. (ft)	E.G. Elev (ft)	E.G. Slope (ft/ft)	Vel Chnl (ft/s)	Flow Area (sq ft)	Top Width (ft)	Froude # Chl
Reach-1	1622	100 Year	435.70	476.80	480.35		480.39	0.001467	1.68	281.25	104.78	0.16
Reach-1	1622	500 Year	551.50	476.80	481.74		481.77	0.000617	1.38	435.93	117.93	0.11
Reach-1	1563	10 Year	279.70	474.30	476.96		477.08	0.010076	2.93	113.27	99.90	0.38
Reach-1	1563	50 Year	391.30	474.30	479.16		479.18	0.000602	1.22	359.69	122.77	0.11
Reach-1	1563	100 Year	435.70	474.30	480.34		480.35	0.000251	0.93	511.17	134.75	0.07
Reach-1	1563	500 Year	551.50	474.30	481.74		481.75	0.000147	0.84	709.86	150.11	0.06
Reach-1	1513	10 Year	279.70	474.00	476.77		476.81	0.003089	1.90	199.53	162.82	0.22
Reach-1	1513	50 Year	391.30	474.00	479.16		479.17	0.000181	0.74	614.52	184.38	0.06
Reach-1	1513	100 Year	435.70	474.00	480.34		480.35	0.000084	0.59	838.79	195.38	0.04
Reach-1	1513	500 Year	551.50	474.00	481.74		481.74	0.000054	0.54	1121.03	208.44	0.04
Reach-1	1422	10 Year	279.70	471.64	476.69		476.70	0.000494	1.16	322.17	127.06	0.10
Reach-1	1422	50 Year	391.30	471.64	479.15		479.15	0.000102	0.71	659.36	147.47	0.05
Reach-1	1422	100 Year	435.70	471.64	480.33		480.34	0.000060	0.60	840.32	157.33	0.04
Reach-1	1422	500 Year	551.50	471.64	481.73		481.74	0.000045	0.58	1068.36	168.95	0.03
Reach-1	1328	10 Year	279.70	471.90	476.61		476.64	0.000994	1.64	232.05	99.56	0.14
Reach-1	1328	50 Year	391.30	471.90	479.13		479.14	0.000193	0.98	539.53	144.59	0.07
Reach-1	1328	100 Year	435.70	471.90	480.33		480.33	0.000101	0.79	720.97	157.10	0.05
Reach-1	1328	500 Year	551.50	471.90	481.73		481.73	0.000070	0.73	948.81	168.30	0.04
Reach-1	1284	10 Year	279.70	472.20	476.59		476.61	0.000483	1.06	292.84	111.49	0.10
Reach-1	1284	50 Year	391.30	472.20	479.13		479.13	0.000113	0.72	634.58	158.94	0.05
Reach-1	1284	100 Year	435.70	472.20	480.32		480.33	0.000065	0.61	837.53	178.88	0.04
Reach-1	1284	500 Year	551.50	472.20	481.72		481.73	0.000047	0.58	1096.14	190.24	0.03
Reach-1	1202	10 Year	279.70	469.60	476.54	472.82	476.57	0.000392	1.51	219.14	149.81	0.11
Reach-1	1202	50 Year	391.30	469.60	479.10	473.32	479.12	0.000170	1.28	349.48	224.45	0.08
Reach-1	1202	100 Year	435.70	469.60	480.30	473.47	480.32	0.000124	1.20	410.75	245.08	0.07
Reach-1	1202	500 Year	551.50	469.60	481.70	473.88	481.72	0.000118	1.28	482.06	256.49	0.07
Reach-1	1119.5		Culvert									
Reach-1	1076	10 Year	282.00	469.20	472.93	472.93	474.78	0.023479	10.91	25.85	87.56	1.00
Reach-1	1076	50 Year	395.80	469.20	473.87	473.87	476.19	0.021797	12.22	32.39	128.13	1.00
Reach-1	1076	100 Year	440.80	469.20	474.20	474.20	476.71	0.021461	12.70	34.72	140.97	1.00

HEC-RAS Plan: Post-Proj River: RIVER-1 Reach: Reach-1 (Continued)

Reach	River Sta	Profile	Q Total (cfs)	Min Ch El (ft)	W.S. Elev (ft)	Crit W.S. (ft)	E.G. Elev (ft)	E.G. Slope (ft/ft)	Vel Chnl (ft/s)	Flow Area (sq ft)	Top Width (ft)	Froude # Chl
Reach-1	1076	500 Year	555.70	469.20	474.90	474.90	475.09	0.002633	4.85	190.24	165.71	0.36
Reach-1	1026	10 Year	282.00	465.90	471.01		471.06	0.000698	1.99	181.74	85.91	0.17
Reach-1	1026	50 Year	395.80	465.90	471.24		471.32	0.001080	2.56	202.38	93.46	0.22
Reach-1	1026	100 Year	440.80	465.90	471.40		471.49	0.001136	2.69	217.83	98.73	0.22
Reach-1	1026	500 Year	555.70	465.90	471.51		471.65	0.001612	3.26	229.14	102.43	0.27
Reach-1	981	10 Year	282.00	465.70	470.99		471.03	0.000553	1.85	200.66	97.08	0.16
Reach-1	981	50 Year	395.80	465.70	471.20		471.28	0.000872	2.40	222.73	105.91	0.20
Reach-1	981	100 Year	440.80	465.70	471.36		471.44	0.000921	2.52	240.09	112.38	0.20
Reach-1	981	500 Year	555.70	465.70	471.46		471.58	0.001331	3.07	251.04	116.27	0.25
Reach-1	918	10 Year	282.00	465.30	470.98		471.00	0.000248	1.24	310.87	138.11	0.10
Reach-1	918	50 Year	395.80	465.30	471.20		471.23	0.000390	1.61	341.55	145.46	0.13
Reach-1	918	100 Year	440.80	465.30	471.36		471.39	0.000411	1.69	365.21	150.88	0.14
Reach-1	918	500 Year	555.70	465.30	471.45		471.50	0.000595	2.06	379.59	154.08	0.17
Reach-1	833	10 Year	282.00	464.10	470.97	468.82	470.98	0.000154	1.01	445.86	201.91	0.07
Reach-1	833	50 Year	395.80	464.10	471.18	469.99	471.19	0.000276	1.38	489.21	211.73	0.09
Reach-1	833	100 Year	440.80	464.10	471.34	470.27	471.35	0.000286	1.43	523.46	217.95	0.09
Reach-1	833	500 Year	555.70	464.10	471.43	470.27	471.45	0.000414	1.73	542.53	221.34	0.11
Reach-1	817.5		Culvert									
Reach-1	802	10 Year	282.00	463.92	467.34	466.81	467.44	0.005690	3.52	134.62	107.33	0.34
Reach-1	802	50 Year	395.80	463.92	467.74	466.81	467.85	0.005549	3.76	182.16	128.59	0.34
Reach-1	802	100 Year	440.80	463.92	467.88	466.82	467.99	0.005497	3.83	200.36	135.85	0.35
Reach-1	802	500 Year	555.70	463.92	468.18	467.06	468.29	0.005376	3.99	243.25	146.09	0.35
Reach-1	726	10 Year	282.00	463.60	466.81		466.93	0.008483	2.84	107.79	76.39	0.34
Reach-1	726	50 Year	395.80	463.60	467.17		467.32	0.008976	3.24	138.43	91.08	0.36
Reach-1	726	100 Year	440.80	463.60	467.30		467.46	0.009085	3.37	150.37	96.20	0.37
Reach-1	726	500 Year	555.70	463.60	467.56		467.75	0.009732	3.71	176.62	106.60	0.38
Reach-1	635	10 Year	282.00	462.00	464.69	464.69	465.28	0.055775	6.34	49.72	48.27	0.84
Reach-1	635	50 Year	395.80	462.00	465.06	465.06	465.67	0.048502	6.71	69.95	61.60	0.81
Reach-1	635	100 Year	440.80	462.00	465.18	465.18	465.81	0.047404	6.87	77.23	65.74	0.81
Reach-1	635	500 Year	555.70	462.00	465.48	465.45	466.10	0.041128	6.97	99.15	76.87	0.77

HEC-RAS Plan: Post-Proj River: RIVER-1 Reach: Reach-1 (Continued)

Reach	River Sta	Profile	Q Total	Min Ch El	W.S. Elev	Crit W.S.	E.G. Elev	E.G. Slope	Vel Chnl	Flow Area	Top Width	Froude # Chl
			(cfs)	(ft)	(ft)	(ft)	(ft)	(ft/ft)	(ft/s)	(sq ft)	(ft)	
Reach-1	619	10 Year	282.00	460.00	464.25		464.55	0.018752	4.45	64.29	35.08	0.50
Reach-1	619	50 Year	395.80	460.00	464.66		465.07	0.020718	5.19	82.06	50.78	0.54
Reach-1	619	100 Year	440.80	460.00	464.80		465.24	0.021169	5.42	89.57	56.11	0.55
Reach-1	619	500 Year	555.70	460.00	465.11		465.61	0.022059	5.90	108.69	67.81	0.57
Reach-1	495	10 Year	282.00	458.30	462.20		462.37	0.016112	3.28	86.59	60.43	0.45
Reach-1	495	50 Year	395.80	458.30	462.56		462.77	0.015970	3.72	111.07	76.60	0.46
Reach-1	495	100 Year	440.80	458.30	462.67		462.90	0.016008	3.87	120.53	82.00	0.47
Reach-1	495	500 Year	555.70	458.30	462.94		463.20	0.016084	4.20	144.27	94.20	0.48
Reach-1	393	10 Year	282.00	456.95	460.91	459.87	461.07	0.010542	3.50	103.01	95.31	0.39
Reach-1	393	50 Year	395.80	456.95	461.17	460.61	461.37	0.012367	4.04	129.30	106.93	0.42
Reach-1	393	100 Year	440.80	456.95	461.26	460.74	461.48	0.012933	4.22	139.10	110.95	0.44
Reach-1	393	500 Year	555.70	456.95	461.45	460.94	461.71	0.014548	4.67	160.99	119.45	0.47

HEC-RAS Plan: Post-Proj River: RIVER-1 Reach: Reach-1

Reach	River Sta	Profile	Q Total	Min Ch El	W.S. Elev	Crit W.S.	E.G. Elev	E.G. Slope	Vel Chnl	Flow Area	Top Width	Froude # Chl
			(cfs)	(ft)	(ft)	(ft)	(ft)	(ft/ft)	(ft/s)	(sq ft)	(ft)	
Reach-1	4830	10yr	294.00	519.35	520.89	520.89	521.32	0.025262	5.26	55.84	66.19	1.01
Reach-1	4830	50yr	392.00	519.35	521.08	521.08	521.59	0.024217	5.70	68.85	72.90	1.01
Reach-1	4830	100yr	441.00	519.35	521.17	521.17	521.71	0.022900	5.88	75.49	76.09	1.00
Reach-1	4830	500yr	544.00	519.35	521.34	521.34	521.94	0.021345	6.25	88.70	82.06	0.99
Reach-1	4587	10yr	294.00	513.00	518.52		518.53	0.000062	0.78	391.12	110.37	0.06
Reach-1	4587	50yr	392.00	513.00	519.59		519.60	0.000050	0.81	521.85	134.77	0.06
Reach-1	4587	100yr	441.00	513.00	519.73		519.74	0.000058	0.89	540.59	138.20	0.07
Reach-1	4587	500yr	544.00	513.00	519.89		519.90	0.000080	1.06	563.04	142.20	0.08
Reach-1	4437	10yr	204.00	513.00	518.52	513.44	518.52	0.000006	0.24	857.91	195.92	0.02
Reach-1	4437	50yr	324.00	513.00	519.59	513.60	519.59	0.000007	0.30	1078.05	217.00	0.02
Reach-1	4437	100yr	378.00	513.00	519.73	513.67	519.73	0.000009	0.34	1108.10	220.24	0.03
Reach-1	4437	500yr	481.00	513.00	519.89	513.78	519.89	0.000013	0.42	1143.84	224.05	0.03
Reach-1	4338		Culvert									
Reach-1	4291	10yr	204.00	510.40	512.70	512.70	513.05	0.029995	5.00	48.89	80.77	0.83
Reach-1	4291	50yr	324.00	510.40	513.01	513.01	513.37	0.028699	5.32	78.82	109.22	0.83
Reach-1	4291	100yr	378.00	510.40	513.11	513.11	513.48	0.028395	5.47	89.70	112.07	0.84
Reach-1	4291	500yr	481.00	510.40	513.25	513.25	513.67	0.029759	5.87	106.28	116.28	0.87
Reach-1	4188	10yr	204.00	508.32	510.82	510.58	510.91	0.014858	3.04	92.35	125.82	0.43
Reach-1	4188	50yr	324.00	508.32	511.02	510.75	511.15	0.017870	3.61	118.18	128.36	0.48
Reach-1	4188	100yr	378.00	508.32	511.11	510.81	511.25	0.018552	3.80	129.23	129.90	0.49
Reach-1	4188	500yr	481.00	508.32	511.25	510.92	511.43	0.019607	4.11	148.64	132.56	0.51
Reach-1	3967	10yr	204.00	501.10	504.78	504.65	505.36	0.052446	6.25	34.82	27.40	0.79
Reach-1	3967	50yr	324.00	501.10	505.42	505.39	505.91	0.035153	6.18	66.38	64.31	0.68
Reach-1	3967	100yr	378.00	501.10	505.59	505.53	506.07	0.032930	6.25	78.06	69.88	0.66
Reach-1	3967	500yr	481.00	501.10	505.88	505.74	506.35	0.029893	6.36	99.39	79.05	0.64
Reach-1	3831	10yr	204.00	498.10	502.49		502.61	0.010147	2.94	72.67	39.61	0.35
Reach-1	3831	50yr	324.00	498.10	503.09		503.26	0.012213	3.45	99.70	52.00	0.40
Reach-1	3831	100yr	378.00	498.10	503.29		503.47	0.012461	3.66	110.00	54.71	0.41
Reach-1	3831	500yr	481.00	498.10	503.62		503.84	0.012686	4.01	128.94	59.04	0.42
Reach-1	3669	10yr	216.00	496.18	500.99		501.14	0.009548	3.34	74.48	44.15	0.36

HEC-RAS Plan: Post-Proj River: RIVER-1 Reach: Reach-1 (Continued)

Reach	River Sta	Profile	Q Total	Min Ch El	W.S. Elev	Crit W.S.	E.G. Elev	E.G. Slope	Vel Chnl	Flow Area	Top Width	Froude # Chl
			(cfs)	(ft)	(ft)	(ft)	(ft)	(ft/ft)	(ft/s)	(sq ft)	(ft)	
Reach-1	3669	50yr	326.00	496.18	501.59		501.74	0.008938	3.51	114.00	68.82	0.35
Reach-1	3669	100yr	386.00	496.18	501.84		501.99	0.008505	3.53	131.56	70.77	0.35
Reach-1	3669	500yr	505.00	496.18	502.27		502.43	0.007839	3.64	162.96	74.97	0.34
Reach-1	3525	10yr	216.00	495.50	499.07		499.38	0.022868	4.49	48.18	24.96	0.56
Reach-1	3525	50yr	326.00	495.50	499.77		500.13	0.019984	4.88	68.98	34.72	0.54
Reach-1	3525	100yr	386.00	495.50	500.08		500.46	0.019059	5.04	80.53	39.33	0.54
Reach-1	3525	500yr	505.00	495.50	500.60		501.01	0.017939	5.31	103.23	48.15	0.53
Reach-1	3310	10yr	216.00	492.48	497.18		497.27	0.005301	2.40	90.07	39.01	0.28
Reach-1	3310	50yr	326.00	492.48	497.85		497.97	0.005863	2.76	118.16	44.71	0.30
Reach-1	3310	100yr	386.00	492.48	498.15		498.28	0.006083	2.93	131.91	47.69	0.31
Reach-1	3310	500yr	505.00	492.48	498.64		498.80	0.006497	3.24	156.69	53.33	0.32
Reach-1	3134	10yr	216.00	491.51	495.66	494.61	495.89	0.012615	3.91	60.75	37.29	0.43
Reach-1	3134	50yr	326.00	491.51	496.26	495.20	496.53	0.012128	4.41	85.94	47.03	0.44
Reach-1	3134	100yr	386.00	491.51	496.48	495.47	496.78	0.012739	4.72	96.61	50.70	0.45
Reach-1	3134	500yr	505.00	491.51	496.89	495.92	497.24	0.013071	5.16	118.84	57.61	0.47
Reach-1	2997	10yr	253.00	492.00	493.78	493.08	493.96	0.015133	3.44	73.44	71.25	0.46
Reach-1	2997	50yr	378.00	492.00	494.08	493.39	494.38	0.019804	4.38	86.20	75.75	0.54
Reach-1	2997	100yr	448.00	492.00	494.40	493.56	494.71	0.017301	4.51	99.41	78.58	0.52
Reach-1	2997	500yr	589.00	492.00	494.99	493.86	495.34	0.014274	4.75	124.10	83.87	0.49
Reach-1	2957		Culvert									
Reach-1	2917	10yr	253.00	491.30	492.87	492.87	493.55	0.081943	6.60	38.35	28.83	1.01
Reach-1	2917	50yr	378.00	491.30	493.40	493.40	494.01	0.050474	6.46	63.58	69.46	0.84
Reach-1	2917	100yr	448.00	491.30	493.56	493.56	494.23	0.050717	6.84	71.38	72.73	0.85
Reach-1	2917	500yr	589.00	491.30	494.17		494.71	0.029486	6.21	101.73	88.29	0.68
Reach-1	2800	10yr	253.00	490.60	492.81		492.83	0.001120	1.13	228.17	136.59	0.15
Reach-1	2800	50yr	378.00	490.60	493.23		493.26	0.001226	1.36	285.82	141.97	0.16
Reach-1	2800	100yr	448.00	490.60	493.51		493.54	0.001131	1.41	326.83	145.68	0.16
Reach-1	2800	500yr	589.00	490.60	494.17		494.20	0.000861	1.44	425.57	154.23	0.14
Reach-1	2677	10yr	253.00	490.30	492.19		492.44	0.024087	4.73	71.65	85.29	0.67
Reach-1	2677	50yr	378.00	490.30	492.70		492.89	0.013342	4.26	120.18	104.70	0.52

HEC-RAS Plan: Post-Proj River: RIVER-1 Reach: Reach-1 (Continued)

Reach	River Sta	Profile	Q Total (cfs)	Min Ch El (ft)	W.S. Elev (ft)	Crit W.S. (ft)	E.G. Elev (ft)	E.G. Slope (ft/ft)	Vel Chnl (ft/s)	Flow Area (sq ft)	Top Width (ft)	Froude # Chl
Reach-1	2677	100yr	448.00	490.30	493.11		493.24	0.007751	3.66	165.65	118.27	0.41
Reach-1	2677	500yr	589.00	490.30	493.93		494.01	0.003276	2.88	269.90	135.52	0.28
Reach-1	2550	10yr	253.00	489.63	492.27		492.28	0.000202	0.98	295.66	142.95	0.11
Reach-1	2550	50yr	378.00	489.63	492.72		492.74	0.000250	1.22	362.82	152.28	0.12
Reach-1	2550	100yr	448.00	489.63	493.10		493.12	0.000228	1.27	422.47	160.31	0.12
Reach-1	2550	500yr	589.00	489.63	493.91		493.94	0.000181	1.30	559.62	178.53	0.11
Reach-1	2396	10yr	256.00	489.63	492.23		492.25	0.000237	1.02	264.49	123.79	0.12
Reach-1	2396	50yr	379.00	489.63	492.68		492.70	0.000296	1.26	321.47	131.85	0.13
Reach-1	2396	100yr	475.00	489.63	493.06		493.08	0.000305	1.37	373.35	226.23	0.14
Reach-1	2396	500yr	684.00	489.63	493.87		493.90	0.000260	1.48	563.53	241.20	0.13
Reach-1	2200	10yr	256.00	489.63	492.15		492.18	0.000514	1.44	179.28	82.50	0.17
Reach-1	2200	50yr	379.00	489.63	492.57		492.61	0.000650	1.79	214.46	85.52	0.20
Reach-1	2200	100yr	475.00	489.63	492.94		493.00	0.000666	1.96	246.73	88.20	0.20
Reach-1	2200	500yr	684.00	489.63	493.76		493.82	0.000586	2.13	373.97	243.86	0.20
Reach-1	2028	10yr	256.00	487.50	491.66		491.92	0.011841	4.11	62.29	28.39	0.49
Reach-1	2028	50yr	379.00	487.50	491.68		492.25	0.025210	6.03	62.91	28.47	0.71
Reach-1	2028	100yr	475.00	487.50	491.57	491.51	492.56	0.046045	7.95	59.75	28.04	0.96
Reach-1	2028	500yr	684.00	487.50	492.12	492.12	493.39	0.047695	9.03	75.79	30.18	1.00
Reach-1	1973	10yr	256.00	488.58	491.79		491.79	0.000013	0.29	903.79	290.40	0.03
Reach-1	1973	50yr	379.00	488.58	491.96		491.96	0.000024	0.40	952.73	291.49	0.04
Reach-1	1973	100yr	475.00	488.58	492.05		492.06	0.000034	0.49	980.26	292.33	0.05
Reach-1	1973	500yr	684.00	488.58	492.27		492.27	0.000057	0.66	1043.77	294.25	0.06
Reach-1	1917	10yr	259.00	489.00	491.56	491.56	491.77	0.026108	5.21	95.74	216.57	0.73
Reach-1	1917	50yr	391.00	489.00	491.71	491.71	491.93	0.028178	5.73	128.01	237.59	0.77
Reach-1	1917	100yr	469.00	489.00	491.74	491.74	492.02	0.034738	6.44	135.78	242.38	0.86
Reach-1	1917	500yr	692.00	489.00	491.95	491.95	492.23	0.032279	6.72	194.34	303.52	0.85
Reach-1	1716	10yr	259.00	478.80	480.11		480.18	0.009107	2.05	126.49	127.34	0.36
Reach-1	1716	50yr	391.00	478.80	480.27		480.38	0.012779	2.67	147.02	132.06	0.43
Reach-1	1716	100yr	469.00	478.80	480.42		480.54	0.012287	2.84	166.97	136.49	0.43
Reach-1	1716	500yr	692.00	478.80	481.82		481.88	0.002083	1.89	386.25	173.82	0.20

HEC-RAS Plan: Post-Proj River: RIVER-1 Reach: Reach-1 (Continued)

Reach	River Sta	Profile	Q Total	Min Ch El	W.S. Elev	Crit W.S.	E.G. Elev	E.G. Slope	Vel Chnl	Flow Area	Top Width	Froude # Chl
			(cfs)	(ft)	(ft)	(ft)	(ft)	(ft/ft)	(ft/s)	(sq ft)	(ft)	
Reach-1	1622	10yr	270.00	476.80	478.03	477.99	478.35	0.058724	4.77	62.85	82.89	0.84
Reach-1	1622	50yr	413.00	476.80	478.62		478.84	0.022307	4.01	113.43	89.04	0.56
Reach-1	1622	100yr	474.00	476.80	480.01		480.07	0.002617	2.09	246.25	101.57	0.21
Reach-1	1622	500yr	653.00	476.80	481.72		481.75	0.000883	1.64	432.91	117.69	0.13
Reach-1	1563	10yr	270.00	474.30	476.87		476.99	0.011827	3.06	103.83	95.84	0.41
Reach-1	1563	50yr	413.00	474.30	478.55		478.59	0.001362	1.64	286.37	116.74	0.16
Reach-1	1563	100yr	474.00	474.30	480.00		480.01	0.000398	1.12	465.17	130.95	0.09
Reach-1	1563	500yr	653.00	474.30	481.71		481.72	0.000210	1.00	705.79	149.81	0.07
Reach-1	1513	10yr	270.00	474.00	476.57		476.62	0.004779	2.22	167.62	161.05	0.27
Reach-1	1513	50yr	413.00	474.00	478.54		478.55	0.000385	0.98	501.65	178.77	0.09
Reach-1	1513	100yr	474.00	474.00	479.99		480.00	0.000129	0.70	771.51	191.90	0.05
Reach-1	1513	500yr	653.00	474.00	481.71		481.72	0.000077	0.65	1115.38	208.20	0.04
Reach-1	1422	10yr	270.00	471.64	476.47		476.49	0.000608	1.24	294.81	125.26	0.11
Reach-1	1422	50yr	413.00	471.64	478.51		478.52	0.000182	0.88	567.80	142.22	0.06
Reach-1	1422	100yr	474.00	471.64	479.98		479.99	0.000087	0.70	785.65	154.42	0.04
Reach-1	1422	500yr	653.00	471.64	481.70		481.71	0.000065	0.69	1063.42	168.70	0.04
Reach-1	1328	10yr	270.00	471.90	476.38		476.41	0.001228	1.75	209.26	95.35	0.15
Reach-1	1328	50yr	413.00	471.90	478.49		478.50	0.000354	1.24	449.86	133.24	0.09
Reach-1	1328	100yr	474.00	471.90	479.97		479.98	0.000153	0.94	665.69	154.26	0.06
Reach-1	1328	500yr	653.00	471.90	481.69		481.70	0.000099	0.87	943.42	168.05	0.05
Reach-1	1284	10yr	270.00	472.20	476.35		476.37	0.000585	1.12	266.72	107.41	0.10
Reach-1	1284	50yr	413.00	472.20	478.48		478.49	0.000199	0.89	535.45	146.67	0.07
Reach-1	1284	100yr	474.00	472.20	479.97		479.97	0.000096	0.72	774.55	174.15	0.05
Reach-1	1284	500yr	653.00	472.20	481.69		481.70	0.000067	0.69	1089.91	189.97	0.04
Reach-1	1202	10yr	264.00	469.60	476.30	472.74	476.33	0.000419	1.52	206.82	138.92	0.12
Reach-1	1202	50yr	365.00	469.60	478.45	473.21	478.47	0.000205	1.33	316.28	212.67	0.09
Reach-1	1202	100yr	423.00	469.60	479.94	473.43	479.96	0.000136	1.22	392.55	239.73	0.07
Reach-1	1202	500yr	550.00	469.60	481.66	473.89	481.69	0.000118	1.28	480.45	256.23	0.07
Reach-1	1119.5		Culvert									
Reach-1	1076	10yr	264.00	469.20	472.77	472.77	474.54	0.023811	10.67	24.74	80.69	1.00

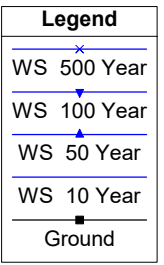
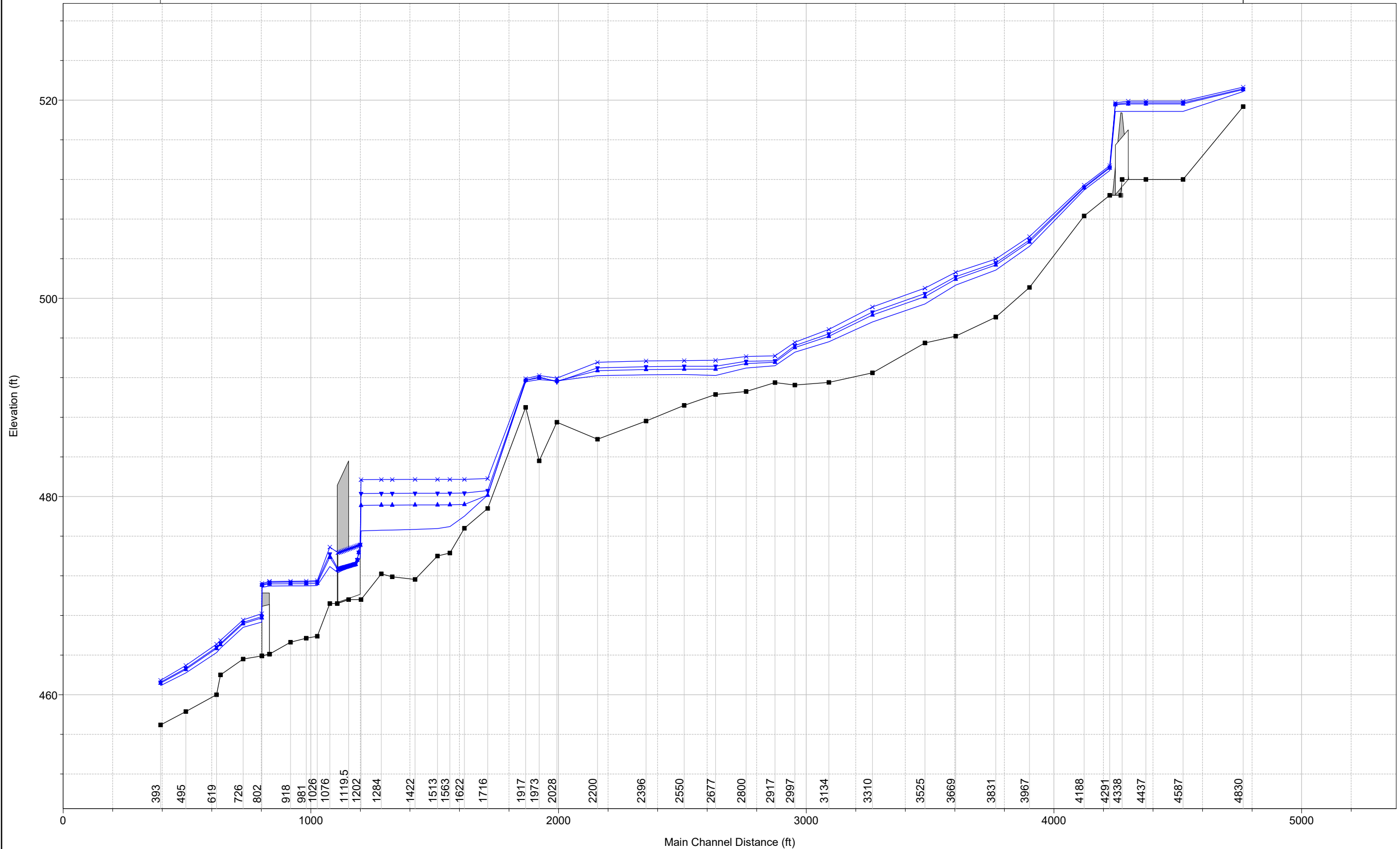
HEC-RAS Plan: Post-Proj River: RIVER-1 Reach: Reach-1 (Continued)

Reach	River Sta	Profile	Q Total	Min Ch El	W.S. Elev	Crit W.S.	E.G. Elev	E.G. Slope	Vel Chnl	Flow Area	Top Width	Froude # Chl
			(cfs)	(ft)	(ft)	(ft)	(ft)	(ft/ft)	(ft/s)	(sq ft)	(ft)	
Reach-1	1076	50yr	365.00	469.20	473.62	473.62	475.82	0.022250	11.90	30.67	117.43	1.00
Reach-1	1076	100yr	423.00	469.20	474.08	474.08	476.51	0.021509	12.50	33.85	136.53	1.00
Reach-1	1076	500yr	550.00	469.20	474.90	474.90	475.08	0.002579	4.80	190.24	165.71	0.36
Reach-1	1026	10yr	264.00	468.01	470.52		470.81	0.008207	4.59	65.98	40.50	0.54
Reach-1	1026	50yr	365.00	468.01	471.02		471.35	0.007404	4.98	87.77	48.57	0.53
Reach-1	1026	100yr	423.00	468.01	471.25		471.62	0.007446	5.27	100.36	59.76	0.54
Reach-1	1026	500yr	550.00	468.01	471.77		472.14	0.006284	5.40	135.65	74.94	0.51
Reach-1	981	10yr	264.00	466.62	470.18		470.50	0.006341	5.06	68.87	39.73	0.50
Reach-1	981	50yr	365.00	466.62	470.67		471.04	0.006537	5.65	90.57	50.47	0.52
Reach-1	981	100yr	423.00	466.62	470.93		471.31	0.006410	5.85	104.21	56.02	0.52
Reach-1	981	500yr	550.00	466.62	471.45		471.86	0.006106	6.21	137.83	73.26	0.52
Reach-1	918	10yr	264.00	466.33	468.90	468.90	469.71	0.028282	7.30	37.73	25.74	0.96
Reach-1	918	50yr	365.00	466.33	469.33	469.33	470.27	0.024790	7.90	49.92	30.09	0.93
Reach-1	918	100yr	423.00	466.33	469.55	469.55	470.55	0.023887	8.24	56.60	32.96	0.93
Reach-1	918	500yr	550.00	466.33	469.89	469.89	471.09	0.024578	9.13	69.16	39.45	0.96
Reach-1	833	10yr	267.00	464.91	466.86	466.63	467.28	0.027861	5.37	52.24	38.34	0.73
Reach-1	833	50yr	370.00	464.91	467.42	466.95	467.82	0.018179	5.25	74.86	41.75	0.62
Reach-1	833	100yr	428.00	464.91	467.68	467.11	468.08	0.015950	5.29	85.86	42.70	0.59
Reach-1	833	500yr	553.00	464.91	468.14	467.42	468.58	0.013950	5.54	105.54	44.52	0.57
Reach-1	817.5		Culvert									
Reach-1	802	10yr	267.00	464.24	467.02	465.66	467.11	0.004174	2.45	109.20	61.06	0.28
Reach-1	802	50yr	370.00	464.24	467.44	465.90	467.57	0.004652	2.88	128.58	63.56	0.30
Reach-1	802	100yr	428.00	464.24	467.64	466.03	467.79	0.004948	3.11	137.74	64.77	0.32
Reach-1	802	500yr	553.00	464.24	467.98	466.30	468.18	0.005787	3.61	153.26	66.89	0.35
Reach-1	726	10yr	267.00	462.44	466.51		466.74	0.013289	4.37	77.01	53.97	0.44
Reach-1	726	50yr	370.00	462.44	466.89		467.17	0.014031	4.85	99.39	67.75	0.46
Reach-1	726	100yr	428.00	462.44	467.07		467.37	0.014452	5.10	113.01	80.24	0.47
Reach-1	726	500yr	553.00	462.44	467.41		467.73	0.014520	5.42	141.61	88.51	0.48
Reach-1	635	10yr	267.00	462.11	465.28		465.49	0.014401	4.08	81.42	61.30	0.45
Reach-1	635	50yr	370.00	462.11	465.74		465.95	0.012418	4.24	112.16	73.28	0.43

HEC-RAS Plan: Post-Proj River: RIVER-1 Reach: Reach-1 (Continued)

Reach	River Sta	Profile	Q Total	Min Ch El	W.S. Elev	Crit W.S.	E.G. Elev	E.G. Slope	Vel Chnl	Flow Area	Top Width	Froude # Chl
			(cfs)	(ft)	(ft)	(ft)	(ft)	(ft/ft)	(ft/s)	(sq ft)	(ft)	
Reach-1	635	100yr	428.00	462.11	465.94		466.16	0.012044	4.36	127.26	78.02	0.43
Reach-1	635	500yr	553.00	462.11	466.31		466.55	0.011435	4.58	157.92	85.70	0.43
Reach-1	619	10yr	267.00	461.54	464.88	464.05	465.23	0.018646	4.96	62.47	41.33	0.52
Reach-1	619	50yr	370.00	461.54	465.29	464.67	465.70	0.019672	5.57	82.37	55.98	0.55
Reach-1	619	100yr	428.00	461.54	465.45	464.84	465.90	0.020720	5.91	91.89	61.47	0.57
Reach-1	619	500yr	553.00	461.54	465.40	465.40	466.20	0.037335	7.85	88.77	59.84	0.76
Reach-1	495	10yr	366.00	459.66	461.51	461.51	462.16	0.085840	6.44	56.90	51.69	1.00
Reach-1	495	50yr	513.00	459.66	461.85	461.85	462.64	0.077440	7.14	72.72	55.55	0.98
Reach-1	495	100yr	587.00	459.66	462.02	462.02	462.86	0.071582	7.35	81.47	58.95	0.96
Reach-1	495	500yr	750.00	459.66	462.90	462.34	463.47	0.029348	6.12	126.64	69.84	0.66
Reach-1	400		Culvert									
Reach-1	393	10yr	366.00	458.16	460.95	460.95	461.65	0.055111	7.32	58.30	41.20	0.87
Reach-1	393	50yr	513.00	458.16	461.32	461.32	462.17	0.054833	8.10	74.00	43.62	0.89
Reach-1	393	100yr	587.00	458.16	461.50	461.50	462.40	0.053378	8.36	82.06	44.82	0.89
Reach-1	393	500yr	750.00	458.16	461.85	461.85	462.88	0.052830	8.99	97.82	47.22	0.90

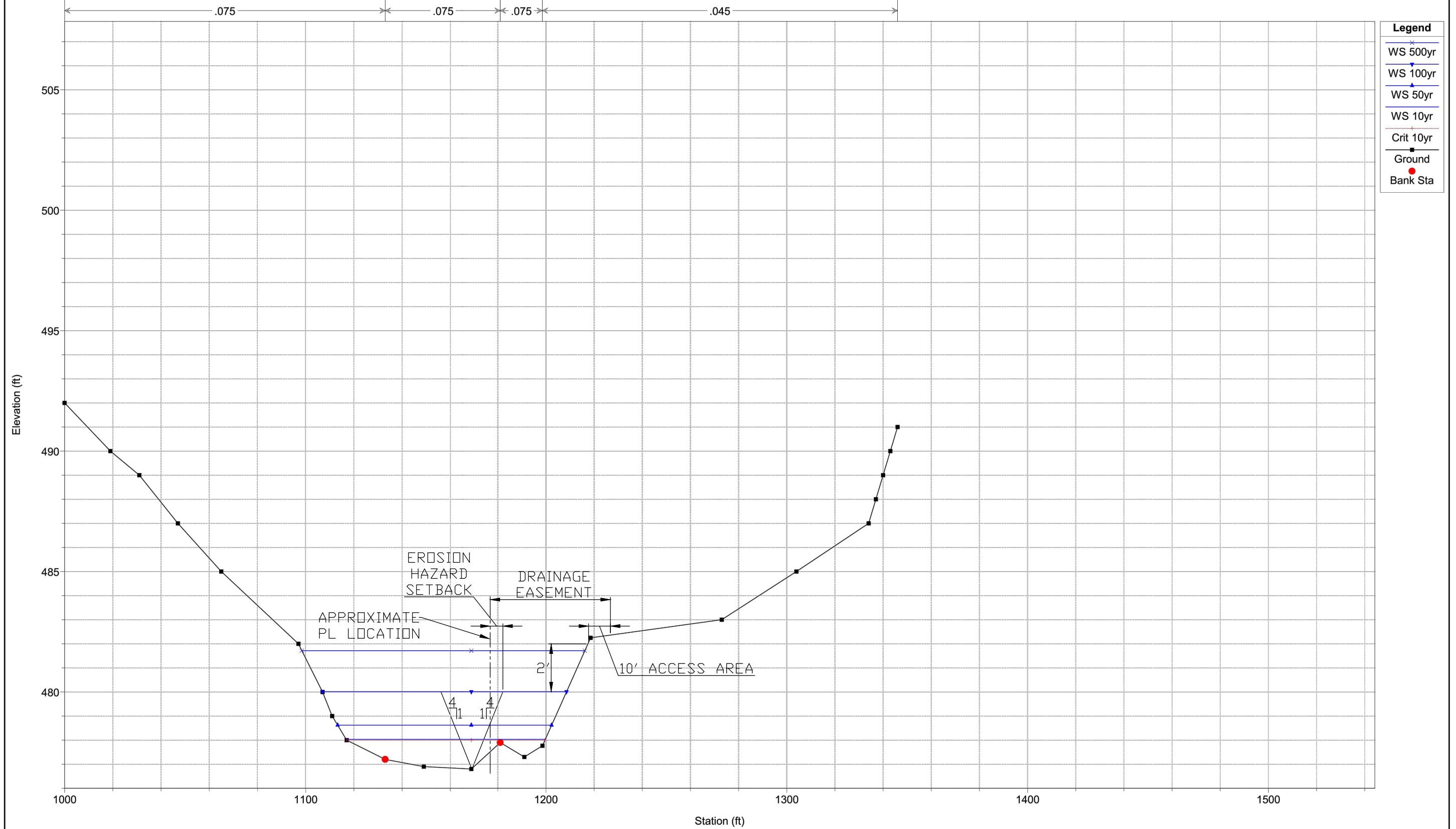
RIVER-1 Reach-1



1 in Horiz. = 400 ft 1 in Vert. = 10 ft

Squabble_TribD Plan: Post-Project 3/4/2022

River = RIVER-1 Reach = Reach-1 RS = 1622 Proposed fill on ROB. STA 1133 - 1191 surveyed 8-2021.(BE)

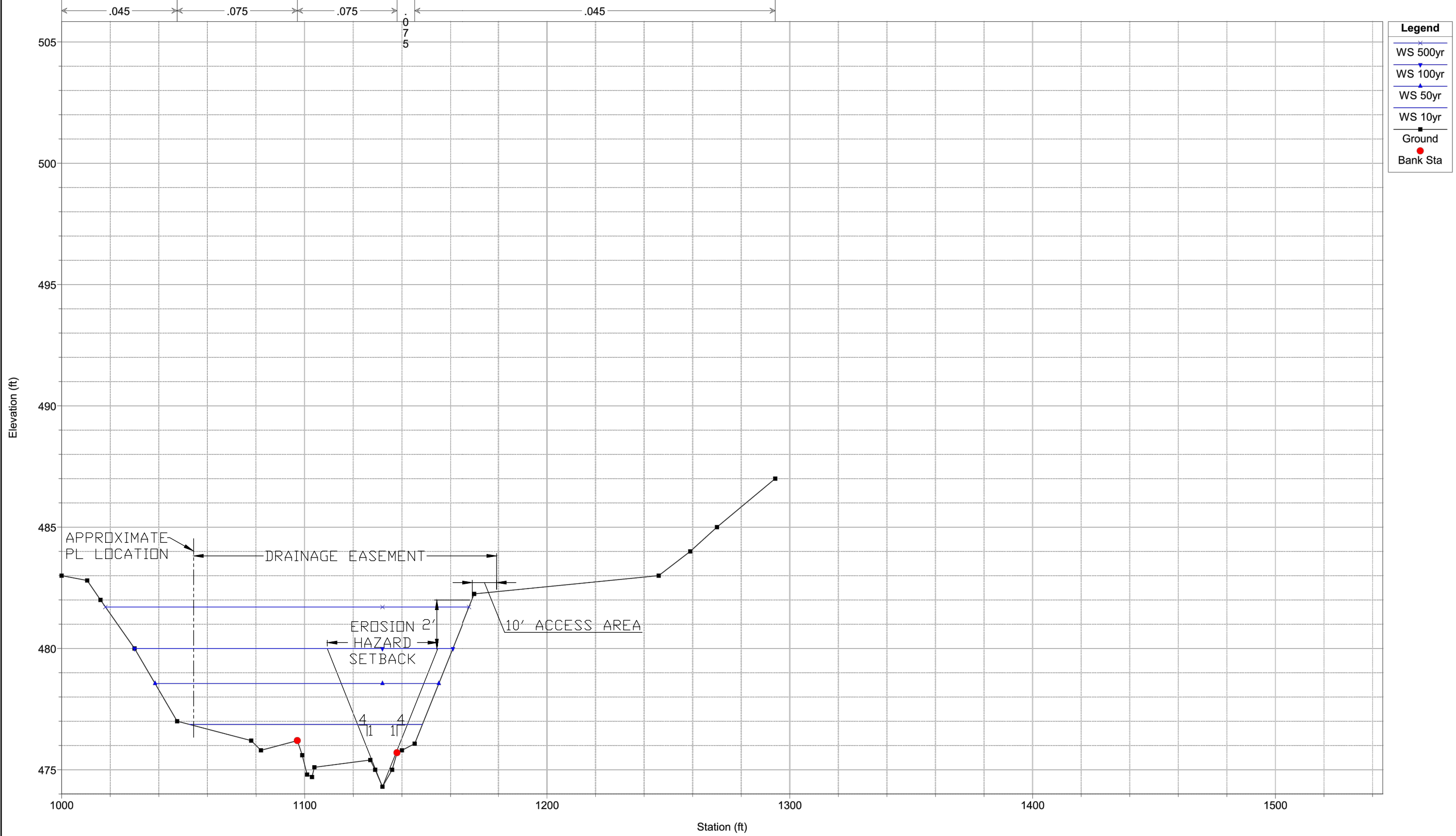


Legend	
WS 500yr	Blue line with 'x' marker
WS 100yr	Blue line with downward triangle marker
WS 50yr	Blue line with upward triangle marker
WS 10yr	Red line with upward triangle marker
Crit 10yr	Red line with upward triangle marker
Ground	Black line with square marker
Bank Sta	Red dot

1 in Horiz. = 40 ft 1 in Vert. = 4 ft

Squabble_TribD Plan: Post-Project 3/4/2022

River = RIVER-1 Reach = Reach-1 RS = 1563 Proposed fill on ROB. Proposed cut on LOB. Channel surveyed 8-

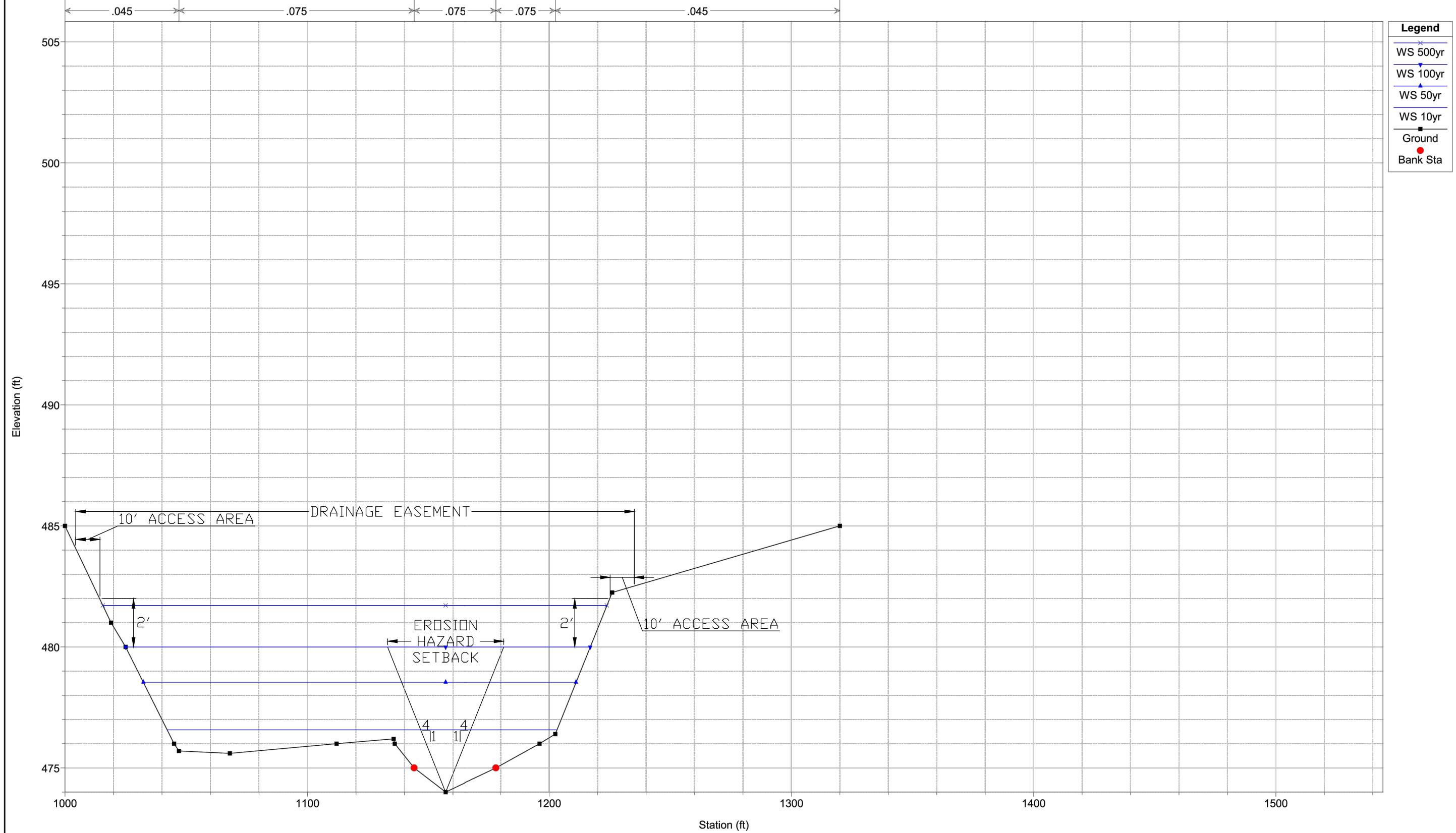


Legend	
WS 500yr	x
WS 100yr	▽
WS 50yr	△
WS 10yr	■
Ground	—
Bank Sta	●

1 in Horiz. = 40 ft 1 in Vert. = 4 ft

Squabble_TribD Plan: Post-Project 3/4/2022

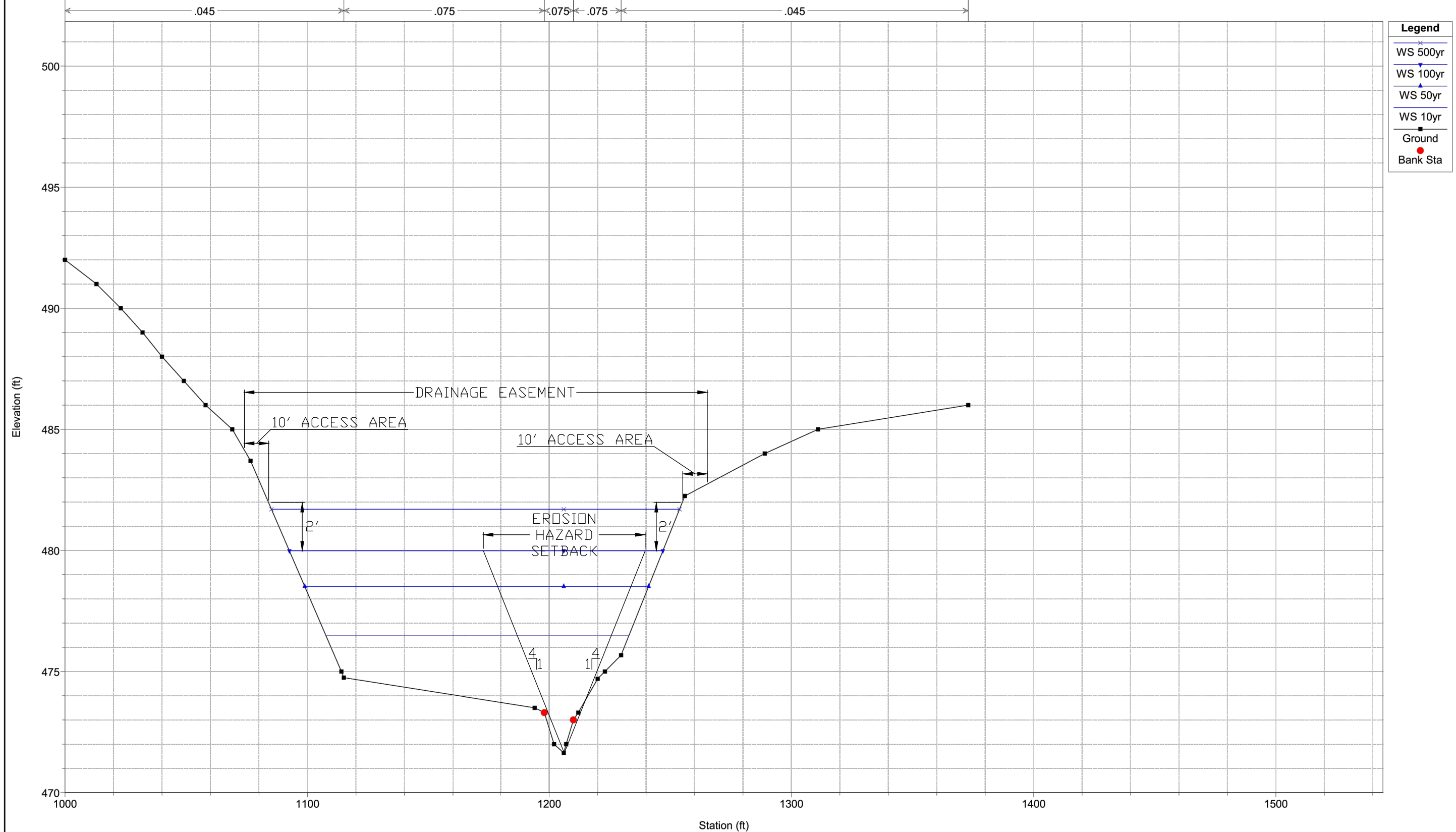
River = RIVER-1 Reach = Reach-1 RS = 1513 Proposed fill on ROB. Proposed cut on LOB. Channel from Corwi



1 in Horiz. = 40 ft 1 in Vert. = 4 ft

Squabble_TribD Plan: Post-Project 3/4/2022

River = RIVER-1 Reach = Reach-1 RS = 1422 Proposed fill on ROB. Proposed cut on LOB. STA 1104 - 1220 sur

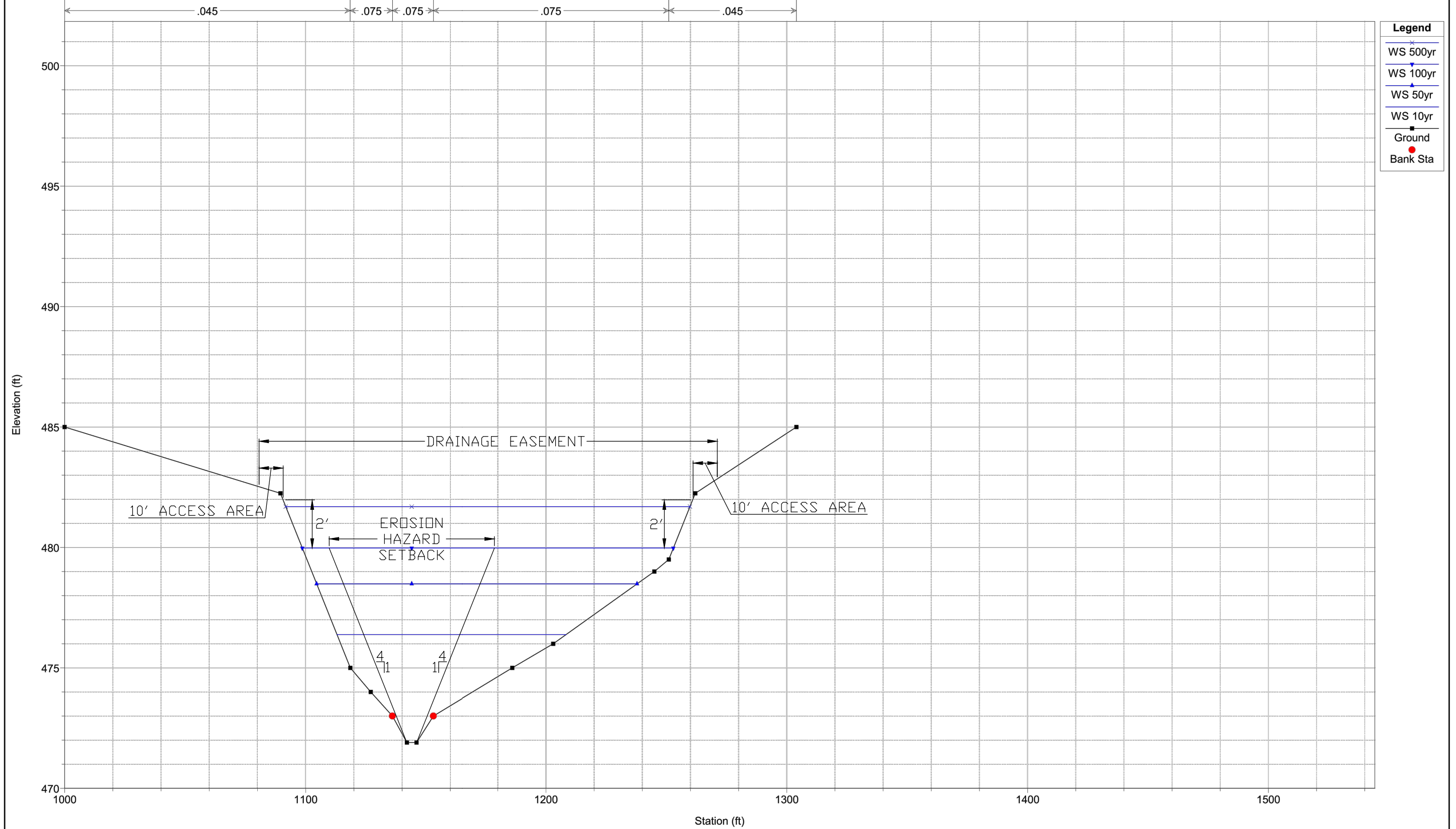


Legend	
WS 500yr	Blue line with 'x' markers
WS 100yr	Blue line with downward triangles
WS 50yr	Blue line with upward triangles
WS 10yr	Blue line with dots
Ground	Black line with squares
Bank Sta	Red dot

1 in Horiz. = 40 ft 1 in Vert. = 4 ft

Squabble_TribD Plan: Post-Project 3/4/2022

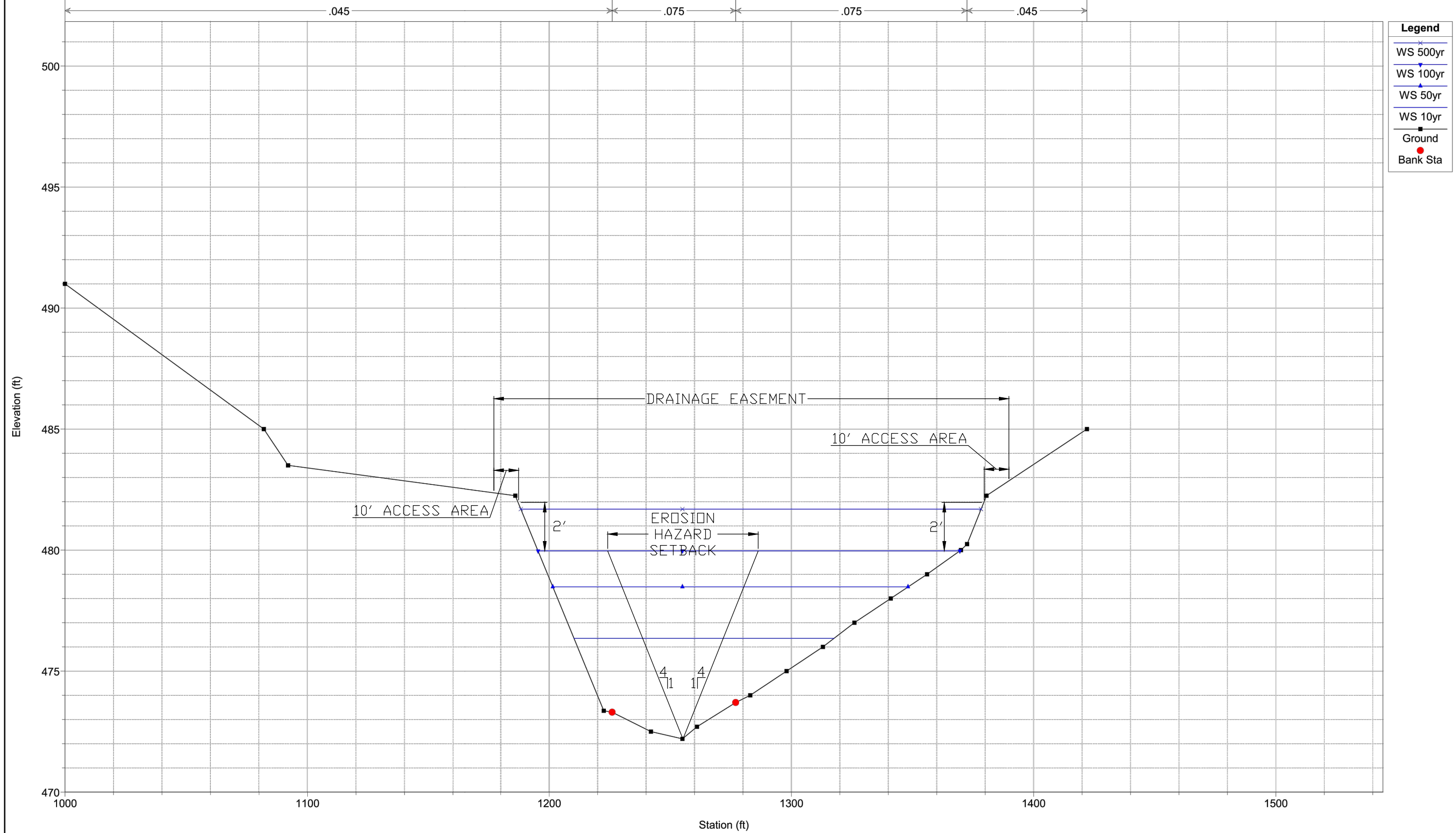
River = RIVER-1 Reach = Reach-1 RS = 1328 Proposed fill on LOB & ROB. Channel from Corwin topo. (BE)



Legend	
WS 500yr	✕
WS 100yr	▼
WS 50yr	▲
WS 10yr	◆
Ground	■
Bank Sta	●

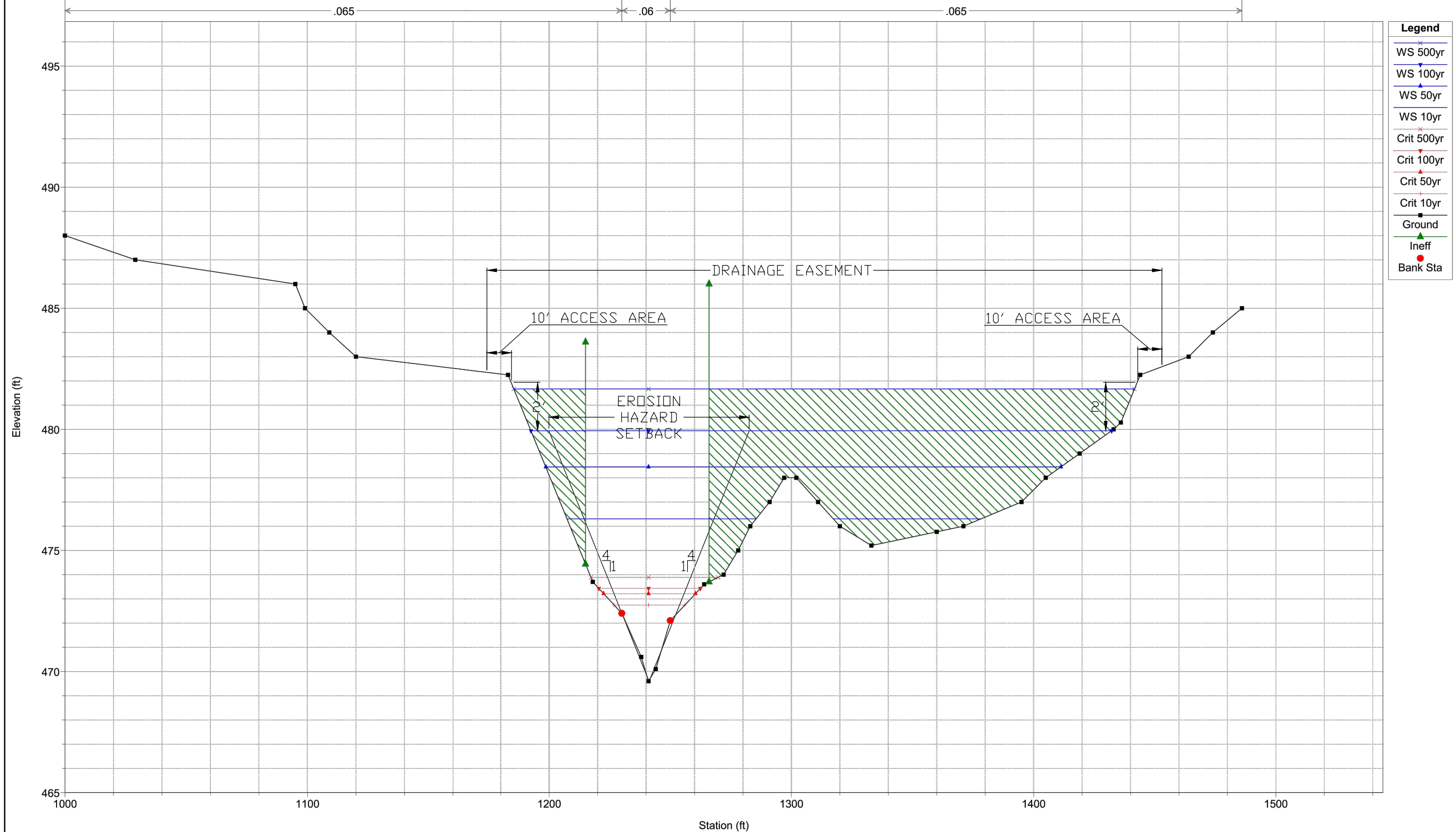
1 in Horiz. = 40 ft 1 in Vert. = 4 ft

Squabble_TribD Plan: Post-Project 3/4/2022
 River = RIVER-1 Reach = Reach-1 RS = 1284 Proposed fill on LOB & ROB. STA 1092 - 1277 surveyed 8-2021.(BE)



1 in Horiz. = 40 ft 1 in Vert. = 4 ft

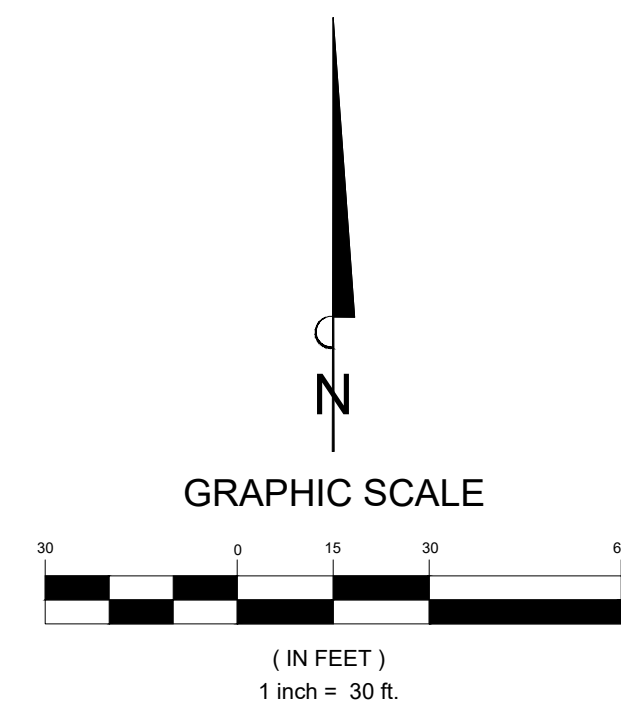
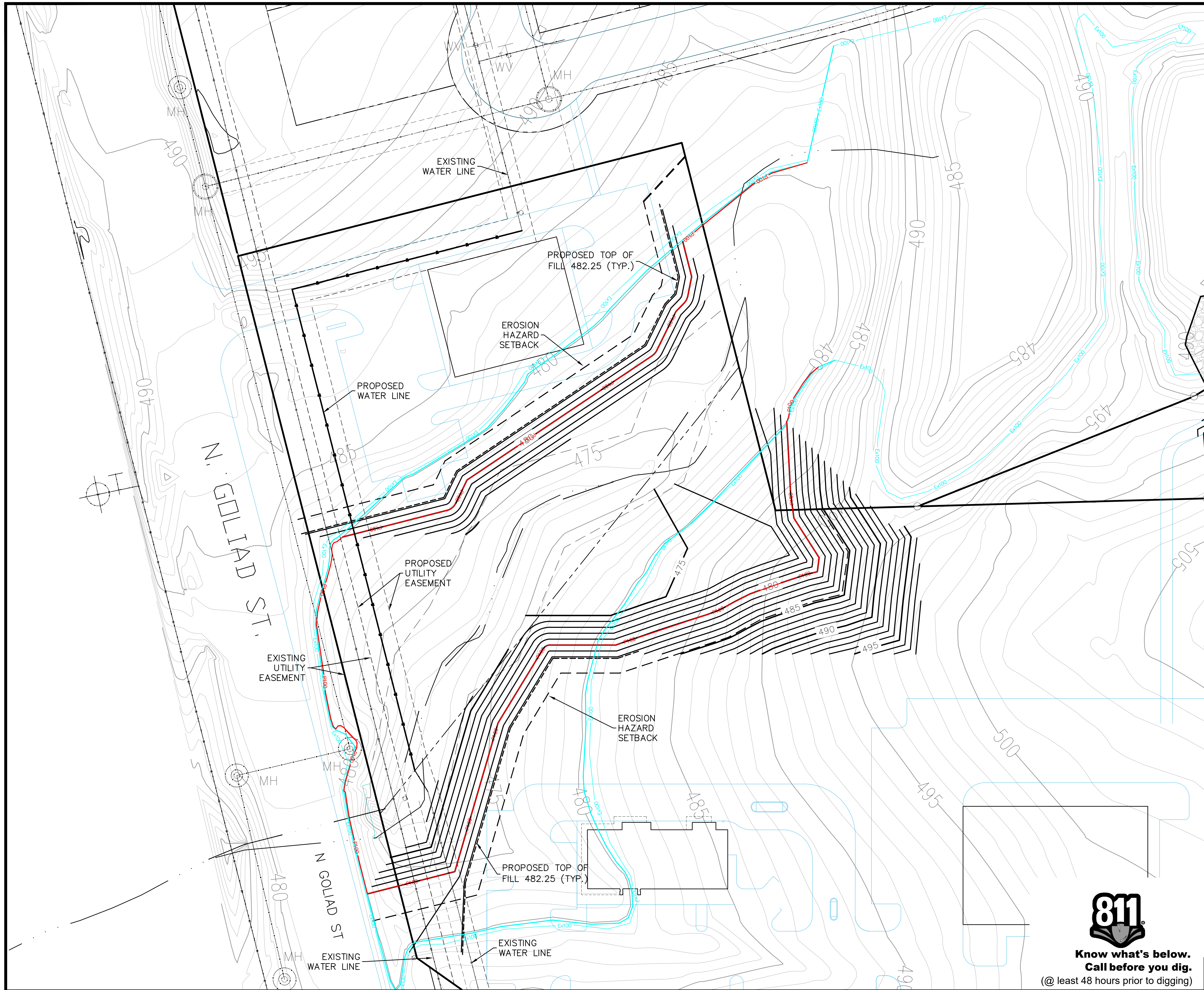
Squabble_TribD Plan: Post-Project 3/4/2022
 River = RIVER-1 Reach = Reach-1 RS = 1202 U/S of N. Goliad St. Proposed fill on LOB & ROB. Ineffective fl



Legend	
WS 500yr	Blue line with 'x' marker
WS 100yr	Blue line with downward triangle marker
WS 50yr	Blue line with upward triangle marker
WS 10yr	Blue line with diamond marker
Crit 500yr	Red line with 'x' marker
Crit 100yr	Red line with downward triangle marker
Crit 50yr	Red line with upward triangle marker
Crit 10yr	Red line with diamond marker
Ground	Black line with square marker
Ineff	Green line with upward triangle marker
Bank Sta	Red line with circle marker

1 in Horiz. = 40 ft 1 in Vert. = 4 ft

File: B:\Clients\262-21-001 (Stone Creek Retail - Rockwall)\Flood Study\Flood Study Grading Plan.dwg | Date Plotted: 3/15/2022 3:42 PM | Plotted By: rmoore



LEGEND

	EXISTING CONTOUR
	PROPOSED CONTOURS

NOTES

1. ALL SLOPES WITHIN ACCESSIBLE PARKING AREAS SHALL NOT EXCEED 2.0% IN ANY DIRECTION. SLOPES ALONG ALL SIDEWALKS AND ACCESSIBLE ROUTES SHALL NOT EXCEED 5.0% IN THE DIRECTION OF TRAVEL AND 2.0% IN CROSS SLOPE UNLESS OTHERWISE SPECIFIED ON THE PLAN.
2. IN UNPAVED AREAS, SLOPES SHALL NOT EXCEED 4' HORIZONTAL TO 1' VERTICAL (4:1).
3. IN PAVED AREAS, SPOT ELEVATIONS ARE TO TOP OF PAVEMENT (GUTTER LINE) UNLESS OTHERWISE NOTED. ADD 0.5' FOR TOP OF CURB. IN UNPAVED AREAS, ALL SPOT ELEVATIONS ARE TO TOP OF FINISHED GRADE, TOP OF SOD OR TOP OF LANDSCAPE ADDITIONS AS APPLICABLE.
4. REFER TO GENERAL NOTES SHEET FOR SITE ACCESSIBILITY STANDARDS AND ADDITIONAL NOTES.
5. ALL UTILITIES SHALL BE CONSTRUCTED BEGINNING AT THE TIE-IN LOCATION TO EXISTING UTILITIES (DOWNSTREAM) AND PROCEED TO PROPOSED STRUCTURES (UPSTREAM).
6. CONTRACTOR TO VERIFY THE EXISTENCE, LOCATION AND DEPTHS OF ALL EXISTING UTILITIES WITHIN THE PROJECT WORK AREA BEFORE COMMENCING CONSTRUCTION.
7. THE UTILITIES SHOWN ON THESE PLANS WERE COMPILED FROM VARIOUS SOURCES AND ARE INTENDED TO SHOW THE GENERAL HORIZONTAL AND VERTICAL LOCATIONS OF UTILITIES IN THE AREA OF CONSTRUCTION. THE ENGINEER ASSURES NO RESPONSIBILITY FOR THE ACCURACY OF THE UTILITY INFORMATION SHOWN ON THESE PLANS. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE EXACT LOCATION OF ALL UTILITIES.
8. UNDER THE TEXAS "ONE-CALL" LAW THE CONTRACTOR MUST CONTACT THE NOTIFICATION CALL CENTER BY DIALING 811 NO SOONER THAN 14 DAYS PRIOR AND AT LEAST 48 HOURS BEFORE THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES IN ORDER TO IDENTIFY ANY UTILITIES IN CONFLICT WITH THE PROPOSED FACILITIES. CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY WHEN CONFLICTS WITH THE EXISTING UTILITIES ARE DISCOVERED.
9. IF WALLS ARE PART OF THE PROPOSED SITE DESIGN, FINISHED GROUND GRADES AT HIGH SIDE AND LOW SIDE OF WALL DO NOT NECESSARILY INDICATE WALL STRUCTURE ELEVATIONS AND ARE NOT INTENDED TO REPRESENT FOOTING DEPTHS OR STRUCTURAL WALL HEIGHTS. CONTRACTOR SHALL REFER TO STRUCTURAL PLANS AND DETAILS FOR FOOTING DEPTHS AND FOR ACTUAL WALL HEIGHTS.

NOTES TO CONTRACTOR

1. INFORMATION ON THIS SHEET AND OTHER SHEETS THROUGHOUT THIS PLAN SET IS PART OF A UNIFIED DESIGN. THE CONTRACTOR SHALL NOT SEPARATE DRAWINGS FROM THE SET FOR DISTRIBUTION TO SPECIFIC DISCIPLINES. EACH SUBCONTRACTOR SHALL BE PROVIDED WITH ALL SHEETS WITHIN THIS PLAN SET.
2. CONTRACTOR SHALL REFERENCE GENERAL NOTES SHEET FOR ADDITIONAL INFORMATION. INFORMATION ON THE GENERAL NOTES SHEET IS PART OF A UNIFIED DESIGN AND IS PERTINENT TO THIS PLAN SHEET.
3. CONTRACTOR SHALL REFERENCE ALL IRRIGATION PLANS, MEP SITE PLANS, AND CIVIL ENGINEERING UTILITY PLANS FOR INFORMATION REGARDING SLEEVES BENEATH PAVEMENT.

BENCHMARKS

BM#1: CITY OF ROCKWALL MONUMENT 14
NAVD88 ELEV. = 497.13



**Know what's below.
Call before you dig.**
(@ least 48 hours prior to digging)

BANNISTER ENGINEERING
240 N. Mitchell Road | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax
REGISTRATION # F-10599 (TEXAS)

STONE CREEK RETAIL
ROCKWALL, TEXAS
FLOOD STUDY GRADING PLAN (1 OF 2)

No.	Date	Revision Description

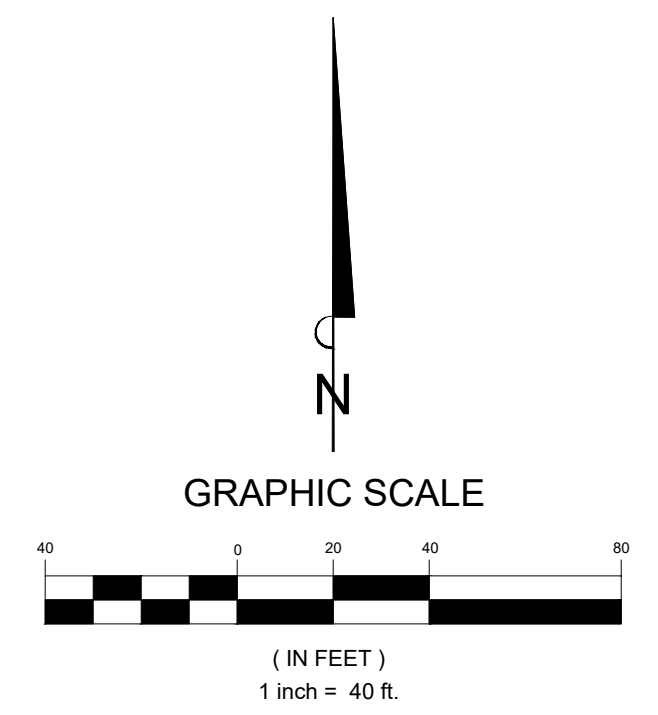
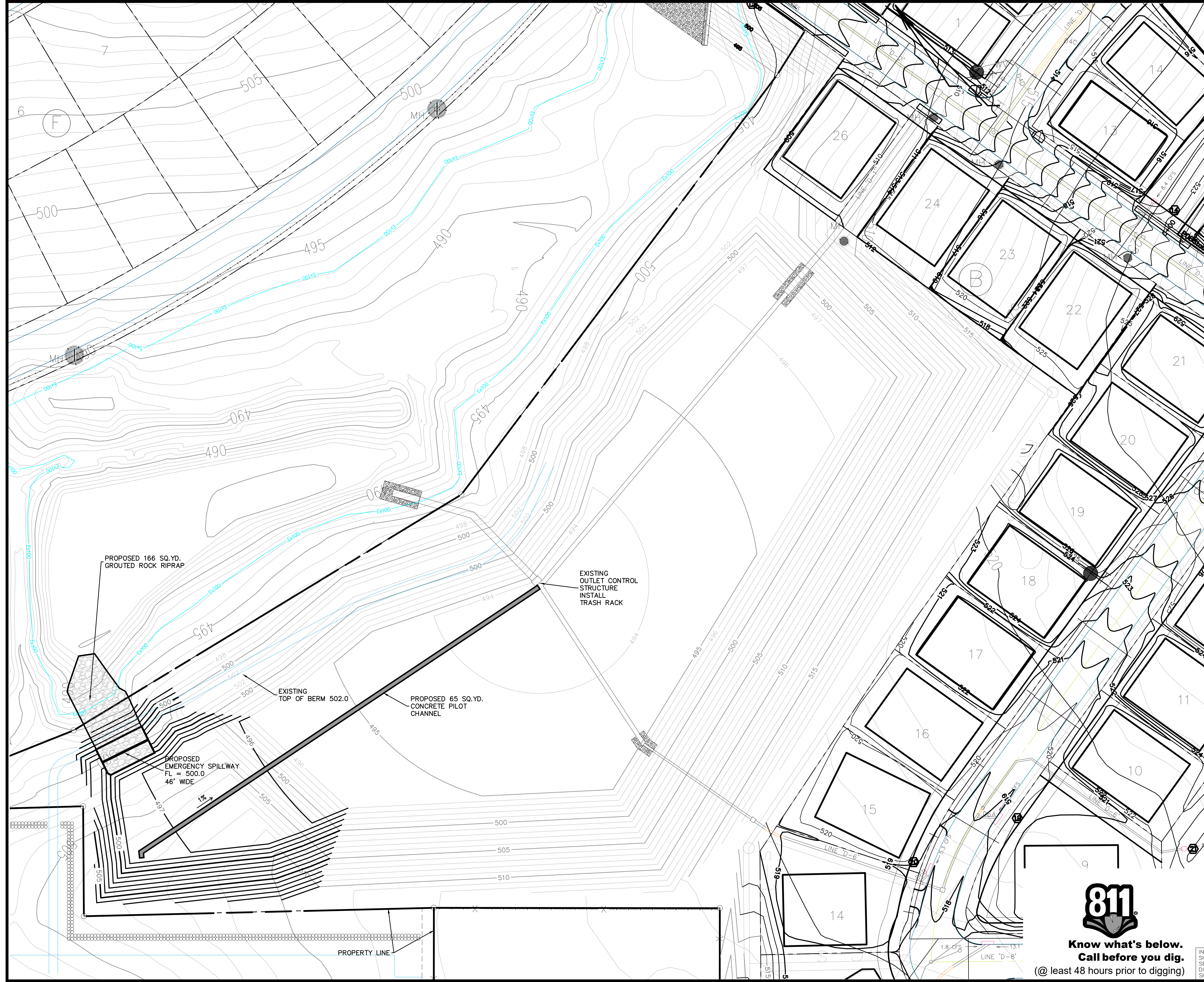


3/15/2022
SHEET NUMBER

PROJECT NO.: 262-21-001
20

INFORMATION ON THIS SHEET IS PERTINENT TO ALL OTHER DESIGN SHEETS IN THIS SET OF DRAWINGS. THE CONTRACTOR SHALL NOT SEPARATE DRAWINGS FROM THE SET FOR DISTRIBUTION TO SPECIFIC DISCIPLINES. EACH SUBCONTRACTOR SHALL BE PROVIDED WITH ALL SHEETS WITHIN THIS PLAN SET.

File: B:\Clients\262-21-001 (Stone Creek Retail - Rockwall)\Flood Study\FS Grading Plan.dwg | Date Plotted: 3/15/2022 3:44 PM | Plotted By: rmoore



LEGEND

	EXISTING CONTOUR
	PROPOSED CONTOURS

- NOTES**
- ALL SLOPES WITHIN ACCESSIBLE PARKING AREAS SHALL NOT EXCEED 2.0% IN ANY DIRECTION. SLOPES ALONG ALL SIDEWALKS AND ACCESSIBLE ROUTES SHALL NOT EXCEED 5.0% IN THE DIRECTION OF TRAVEL AND 2.0% IN CROSS SLOPE UNLESS OTHERWISE SPECIFIED ON THE PLAN.
 - IN UNPAVED AREAS, SLOPES SHALL NOT EXCEED 4' HORIZONTAL TO 1' VERTICAL (4:1).
 - IN PAVED AREAS, SPOT ELEVATIONS ARE TO TOP OF PAVEMENT (GUTTER LINE) UNLESS OTHERWISE NOTED. ADD 0.5' FOR TOP OF CURBS. IN UNPAVED AREAS, ALL SPOT ELEVATIONS ARE TO TOP OF FINISHED GRADE, TOP OF SOD OR TOP OF LANDSCAPE ADDITIONS AS APPLICABLE.
 - REFER TO GENERAL NOTES SHEET FOR SITE ACCESSIBILITY STANDARDS AND ADDITIONAL NOTES.
 - ALL UTILITIES SHALL BE CONSTRUCTED BEGINNING AT THE TIE-IN LOCATION TO EXISTING UTILITIES (DOWNSTREAM) AND PROCEED TO PROPOSED STRUCTURES (UPSTREAM).
 - CONTRACTOR TO VERIFY THE EXISTENCE, LOCATION AND DEPTHS OF ALL EXISTING UTILITIES WITHIN THE PROJECT WORK AREA BEFORE COMMENCING CONSTRUCTION.
 - THE UTILITIES SHOWN ON THESE PLANS WERE COMPILED FROM VARIOUS SOURCES AND ARE INTENDED TO SHOW THE GENERAL HORIZONTAL AND VERTICAL LOCATIONS OF UTILITIES IN THE AREA OF CONSTRUCTION. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE UTILITY INFORMATION SHOWN ON THESE PLANS. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE EXACT LOCATION OF ALL UTILITIES.
 - UNDER THE TEXAS "ONE-CALL" LAW THE CONTRACTOR MUST CONTACT THE NOTIFICATION CALL CENTER BY DIALING 811 NO SOONER THAN 14 DAYS PRIOR AND AT LEAST 48 HOURS BEFORE THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES IN ORDER TO IDENTIFY ANY UTILITIES IN CONFLICT WITH THE PROPOSED FACILITIES. CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY WHEN CONFLICTS WITH THE EXISTING UTILITIES ARE DISCOVERED.
 - IF WALLS ARE PART OF THE PROPOSED SITE DESIGN, FINISHED GROUND GRADES AT HIGH SIDE AND LOW SIDE OF WALL DO NOT NECESSARILY INDICATE WALL STRUCTURE ELEVATIONS AND ARE NOT INTENDED TO REPRESENT FOOTING DEPTHS OR STRUCTURAL WALL HEIGHTS. CONTRACTOR SHALL REFER TO STRUCTURAL PLANS AND DETAILS FOR FOOTING DEPTHS AND FOR ACTUAL WALL HEIGHTS.

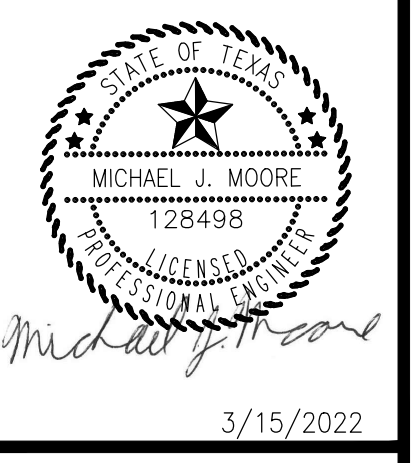
- NOTES TO CONTRACTOR**
- INFORMATION ON THIS SHEET AND OTHER SHEETS THROUGHOUT THIS PLAN SET IS PART OF A UNIFIED DESIGN. THE CONTRACTOR SHALL NOT SEPARATE DRAWINGS FROM THE SET FOR DISTRIBUTION TO SPECIFIC DISCIPLINES. EACH SUBCONTRACTOR SHALL BE PROVIDED WITH ALL SHEETS WITHIN THIS PLAN SET.
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BENCHMARKS

BM#1:
CITY OF ROCKWALL MONUMENT 14
NAVD88
ELEV. = 497.13



No.	Date	Revision Description



INFORMATION ON THIS SHEET IS PERTINENT TO ALL OTHER DESIGN SHEETS IN THIS SET OF DRAWINGS. THE CONTRACTOR SHALL NOT SEPARATE DRAWINGS FROM THE SET FOR DISTRIBUTION TO SPECIFIC DISCIPLINES. EACH SUBCONTRACTOR SHALL BE PROVIDED WITH ALL SHEETS WITHIN THIS PLAN SET.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 12/19/2022

PROJECT NUMBER: SP2022-063
PROJECT NAME: Site Plan for PK Floors
SITE ADDRESS/LOCATIONS: 125 E RALPH HALL PKWY

CASE MANAGER: Henry Lee
CASE MANAGER PHONE: 972.772.6434
CASE MANAGER EMAIL: hlee@rockwall.com

CASE CAPTION: Discuss and consider a request by Steven Reyes on behalf of Patrick Kelley for the approval of a Site Plan for an Office/Showroom Facility on a 0.291-acre parcel of land identified as Tract 12-2 of the E. P. G. Chisum Survey, Abstract No. 64, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 125 E. Ralph Hall Parkway, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	12/19/2022	Needs Review

12/19/2022: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Site Plan for Steven Reyes on behalf of Patrick Kelley for the approval of a Site Plan for an Office/Showroom Facility on a 0.291-acre parcel of land identified as Tract 12-2 of the E. P. G. Chisum Survey, Abstract No. 64, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 125 E. Ralph Hall Parkway.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (SP2022-063) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

I.4 All signage will be covered by a separate permit. (Subsection 06.02. F, of Article 05)

M.5 The subject property will be required to be Final Plat, to establish new easements.

M.6 Site Plan:

- (1) Please indicate all wall lengths of the proposed building. (Subsection 03.04. B, of Article 11)
- (2) Please indicate the distance from the proposed building to the existing building to the north-east. (Subsection 03.04. B, of Article 11)
- (3) Label and confirm the building setbacks. (Subsection 03.04. B, of Article 11)
- (4) Please indicate all existing and proposed easements. (Subsection 03.04. B, of Article 11)
- (5) Please label the fire lane as Fire Lane, Public Access, and Utility Easement. (Subsection 03.04. B, of Article 11)
- (6) Please see Engineering standards for a turn around with dead end parking; the proposed turn around does not appear to meet. (Subsection 05.03. C, of Article 06)
- (7) Please clarify if there will be any fencing proposed. If so, please indicate the location, type, and height of the fencing. (Subsection 08.02. F, of Article 08)
- (8) Please indicate if there is any pad mounted utility equipment. (Subsection 01.05. C, of Article 05)
- (9) Please indicate if there is any roof mounted utility equipment by crosshatching them on the building elevations. (Subsection 01.05. C, of Article 05)
- (10) Please indicate any transformer boxes, and confirm that they will be screened with mature five (5) gallon evergreen shrubs. (01.05. C, of Article 05)
- (11) The dumpster enclosure gate must be self-latching, and the enclosure must be screened with mature five (5) gallon evergreen shrubs. (Subsection 01.05. B, of Article 05)

(12) Please verify that there will be no outside storage.

M.7 Landscape Plan:

- (1) The landscape buffer tree requirements are one (1) canopy and one (1) accent tree per 50-feet, as well as a berm and shrubs. In this case, there should be two (2) canopy and two (2) accent trees, as well as a berm and shrubs within the landscape buffer. (Subsection 06.02. C, 5, of Article 08)
- (2) Plum trees are not permitted within the landscape buffer. Please identify a new canopy tree species to use in the landscape buffer. (Appendix C)
- (3) All parking spaces must be within 80-feet of a canopy tree (Subsection 05.03. E, of Article 08)
- (4) Please identify the visibility triangles for all driveways off a public street. (Subsection 01.08, of Article 05)
- (5) Please provide a note indicating that the irrigation will be the requirements of the Unified Development Code (UDC). (Subsection 05.04, of Article 08)

M.8 Building Elevations:

1. Please indicate that the parapet will be finished on the back side with the same material as the exterior façade. (Subsection 04.01, of Article 05)
2. Please raise the parapet to fully screen the roof top utility equipment. (Subsection 01.05. C, of Article 05)
3. The minimum roof pitch in a Commercial (C) District is 6:12. In this case, the roof pitch on the projecting element will require an exception. (Subsection 04.01. A, 1, of Article 05)
4. The proposed building does not meet the primary and secondary façade articulation requirements. For the primary façade articulation, the wall projection and projection height articulation requirements are not met. For the secondary façade articulation, the projection height requirement is not met. Please review Figure 7, within the General Commercial District Standards of the Unified Development Code (UDC). Exception to this may be requested by two (2) compensatory measure must be provided. (Subsection 04.01. A, 1, of Article 05)

I.9 Staff has identified the following exceptions associated with the proposed request: [1] roof pitch, [2] primary articulation, and [3] secondary articulation. Should you decide to request these items as exceptions, please provide a letter that lists the exceptions, why they are being requested, and the subsequent compensatory measures. For each exception requested the UDC requires two (2) compensatory measures (Subsection 09.01, of Article 11). Examples of compensatory measures include the increased use of masonry material or stone, increased articulation, increased architectural elements, more pedestrian amenity, larger landscape planting sizes, etc.

I.10 Please note that failure to address all comments provided by staff by 3:00 PM on January 3, 2023 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.11 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on January 3, 2023; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the January 10, 2023 Planning & Zoning Meeting.

I.12 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on December 27, 2022.
- 2) Planning & Zoning meeting/public hearing meeting will be held on January 10, 2023.

I.13 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City prefers that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	12/16/2022	Needs Review

- 12/16/2022: - Will require off-site fire lane and access easement.
- Show ex. 12' fire lane, access, utility, and drainage esmt.
 - Dumpster may not be located with a sewer easement.
 - Show water easement.
 - Sewer service must be 6" and be connected to with a manhole.
 - Hydrant lead must be within a 20' wide easement from hydrant to main.
 - Show location of FDC.

- Proposed 6" Fire line to building, not domestic.

The following items are informational for the engineering design process.

General Items:

- Must meet City Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees for expansion
- Minimum easement width is 20' for new easements. No structures allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls must be rock or stone face. No smooth concrete walls.
- Must plat the property.
- No structures within easements.

Roadway Paving Items:

- Fire lane to be in a platted easement.

Water and Wastewater Items:

- Show proposed utility lines (Water, Sewer, etc.)
- Any water lines must be a minimum of 8", looped, and must be in a 20' wide easement. (Meet City of Rockwall Standards of Design and Construction)
- Need to show existing water lines and fire hydrants

Drainage Items:

- Detention is required. Need to show approximate location on Site Plan
- Manning's C-value is per zoning type.
- Dumpster areas to drain to oil/water separator and then to the storm lines.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	12/14/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	12/15/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	12/13/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	12/13/2022	Approved

No Comments

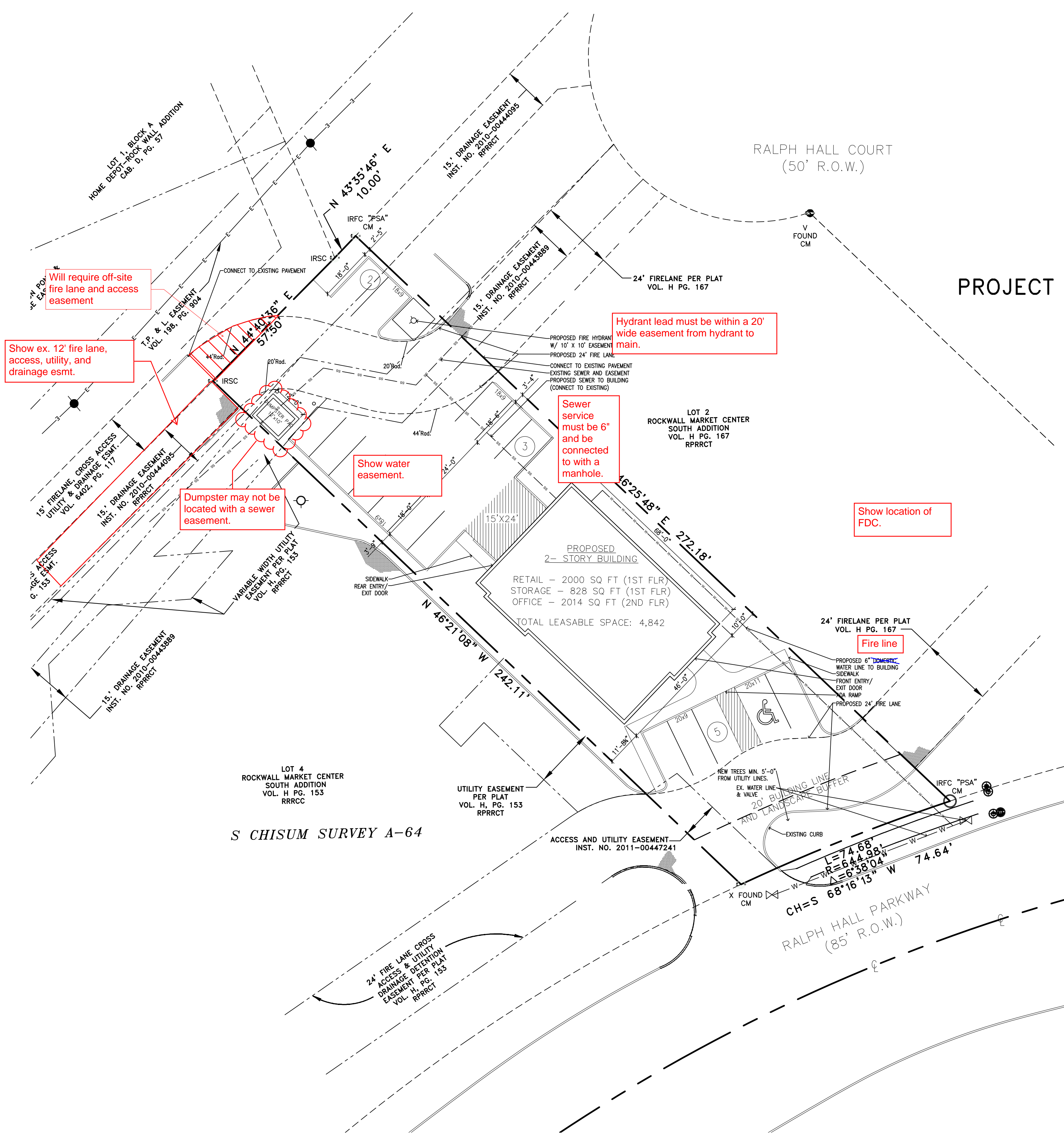
- General Items:**
- Must meet City Standards of Design and Construction
 - 4% Engineering Inspection Fees
 - Impact Fees for expansion
 - Minimum easement width is 20' for new easements. No structures allowed in easements.
 - Retaining walls 3' and over must be engineered.
 - All retaining walls must be rock or stone face. No smooth concrete walls.
 - Must plat the property.
 - No structures within easements.

- Roadway Paving Items:**
- Fire lane to be in a platted easement.

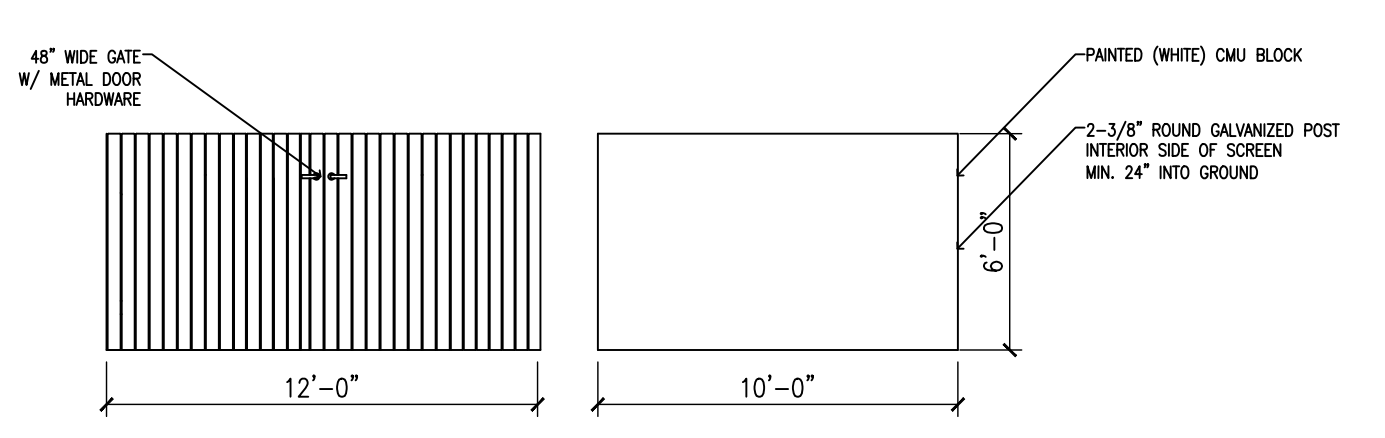
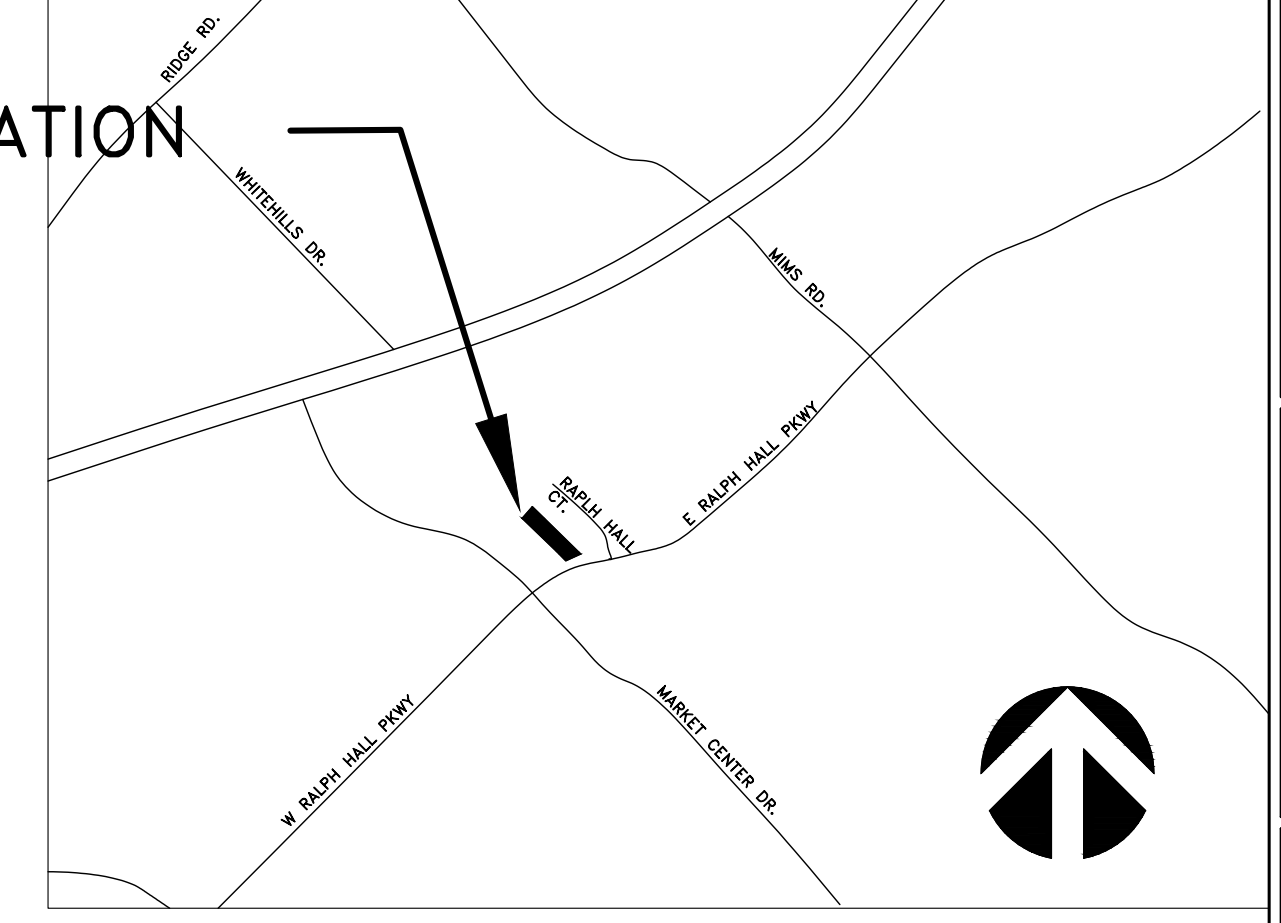
- Water and Wastewater Items:**
- Show proposed utility lines (Water, Sewer, etc.)
 - Any water lines must be a minimum of 8", looped, and must be in a 20' wide easement. (Meet City of Rockwall Standards of Design and Construction)
 - Need to show existing water lines and fire hydrants

- Drainage Items:**
- Detention is required. Need to show approximate location on Site Plan
 - Manning's C-value is per zoning type.
 - Dumpster areas to drain to oil/water separator and then to the storm lines.

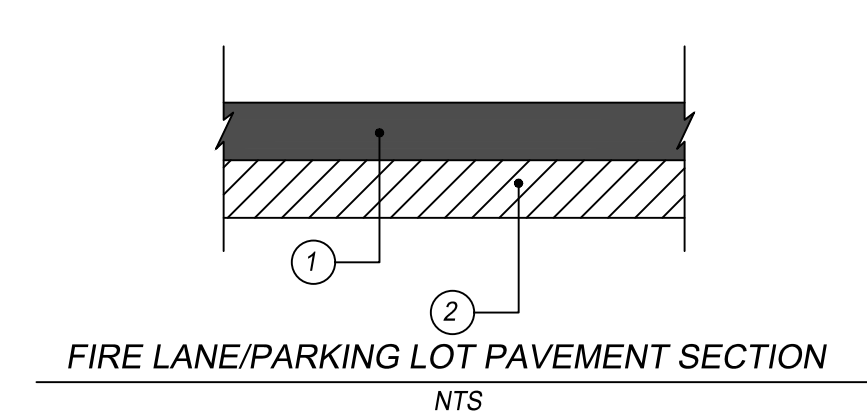
- Landscaping:**
- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
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SITE SUMMARY		
DESCRIPTION	SF	LOT PERCENTAGE
LOT	17,338	100 %
IMPERVIOUS	12,862	74.1%
BUILDING FOOTPRINT	3,197	18.4%
PAVEMENT AREA	9,665	55.7%
PERVIOUS	4,476	25.8%
SIDEWALK AREA	-	
MAX. BUILDING HEIGHT PROPOSED	± 30'	
BUILDING USE / PARKING RATIO	-	PARK'G REQ'D
OFFICE	(1 per 300)	2014
RETAIL	(1 per 250)	2000
STORAGE	(1 per 1000)	828
		1



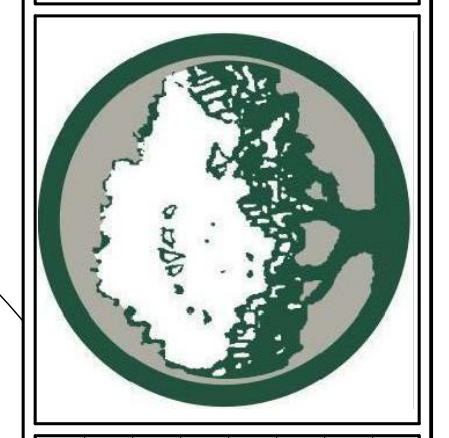
DUMPSTER SCREENING



- 6"-3,600 PSI CONCRETE PAVEMENT WITH NO. 3 BARS 24" ON CENTER BOTH WAYS. (6.5 SACK MIX MIN.)
- 6" COMPACTED LIME STABILIZED SUBGRADE. SCARIFY 6" DEEP AND COMPACT TO A STANDARD PROCTOR MAXIMUM DRY DENSITY NOT LESS THAN 95% AND WITHIN 2% BELOW AND 4% ABOVE OPTIMUM MOISTURE CONTENT. NO SAND ALLOWED. ALL GENERAL FILL TO BE COMPACTED WITH A SHEEP'S FOOT ROLLER.



ARCHITECTONICS TEXAS, LLC
 ARCHITECTURE-MANAGEMENT
 2235 RIDGE RD. STE. 200
 ROCKWALL, TEXAS 75087



DATE	REVISIONS	DESCRIPTIONS/ISSUE

PROJECT NAME AND ADDRESS:
PK FLOORS
 125 RALPH HALL PKWY
 ROCKWALL, TX 75087

PROJECT No.	
DRAWN BY	
CHECKED BY	
DATE	
SCALE	
SHEET NO.	of

DRAWING NAME:
SITE PLAN

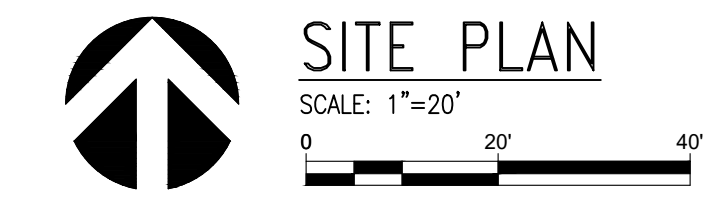
S1.0

APPROVED:
 I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ___ DAY OF ___, _____.
 WITNESS OUR HANDS, THIS ___ DAY OF ___, _____.

 PLANNING AND ZONING COMMISSION DIRECTOR OF PLANNING AND ZONING

OWNER/DEVELOPER:
 PATRICK KELLEY
 TAHOE DR.
 ROCKWALL, TEXAS 75087
 (469)693-9187

ARCHITECT/PLANNER:
 ARCHITECTONICS TEXAS, LLC
 ROSS RAMSAY
 (214)536-5306
 2235 RIDGE RD. STE 200
 ROCKWALL, TEXAS 75087





DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
 PLANNING & ZONING CASE NO. **SP2022-063**
NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.
 DIRECTOR OF PLANNING:
 CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES: <input type="checkbox"/> MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹ <input type="checkbox"/> PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹ <input type="checkbox"/> FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹ <input type="checkbox"/> REPLAT (\$300.00 + \$20.00 ACRE) ¹ <input type="checkbox"/> AMENDING OR MINOR PLAT (\$150.00) <input type="checkbox"/> PLAT REINSTATEMENT REQUEST (\$100.00) SITE PLAN APPLICATION FEES: <input checked="" type="checkbox"/> SITE PLAN (\$250.00 + \$20.00 ACRE) ¹ <input type="checkbox"/> AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)	ZONING APPLICATION FEES: <input type="checkbox"/> ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹ <input type="checkbox"/> SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹ & ² <input type="checkbox"/> PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹ OTHER APPLICATION FEES: <input type="checkbox"/> TREE REMOVAL (\$75.00) <input type="checkbox"/> VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ² NOTES: ¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE. ² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.
---	--

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS _____
 SUBDIVISION _____ LOT _____ BLOCK _____
 GENERAL LOCATION *Ralph Hume Parkway & Market Center*

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING *Commercial* CURRENT USE *Commercial*
 PROPOSED ZONING *Same* PROPOSED USE *Same*
 ACREAGE *0.29* LOTS [CURRENT] _____ LOTS [PROPOSED] _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> OWNER	<i>Patrick Kelley</i>	<input checked="" type="checkbox"/> APPLICANT	<i>Patrick Kelley</i>
CONTACT PERSON		CONTACT PERSON	<i>Steven Reyes</i>
ADDRESS	<i>2845 Ridge Rd #207</i>	ADDRESS	<i>2235 Ridge Rd #200</i>
CITY, STATE & ZIP	<i>Rockwall, TX</i>	CITY, STATE & ZIP	<i>Buckale, TX</i>
PHONE	<i>469 693 9187</i>	PHONE	<i>972 345-1684</i>
E-MAIL		E-MAIL	

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED *P. Kelley* [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

¹ I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ *270* TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE *12* DAY OF *Dec* 20*22* BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE *12th* DAY OF *December*, 20*22*

OWNER'S SIGNATURE

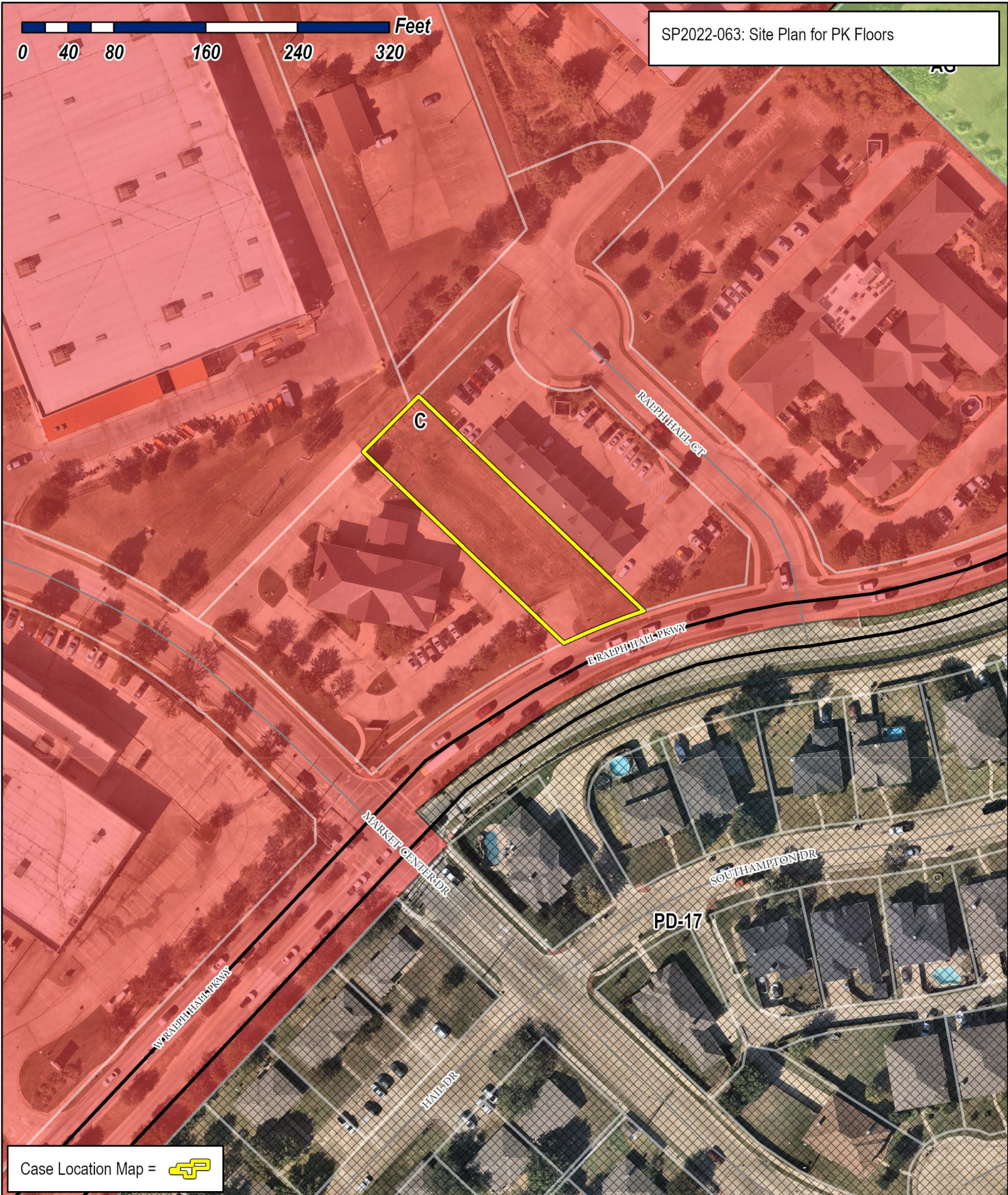
P. Kelley
Sheila Marie Flavin

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



0 40 80 160 240 320 Feet

SP2022-063; Site Plan for PK Floors



Case Location Map = 

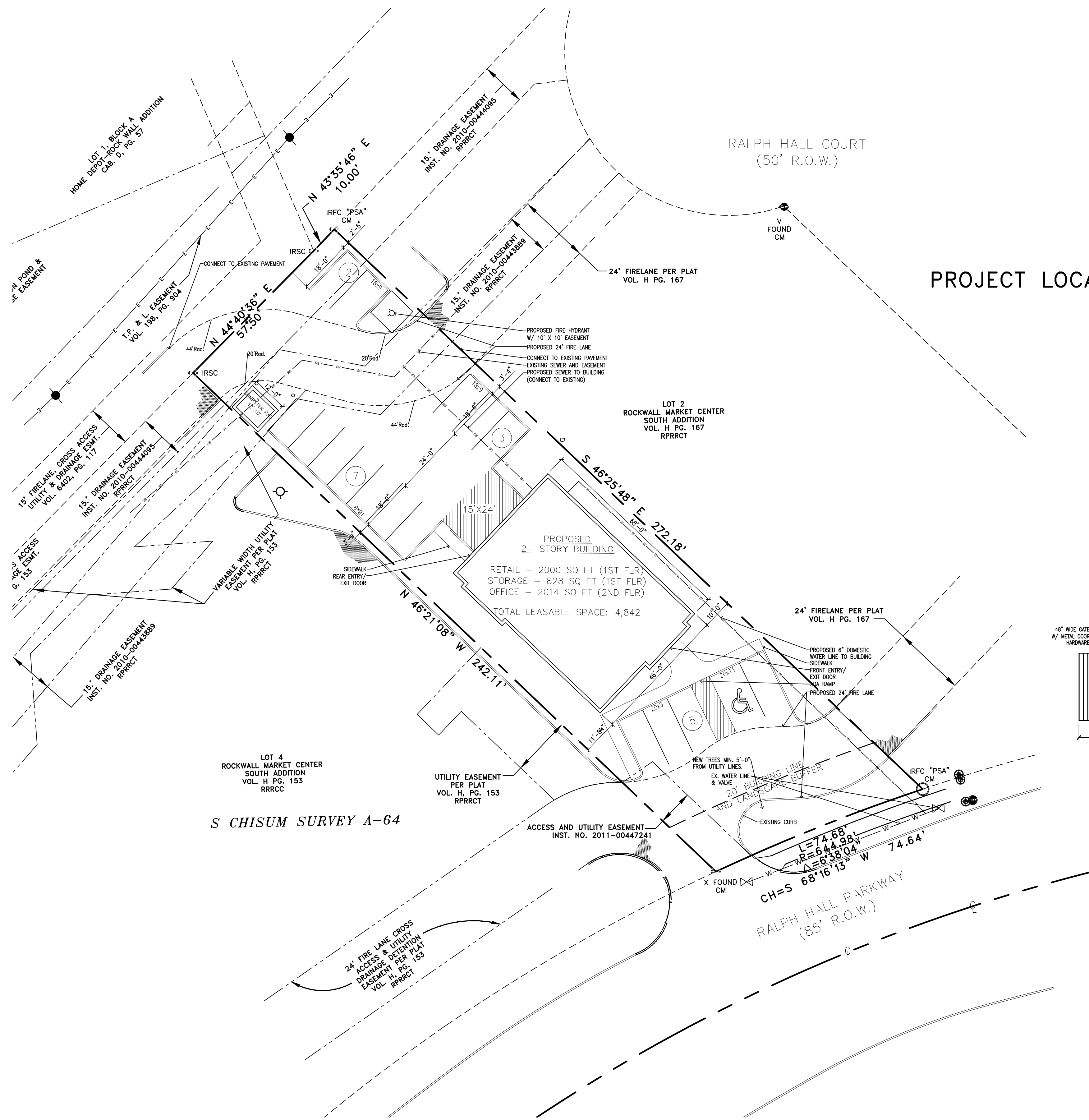


City of Rockwall

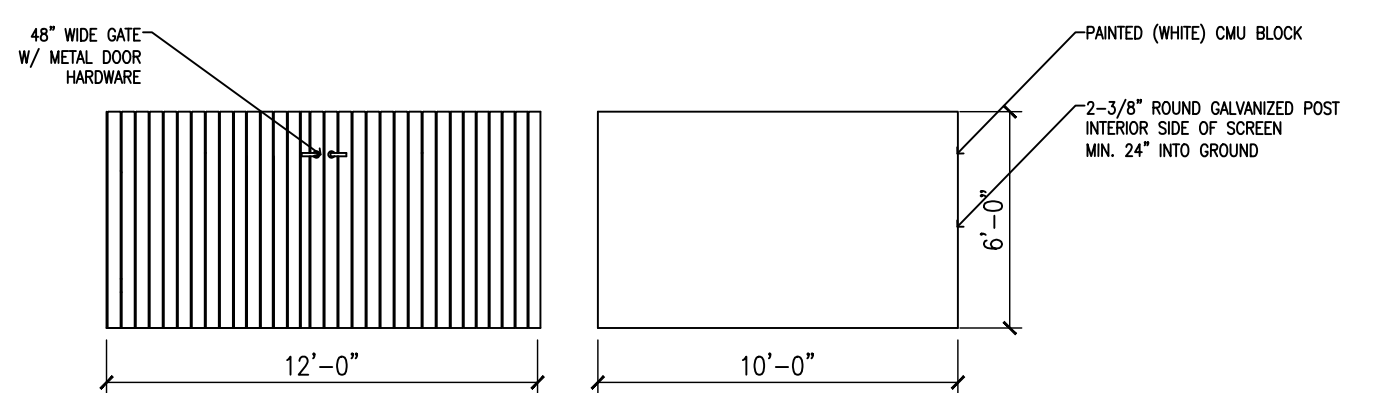
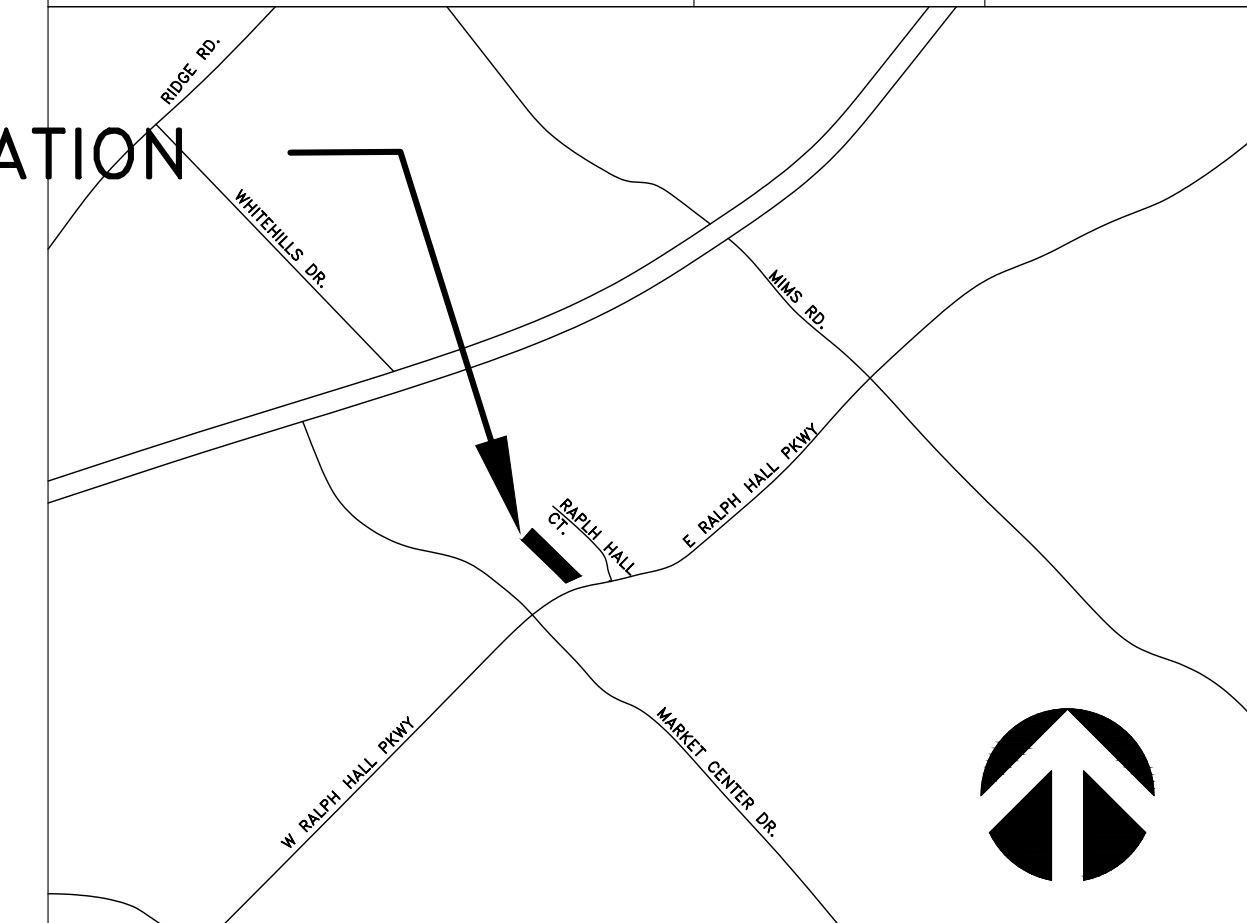
Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

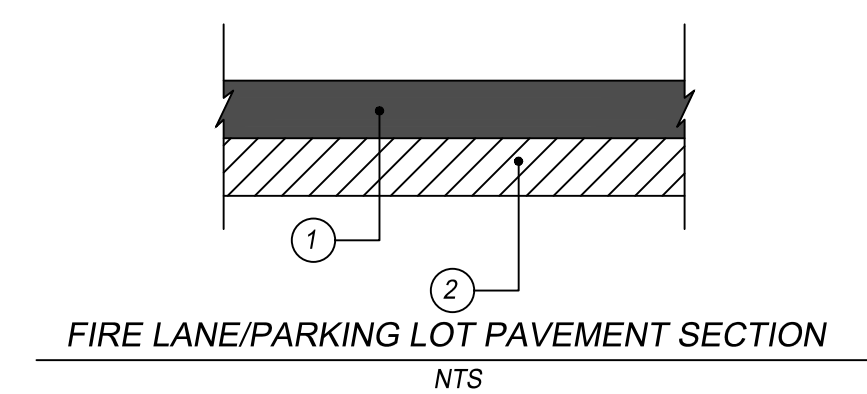




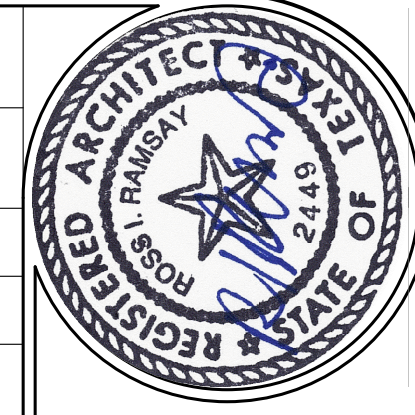
SITE SUMMARY		
DESCRIPTION	SF	LOT PERCENTAGE
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OFFICE (1 per 300)	2014	7
RETAIL (1 per 250)	2000	8
STORAGE (1 per 1000)	828	1



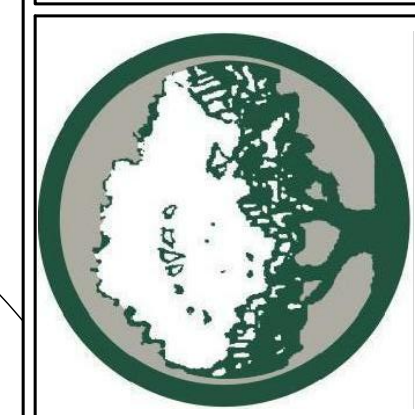
DUMPSTER SCREENING



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ARCHITECTONICS TEXAS, LLC
 ARCHITECTURE - MANAGEMENT
 2235 RIDGE RD. STE. 200
 ROCKWALL, TEXAS 75087



NO.	DATE	REVISIONS / DESCRIPTIONS / ISSUE

PROJECT NAME AND ADDRESS:
PK FLOORS
 125 RALPH HALL PKWY
 ROCKWALL, TX 75087

PROJECT NO.	
DRAWN BY	
CHECKED BY	
DATE	
SCALE	
SHEET NO.	of

DRAWING NAME:
SITE PLAN

S1.0

APPROVED:
 I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF ____, ____.

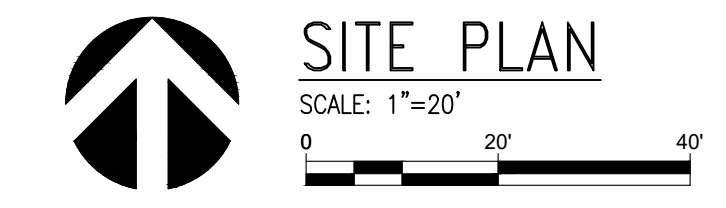
WITNESS OUR HANDS, THIS ____ DAY OF ____, ____.

 PLANNING AND ZONING COMMISSION

 DIRECTOR OF PLANNING AND ZONING

OWNER/DEVELOPER:
 PATRICK KELLEY
 TAHOE DR.
 ROCKWALL, TEXAS 75087
 (469)693-9187

ARCHITECT/PLANNER:
 ARCHITECTONICS TEXAS, LLC
 ROSS RAMSAY
 (214)536-5306
 2235 RIDGE RD. STE 201
 ROCKWALL, TEXAS 75087





ARCHITECTONICS TEXAS, LLC
 ARCHITECTURE - MANAGEMENT
 2235 RIDGE RD. STE. 200
 ROCKWALL, TEXAS 75087



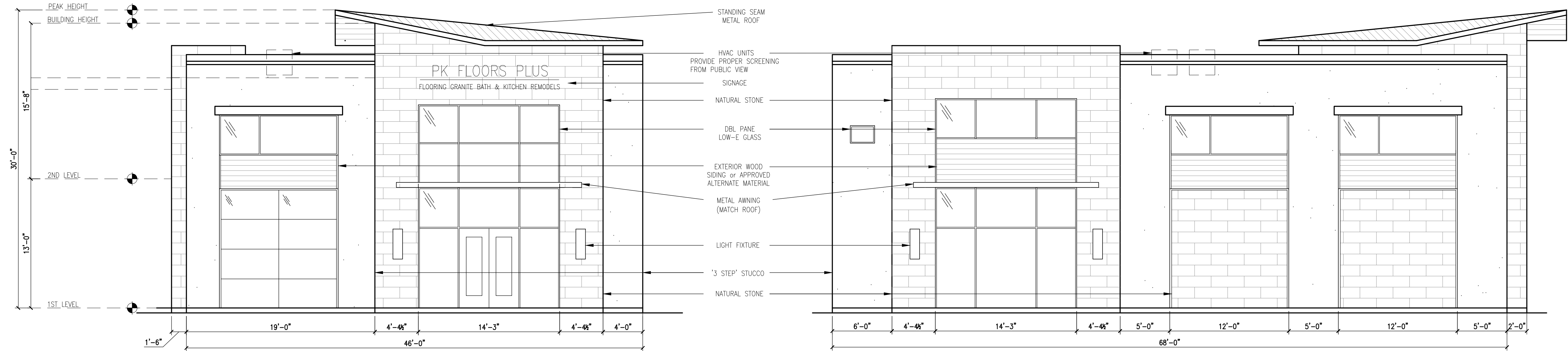
REVISIONS	DATE
No.	
DESCRIPTION/ISSUE	

PROJECT NAME AND ADDRESS:
PK FLOORS
 RALPH HALL PKWY
 ROCKWALL, TX 75087

PROJECT No.	
DRAWN BY	
CHECKED BY	
DATE	
SCALE	
SHEET NO.	of

DRAWING NAME:
ELEVATIONS

A2.0

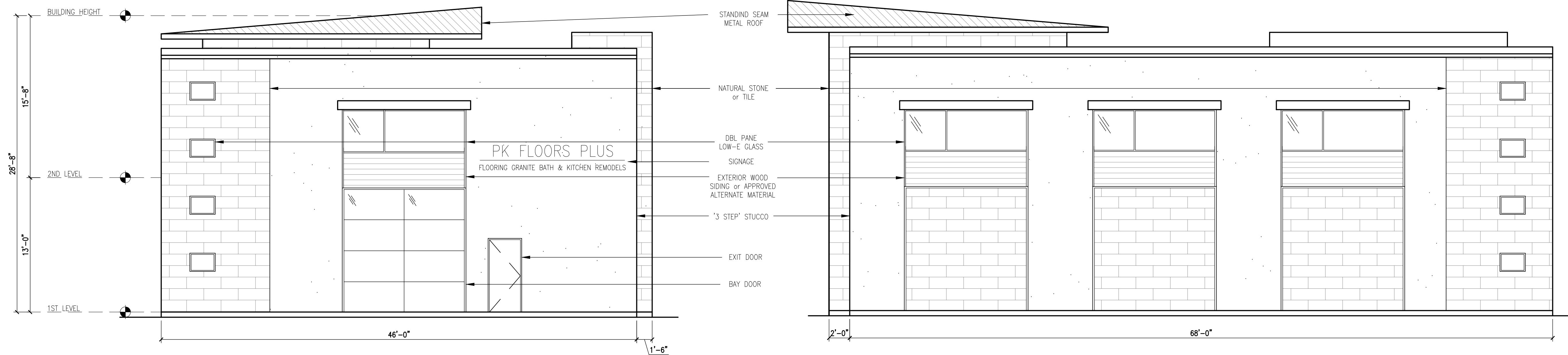


SOUTH ELEVATION (FACING RALPH HALL PKWY)
 SCALE: 3/16" = 1"

MATERIAL USAGE (%) - SOUTH			
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		1,174	
DOORS & WINDOWS (DEDUCTED)		481	
ACCOUNTABLE AREA		693	100%
MASONRY - 3 STEP STUCCO		324	46%
PORCELAIN TILE		329	47%
TREX CLADDING		40	7%

WEST ELEVATION
 SCALE: 3/16" = 1"

MATERIAL USAGE (%) - WEST			
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		1,795	
DOORS & WINDOWS (DEDUCTED)		320	
ACCOUNTABLE AREA		1,475	100%
MASONRY - 3 STEP STUCCO		675	46%
PORCELAIN TILE		657	45%
TREX CLADDING		143	9%



NORTH ELEVATION
 SCALE: 3/16" = 1"

MATERIAL USAGE (%) - NORTH			
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		1,180	
DOORS & WINDOWS (DEDUCTED)		232	
ACCOUNTABLE AREA		948	100%
MASONRY - 3 STEP STUCCO		668	70%
PORCELAIN TILE		240	25%
TREX CLADDING		40	5%

EAST ELEVATION
 SCALE: 3/16" = 1"

MATERIAL USAGE (%) - EAST			
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		1,782	
DOORS & WINDOWS (DEDUCTED)		161	
ACCOUNTABLE AREA		1,621	100%
MASONRY - 3 STEP STUCCO		770	48%
PORCELAIN TILE		731	45%
TREX CLADDING		120	7%

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WITNESS OUR HANDS, THIS ____ DAY OF _____, ____.

PLANNING AND ZONING COMMISSION

DIRECTOR OF PLANNING AND ZONING

OWNER/DEVELOPER:
 PATRICK KELLEY
 TAHOE DR.
 ROCKWALL, TEXAS 75087
 (469)693-9187

ARCHITECT/PLANNER:
 ARCHITECTONICS TEXAS, LLC
 STEVEN REYES
 (972)345-1684
 2235 RIDGE RD. STE 201
 ROCKWALL, TEXAS 75087



EK FLOORS PLUS
FLOORING - GRANITE - BATH & KITCHEN REMODELS

COMPOSITE WOOD
CLADDING by TREX
(SOFFIT to MATCH)



'FEATURE' PORCELAIN TILE
by MAXIMA



TRADITIONAL '3 STEP' STUCCO (WHITE)
STUCCO BROW (MATCH TILE)

STEEL ROOF & AWNING (MATCH)



ANODIZED BRONZE
ALUMINUM FRAME WINDOWS



ARCHITECTONICS TEXAS, LLC
ARCHITECTURE - MANAGEMENT

2235 RIDGE RD. STE. 200
ROCKWALL, TEXAS 75087

REVISIONS	DATE
No.	
DESCRIPTION/ISSUE	

PROJECT NAME AND ADDRESS:

PK FLOORS

125 RALPH HALL PKWY
ROCKWALL, TEXAS 75087

PROJECT No.	
DRAWN BY	
CHECKED BY	
DATE	08/18/22
SCALE	
SHEET NO.	of

DRAWING NAME:

OWNER/DEVELOPER:
PATRICK KELLEY
TAHOE DR.
ROCKWALL, TEXAS 75087
(469)693-9187

ARCHITECT/PLANNER:
ARCHITECTONICS TEXAS, LLC
ROSS RAMSAY
(214)536-5306
2235 RIDGE RD. STE 201
ROCKWALL, TEXAS 75087

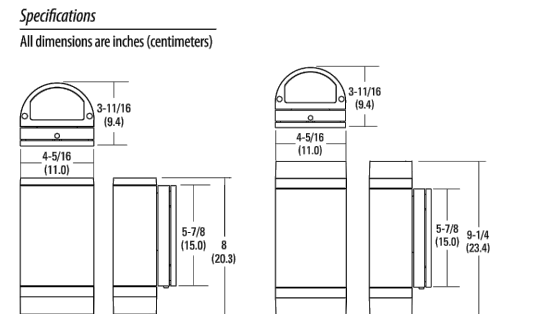


FEATURES & SPECIFICATIONS

INTENDED USE: Provides years of maintenance free illumination for outdoor use in residential & commercial applications. Ideal for applications such as lighting walkways and porches for safety and security.

Table with 2 columns: Code, Name. Row 1: 'A', OLLWD

OLLWD & OLLWD LED WALL CYLINDER LIGHT



ORDERING INFORMATION: For detailed lead times, configure products using bidlet options.

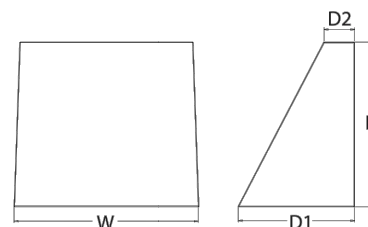
Table with 5 columns: Series, Performance Package, Color Temperature (CCT), Voltage, Finish. Includes example: OLLWD LED P1 40K MVOLT DDB.

DECORATIVE INDOOR & OUTDOOR



Table with 2 columns: Code, Name. Row 1: 'B', WDGE1

Specifications: Depth (D1): 5.5", Depth (D2): 1.5", Height: 8", Width: 9", Weight: 9 lbs.



WDGE LED Family Overview table with columns for Lumens, Depth, Height, Weight, and Price.

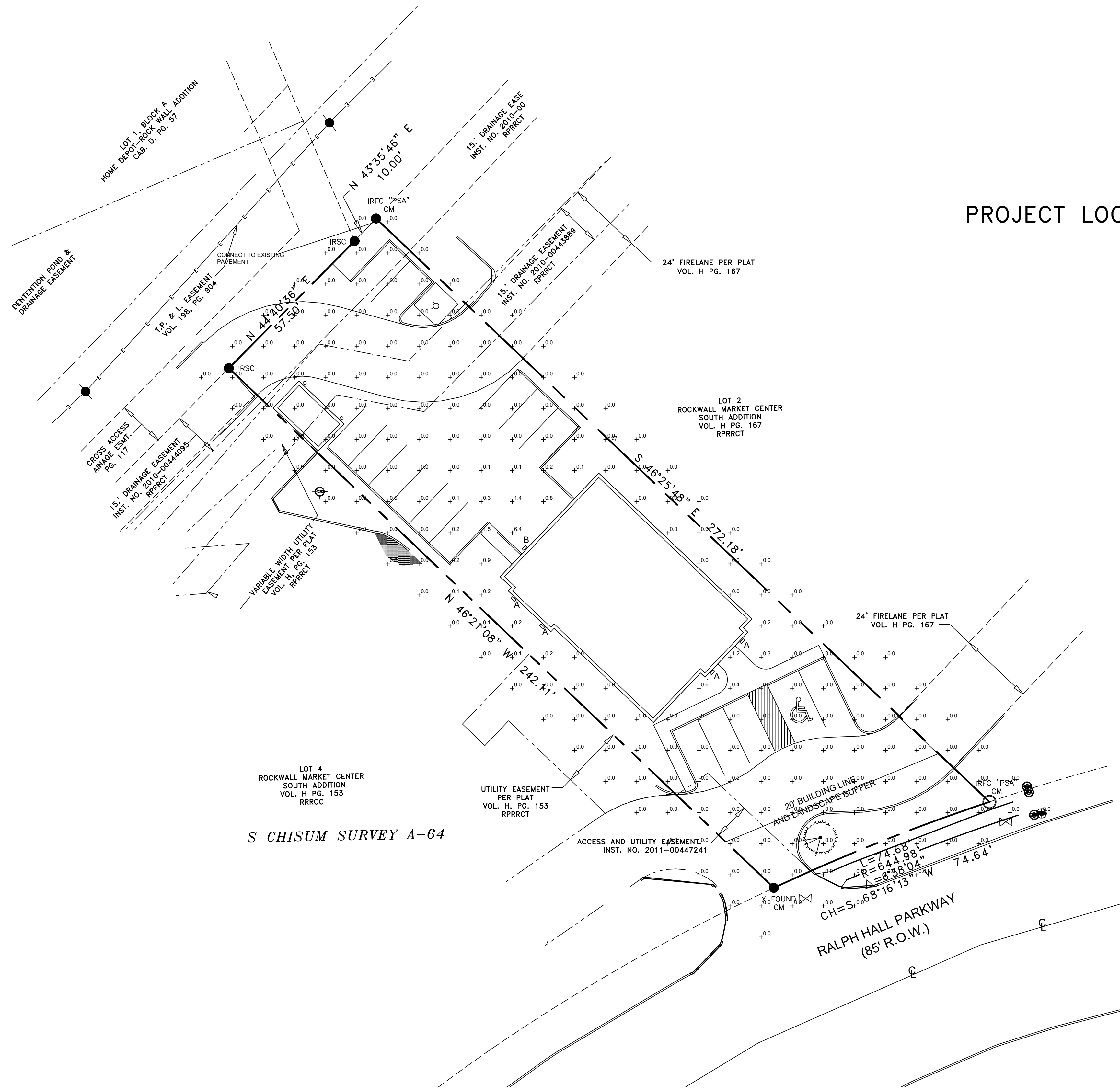
Ordering Information: EXAMPLE: WDGE1 LED P2 40K 80CRI VF MVOLT SRM PE DDBXD

Table with 5 columns: Series, Package, Color Temperature, CCT, Backlight. Includes shipping information.

Table with 2 columns: Feature, Description. Lists various product features and options.

Accessories: Lists additional products like battery packs and mounting brackets.

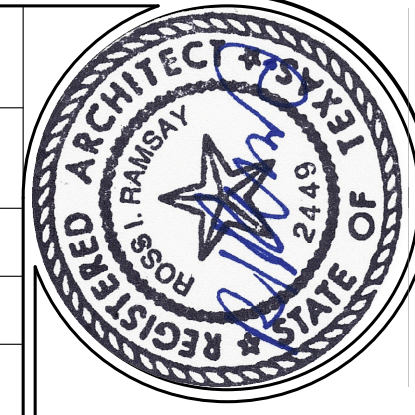
Notes: 1. Not available in RCRCC. 2. 24V not available with 24W or 30W. 3. 24W not available with 24V or 30V. 4. PE not available with 24V. 5. Not qualified for DUC. Not available with 24W.



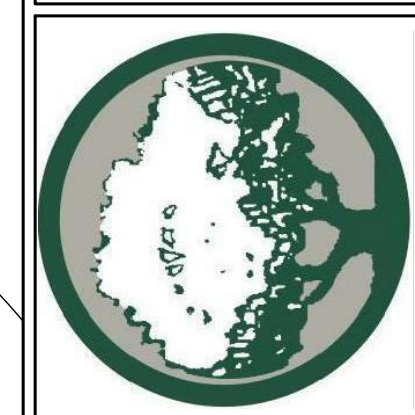
PROJECT LOCATION

SITE SUMMARY table with columns: DESCRIPTION, SF, LOT PERCENTAGE. Rows include LOT, IMPERVIOUS, BUILDING FOOTPRINT, PAVEMENT AREA, PERVIOUS, SIDEWALK AREA, MAX. BUILDING HEIGHT PROPOSED, BUILDING USE / PARKING RATIO, OFFICE, RETAIL, STORAGE.

VICINITY MAP



ARCHITECTONICS TEXAS, LLC ARCHITECTURE - MANAGEMENT 2235 RIDGE RD. STE. 200 ROCKWALL, TEXAS 75087



REVISIONS table with columns: No., DATE, DESCRIPTION/ISSUE.

PROJECT NAME AND ADDRESS: PK FLOORS 125 RALPH HALL PKWY ROCKWALL, TX 75087

Table with 2 columns: PROJECT No., DRAWN BY, CHECKED BY, DATE, SCALE, SHEET No. of.

PHOTOMETRIC PLAN

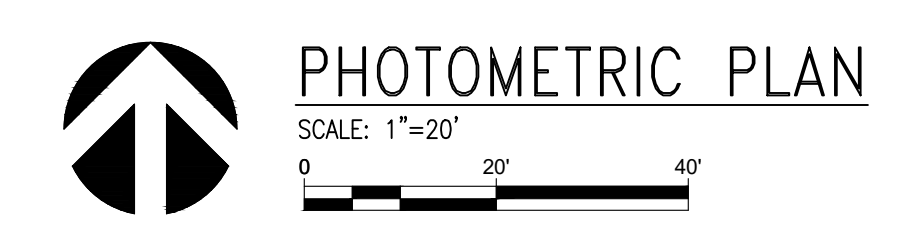
P1.0

APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ___ DAY OF ___, ___.

WITNESS OUR HANDS, THIS ___ DAY OF ___, ___. PLANNING AND ZONING COMMISSION DIRECTOR OF PLANNING AND ZONING

OWNER/DEVELOPER: PATRICK KELLEY TAHOE DR. ROCKWALL, TEXAS 75087 (469)693-9187

ARCHITECT/PLANNER: ARCHITECTONICS TEXAS, LLC STEVEN REYES (972)345-1684 2235 RIDGE RD. STE 201 ROCKWALL, TEXAS 75087



PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 12/16/2022

PROJECT NUMBER: SP2022-064
PROJECT NAME: Site Plan for the Pet Doctor
SITE ADDRESS/LOCATIONS: 828 ROCHELL CT

CASE MANAGER: Bethany Ross
CASE MANAGER PHONE: (972) 772-6488
CASE MANAGER EMAIL: bross@rockwall.com

CASE CAPTION: Discuss and consider a request by Jeff Carroll of Jeff Carroll Architects, Inc. on behalf of Eric Borkenhalen of Kohl's Department Stores for the approval of a Site Plan for an Animal Clinic for Small Animals without Outside Pens on a 0.636-acre portion of a larger 7.383-acre parcel of land identified as Lot 7, Block A, Rockwall Market Center East Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, located at the terminus of Rochell Court, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Bethany Ross	12/16/2022	Approved w/ Comments

12/16/2022: SP2022-064; Site Plan for The Pet Doctor

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request by Jeff Carroll of Jeff Carroll Architects, Inc. on behalf of Eric Borkenhalen of Kohl's Department Stores for the approval of a Site Plan for an Animal Clinic for Small Animals without Outside Pens on a 0.636-acre portion of a larger 7.383-acre parcel of land identified as Lot 7, Block A, Rockwall Market Center East Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, located at the terminus of Rochell Court, and take any action necessary.

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com.

M.3 For reference, include the case number (SP2022-064) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

I.4 The subject property will be required to be replatted after the engineering process to establish the new easements.

M.5 Site Plan

- (1) Please show the dedication of right-of-way for Rochelle Court. (Subsection 03.04.B, of Article 11)
- (2) Show the building setbacks from Rochelle Court dedication. (Subsection 03.04.B, of Article 11)
- (3) Please show the distance from the property line to the back of the building in the northwest corner of the subject property.
- (4) Please provide an exhibit showing all parking spaces are within 80-feet of a tree.
- (5) Since the building backs to a public row, please finish the back of the building in the same materials and using the same articulation as the front of the building.
- (6) The photometric plan does not conform to the site plan or building elevations. Please make the required corrections.

M.6 Based on the materials submitted staff has identified the following variances for this project:

- (1) Four (4) Sided Architecture. According to Subsection 06.02 (C)(5), Four (4) Sided Architecture, of Article 05, District Development Standards, of the Unified Development Code (UDC), "(a)ll buildings shall be architecturally finished on all four (4) sides utilizing the same materials, detailing, articulation and features." In this case the applicant is required to

meet the building articulation standards for the primary building façade on all sides of the building. Given the proposed building elevations the applicant does not meet the wall projection requirements. In addition, the stone percentage on the north, east, and south façades does not meet the minimum 20% stone requirement. This will require a variance from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB).

(2) Screening of Loading and Service Areas. According to Subsection 06.02 (D)(6), Loading and Service Areas “All loading and service areas shall be located on the rear and side of buildings where possible. In the event that a loading or service area faces towards the Primary Roadway (i.e. IH-30, SH-205, FM-740, SH-66, FM549, John King Boulevard and SH-276), additional screening of the loading and service area may be required by the Architectural Review Board (ARB) and Planning and Zoning Commission. A minimum of a ten (10) foot masonry screening wall shall be required to screen the view of loading docks and loading spaces intended for tractor/semi-trailer delivery from any public right-of-way. This ten (10) foot masonry screening wall must screen the entire loading dock or loading space. Screening materials shall utilize similar masonry materials as the front façade of the primary building. The accommodation of adequate access for service delivery trucks shall be evaluated to determine the extent of screening required.” Given the proposed building elevations and site plan, the applicant does not meet this screening requirement for the proposed overhead doors. This will require a variance from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB).

M.7 According to Article 11, Development Application and Review Procedures, of the Unified Development Code (UDC), two (2) compensatory measure for each exception or variance is required. In order to request an exception or variance, the applicant will need to provide a letter outlining the requested exceptions and required compensatory measures.

I.8 Please note that failure to address all comments provided by staff by 3:00 PM on January 3, 2023 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.9 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on January 3, 2023; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the January 10, 2023 Planning & Zoning Meeting.

I.10 Please note the scheduled meetings for this case:

- (1) Planning & Zoning Work Session meeting will be held on December 27, 2022.
- (2) Planning & Zoning meeting/public hearing meeting will be held on January 10, 2023.

I.11 All meetings will be held in person and in the City’s Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City requires that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are required to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	12/16/2022	Needs Review

- 12/16/2022: - Existing fire lane easement must be abandoned.
- New fire lane will need to be painted and platted.
 - 20' radius for relocated fire lane and access easement.
 - Fire lane? Will at least need to be platted as an access easement.
 - Need to dedicate the remainder of the cul-de-sac.
 - No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
 - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

The following items are informational for the engineering design process.

- General Items:
- Must meet City Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Wastewater & Roadway)

- Minimum easement width is 20'. No structures allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls must be rock or stone face. No smooth concrete walls.

Drainage Items:

- Drainage from the site must follow the approved drainage area map. (See as-builts)
- Dumpster to go through oil/water separator before draining to the storm lines.
- Drainage must connect to existing underground storm sewer system that flows to detention pond.
- Drainage easement must be dedicated by plat for storm sewer.
- Show and call out drainage easements.

Water and Wastewater Items:

- 8" water will need to be looped in around the site.
- Only one "use" can be off a dead-end water line (Domestic service, irrigation, fire hydrant, or fire line).
- Water to be 10' separated from storm and sewer lines.

Roadway Paving Items:

- Parking to be 20'x9'.
- Drive isles to be 24' wide.
- Fire lane to have minimum 20' radii.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	12/14/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	12/15/2022	Needs Review

12/15/2022: Show the location of the fire lane, fire hydrants, and fire department connection for the fire sprinkler system.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	12/13/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	12/13/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Bethany Ross	12/16/2022	N/A

No Comments

General Items:

- Must meet City Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Wastewater & Roadway)
- Minimum easement width is 20'. No structures allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls must be rock or stone face. No smooth concrete walls.

Drainage Items:

- Drainage from the site must follow the approved drainage area map. (See as-builts)
- Dumpster to go through oil/water separator before draining to the storm lines.
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- Show and call out drainage easements.

Water and Wastewater Items:

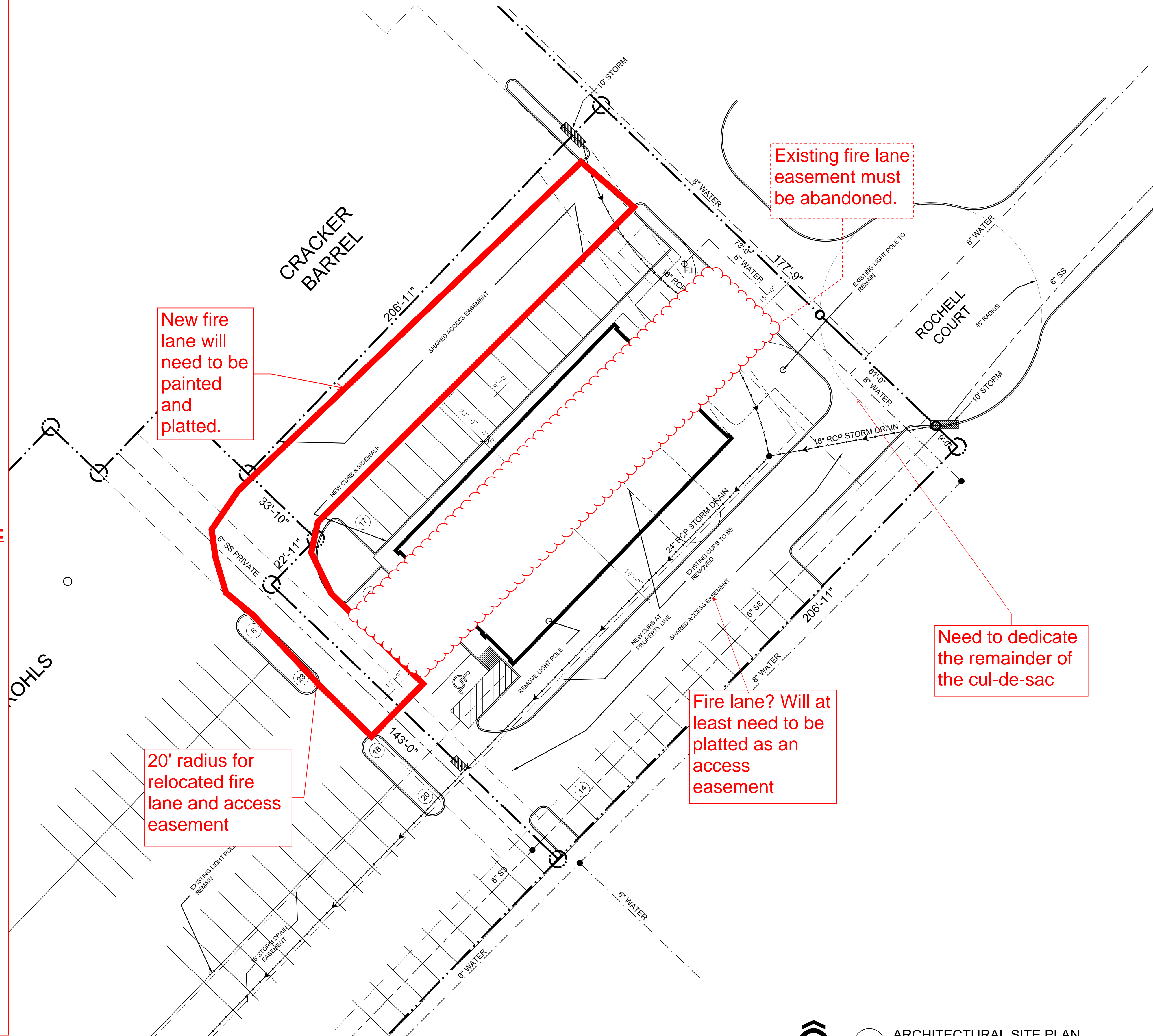
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Existing fire lane easement must be abandoned.

New fire lane will need to be painted and platted.

Fire lane? Will at least need to be platted as an access easement

Need to dedicate the remainder of the cul-de-sac

20' radius for relocated fire lane and access easement

SITE DATA TABLE	
SITE AREA	0.824 ACRES (35,917 S.F.)
SHARED ACCESS EASEMENT	6,300 S.F.
ORDINANCE SITE PLAN AREA	29,617 S.F.
ZONING	(C) COMMERCIAL
PROPOSED USE	BUSINESS
BUILDING AREA #1:	6,800 S.F.
LOT COVERAGE (GROSS AREA)	23.0%
FLOOR TO AREA RATIO	2.3 : 1
BUILDING HEIGHT MAX.	36'-0"

BUILDING PARKING CALCULATIONS			
BUILDING USE	SQUARE FOOTAGE	PARKING REQUIREMENT	REQUIRED PARKING
BUILDING #1	6,800 S.F.	1/300	= 23
TOTAL PARKING REQUIRED			= 23 SPACES
TOTAL PARKING PROVIDED			= 37 SPACES

NOTE:
1.) KOHLS PARKING SPACES REDUCES 61 SPACES
2.) KOHLS TO PAY AND RELOCATE SEWER LINES

ISSUE:

CITY COMMENTS: 12-12-2022																			
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PET DOCTOR
828 Rochelle Ct.
Rockwall, Texas 75087

PET DOCTOR
DR. WEBB

CARROLL architects
750 E. Interstate 30
Suite 110
Rockwall, TX 75087
t: 972-732-6085
f: 972-732-8058

ARCHITECTURAL SITE PLAN

PET DOCTOR
LEGAL DESCRIPTION AND OR ADDRESS:
ROCKWALL MARKET CENTER EAST
LOT - BLOCK A E.P. GAINES CHISUM
SURVEY, ABSTRACT NO.64
City of Rockwall, Rockwall County, Texas

OWNER:
Dr. Keith Webb
Pet Doctor Veterinary Hospital
2703 Market Center
Rockwall, TX 75032

APPLICANT:
Carroll Architects, Inc.
750 E. Interstate 30 #110
Rockwall, TX 75087
P: 972-732-6085
E: j@carrollarch.com
ATTN: Jeff Carroll

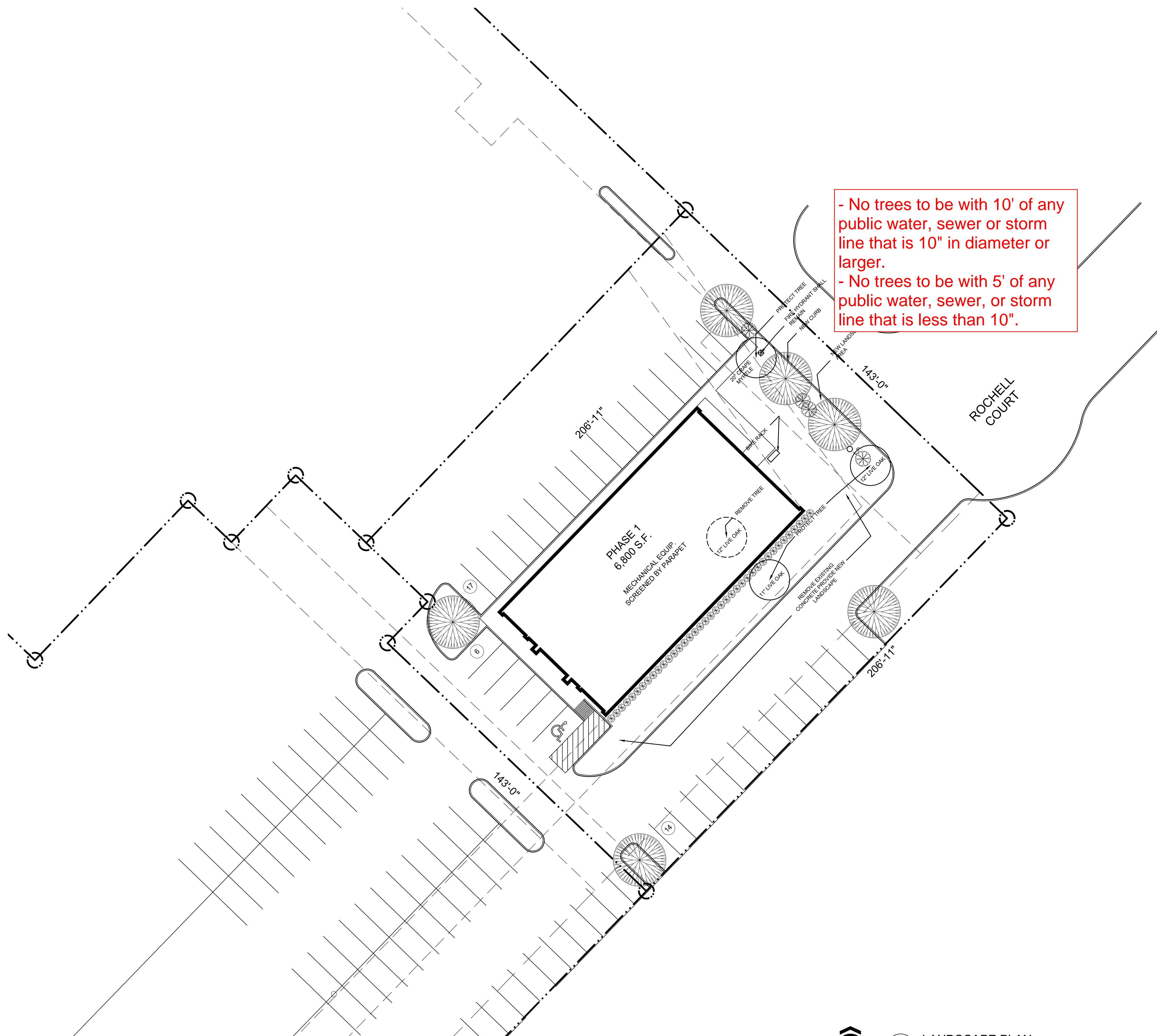
CITY OF ROCKWALL CASE NUMBER:
SP2022-056

SITE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____.

WITNESS OUR HANDS, this ____ day of ____.

Planning & Zoning Commission, Chairman
Director of Planning and Zoning



- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
 - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

SITE DATA TABLE	
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PROPOSED USE	BUSINESS
BUILDING AREA #1:	6,800 S.F.
LOT COVERAGE (GROSS AREA)	23.0%
FLOOR TO AREA RATIO	2.3 : 1
BUILDING HEIGHT MAX.	36'-0"

LANDSCAPE TABULATION	
NET AREA	29,617 S.F.
REQUIRED LANDSCAPE AREA-- 20% OF 29,617 S.F.	5,923 S.F.
PROVIDED LANDSCAPE AREA-- 23% OF 29,617 S.F.	6,812 S.F.
IMPERVIOUS COVERAGE-- 77% OF 29,617 S.F.	22,805 S.F.

NOTES:
 - Irrigation shall be provided to all landscaped areas.
 - Tree mitigation for this project for existing trees on this property.
 - All perimeter parking are within 50'-0" of a shade tree.
 - No trees within 5' of public utilities less than 10".
 - No trees within 10' of public utilities 10" or greater

TREE/SHRUB LEGEND	
TREES, INSTALLED W/ MINIMUM 6" CALIPER	
CEDAR ELM (MIN. 6" CALIPER)	WINTER BOXWOOD (SHRUB) 5 GALLON @ INSTALLATION
EYE'S NECKLACE (MIN. 4" TALL)	EXISTING TREE OR SHRUBBERY

TREE MITIGATION NOTES:
 REMOVED - (1) EXISTING 12"
 PROPOSED - ADDITIONAL 30"

- GENERAL NOTES:
- REQUIRED LANDSCAPE AREAS SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM; PROVIDED HOWEVER, THAT A HOSE BIB SYSTEM MAY BE USED FOR IRRIGATION WHEN A LANDSCAPE AREA IS LESS THAN 1,000 SQUARE FEET IN SIZE AND WHEN ALL PORTIONS OF THE AREA ARE WITHIN 50'-FEET OF A HOSE ATTACHMENT. SYSTEM SHALL HAVE FREEZE GUARD AND RAINSTAT.
 - ALL AREAS NOT SHOWN AS SPECIFIC PLANT MATERIAL SHALL BE HYDROMULCHED BERMUDA, EXCEPT FOR UNDISTURBED SITE AREA.
 - OWNER MAY SUBSTITUTE TYPES OF TREES. THE OWNER SHALL SELECT TYPES FROM CITY APPROVED TREE LIST ORDINANCE.
 - CONTRACTOR SHALL SUPPLY SLEEVES AS NEEDED FOR IRRIGATION.
 - CONTRACTOR TO VERIFY LOCATION OF IRRIGATION CONTROL W/ OWNER.
 - DUMPSTER IS NOT REQUIRED FOR THIS PROJECT. - PROVIDED ALL LANDSCAPE BUFFERS AND PUBLIC RIGHT-OF-WAY LOCATED ADJACENT TO A PROPOSED DEVELOPMENT SHALL BE IMPROVED WITH GRASS.
 - THE DEVELOPER SHALL ESTABLISH GRASS AND MAINTAIN THE SEEDING AREA, INCLUDING WATERING, UNTIL A "PERMANENT STAND OF GRASS" IS OBTAINED.
 - NO TREE SHALL BE PLANTED CLOSER THAN FIVE (5) FEET TO EDGE OF PAVEMENT OR FIVE (5) FEET FROM ANY WATER OR WASTEWATER LINE THAT IS LESS THAN 12 INCHES. WATER AND WASTEWATER LINES THAT ARE 12 INCHES AND GREATER REQUIRE TREES TO BE PLANTED A MINIMUM OF TEN (10) FEET FROM THE CENTERLINE OF THE PIPE. TREES MUST BE (5) FEET FROM ALL UTILITIES.
 - ALL PARKING SPACES ARE WITHIN 80' OF A TREE.
 - THERE IS AN EXISTING SEWER EASEMENT @ REAR OF BOTH BUILDINGS. THIS DOES NOT ALLOW TREES TO BE PLANTED BEHIND THESE BUILDINGS.

ISSUE:
 CITY COMMENTS: 12-12-2022

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PET DOCTOR
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PET DOCTOR
 DR. WEBB

CARROLL architects
 750 E. Interstate 30
 Suite 110
 Rockwall, TX 75087
 t: 972-732-6085
 f: 972-732-8058

PET DOCTOR	
LEGAL DESCRIPTION AND OR ADDRESS: ROCKWALL MARKET CENTER EAST LOT , BLOCK A E.P. GAINES CHISUM SURVEY, ABSTRACT NO.64 City of Rockwall, Rockwall County, Texas	
OWNER Dr. Keith Webb Pet Doctor Veterinary Hospital 2703 Market Center Rockwall, TX 75032	
APPLICANT Carroll Architects, Inc. 750 E. Interstate 30 #110 Rockwall, TX 75087 P: 972-732-6085 E: ic@carrollarch.com ATTN: Jeff Carroll	
CITY OF ROCKWALL CASE NUMBER: SP2022-056	
SITE PLAN SIGNATURE BLOCK	
APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, 2022.	
WITNESS OUR HANDS, this ____ day of _____, 2022.	
Planning & Zoning Commission, Chairman	
Director of Planning and Zoning	

LANDSCAPE PLAN

DATE: DEC 2022 SHEET NO:
 PROJECT NO: 2022063
 DRAWN BY: L1
 CHECKED BY:



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:
CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 823 E. I-30 Rockwall TX 75032
 Subdivision ROCKWALL MARKET CENTER EAST Lot 1 Block A
 General Location I-30 & MIMS ROAD

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning COMMERCIAL Current Use RETAIL
 Proposed Zoning GAME Proposed Use OFFICE - VETERINARY CLINIC
 Acreage 0.636 AC. Lots [Current] 2 Lots [Proposed] 3

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner KOHL'S DEPT STORES - ERIC BORKENHAGEN Applicant CARROLL ARCHITECTS, INC
 Contact Person ERIC BORKENHAGEN Contact Person JEFF CARROLL
 Address N 56 W 17000 RIDGEWOOD DR Address 750 E. I-30 #110
 City, State & Zip MENOMONIE FALLS, WI City, State & Zip ROCKWALL, TX 75087
 Phone 262-703-7000 Phone 214-632-1762
 E-Mail eric.borkenhagen@kohls.com E-Mail JC@CARROLLARCH.COM

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Eric Borkenhagen [Owner] the undersigned, who stated the information on this application to be true and certified the following:

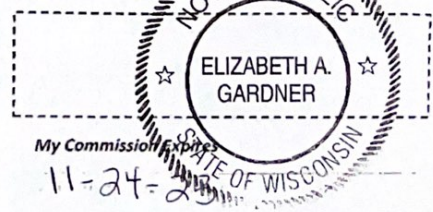
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the _____ day of _____, 20____. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

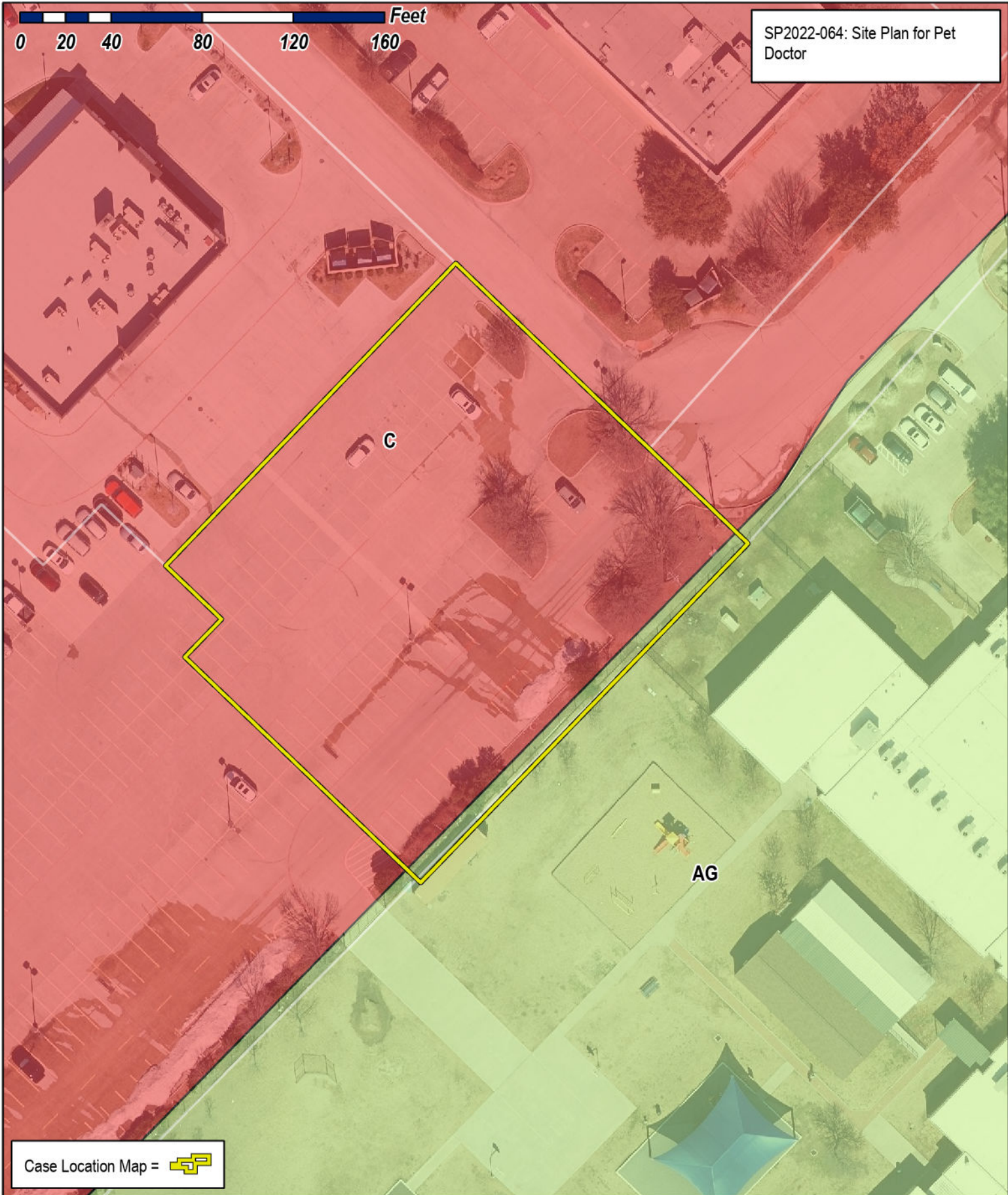
Given under my hand and seal of office on this the 13 day of October, 2022.

Owner's Signature [Signature]

Notary Public in and for the State of Texas

Elizabeth A. Gardner





Case Location Map = 



City of Rockwall

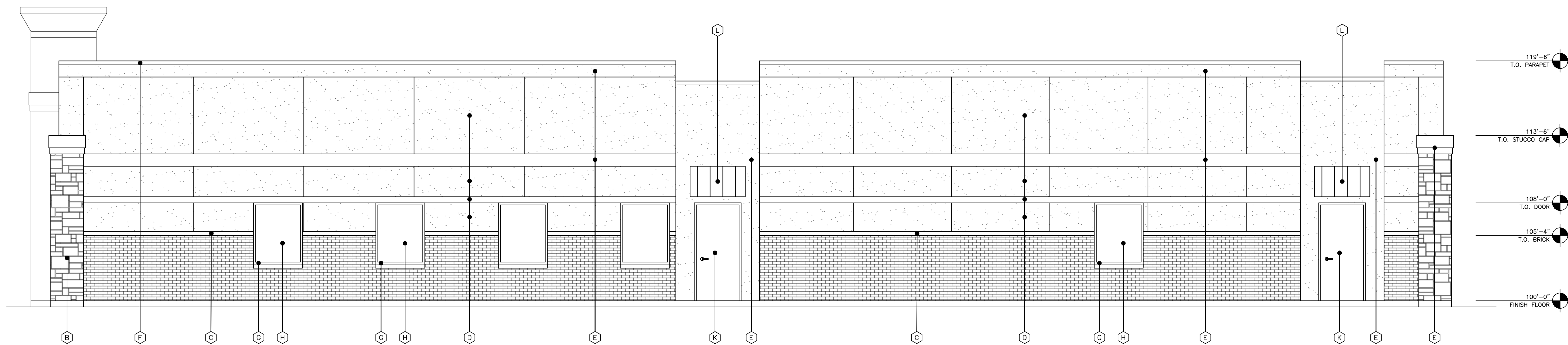
Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



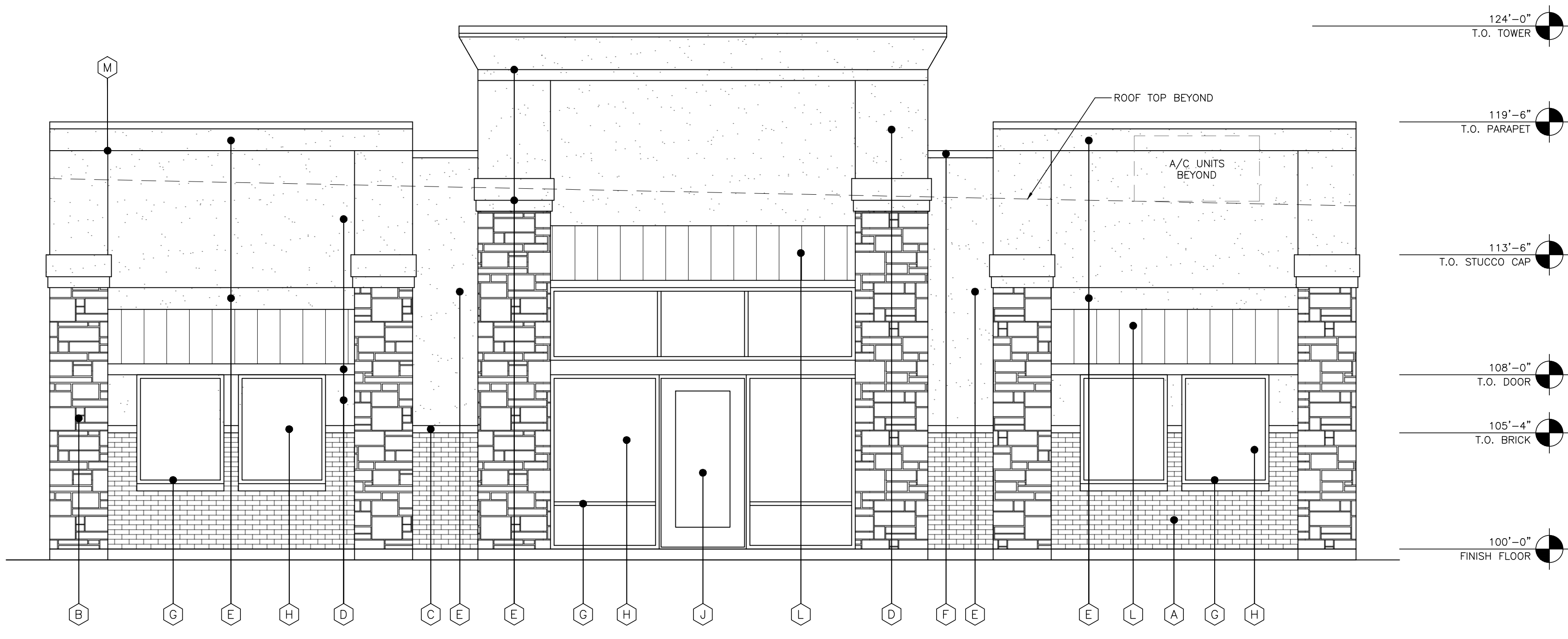
EXTERIOR FINISH SCHEDULE	
A	BRICK VENEER: ACME, FIELD COLOR
B	STONE VENEER: (4) SIDED CUT STONE W/ RANDOM SIZE & WIDTHS WITH MINIMUM SIZE 12" TALL, MAXIMUM SIZE 15" TALL COLOR - CREAM
C	STONE CAP: (4) SIDED CUT STONE W/ RANDOM SIZE & WIDTHS WITH MINIMUM SIZE 12" TALL, MAXIMUM SIZE 15" TALL COLOR - CREAM
D	STUCCO: (3 PART SYSTEM) ELASTOMERIC FINISH COAT - FIELD COLOR - SANDY BEACH
E	STUCCO: EIFS STUCCO ELASTOMERIC FINISH COAT - ACCENT. COLOR - PEARL ASH
F	PREFINISHED METAL COPING COLOR - SILVER
G	WINDOW FRAMES ALUMINUM, COLOR - ANODIZED ALUM.
H	GLAZING: DOUBLE PANE INSULATED, LOW E GLASS W/ WINDOW TINTED @ 10% - GREY
J	STOREFRONT ENTRY SLIDING DOOR SYSTEM: ALUM. COLOR - ANODIZED ALUM.
K	EXTERIOR HOLLOW MTL. DOOR & FRAME: PAINTED, COLOR TO MATCH STUCCO
L	AWNINGS: PREFINISHED STANDING SEAM MTL. AWNINGS PANELS COLOR - DARK BRONZE
M	STUCCO: CONTROL JOINTS AS SHOWN
N	ELEC. SECTIONAL OVERHEAD DOCK DOORS W/ VISION PANELS COLOR:

NOTE: PARAPETS WILL BE FINISHED ON BOTH SIDES



2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

STONE	-	89.1 S.F.	-	4.4%
STUCCO	-	1501.6 S.F.	-	73.1%
BRICK	-	462.0 S.F.	-	22.5%
TOTAL	-	1,448 S.F.	-	100%



1 WEST ELEVATION
SCALE: 1/4" = 1'-0"

STONE	-	236 S.F.	-	23.6%
STUCCO	-	649 S.F.	-	64.9%
BRICK	-	115 S.F.	-	11.5%
TOTAL	-	1,000 S.F.	-	100%

PET DOCTOR	
LEGAL DESCRIPTION AND/OR ADDRESS: ROCKWALL MARKET CENTER EAST LOT , BLOCK A E.P. GAINES CHISUM SURVEY, ABSTRACT NO.64 City of Rockwall, Rockwall County, Texas	
OWNER Dr. Keith Webb Pet Doctor Veterinary Hospital 2703 Market Center Rockwall, TX 75032	
APPLICANT Carroll Architects, Inc. 750 E. Interstate 30 #110 Rockwall, TX 75087 P: 972-732-6085 E: jc@carrollarch.com ATTN: Jeff Carroll	
CITY OF ROCKWALL CASE NUMBER: SP2022-###	
SITE PLAN SIGNATURE BLOCK	
APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____.	
WITNESS OUR HANDS, this ____ day of ____.	
Planning & Zoning Commission, Chairman	
Director of Planning and Zoning	

ISSUE:	
CITY COMMENTS:	12-12-2022

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PET DOCTOR
828 Rochelle Ct.
Rockwall, Texas 75087

PET DOCTOR
DR. WEBB

CARROLL
architects

750 E. Interstate 30
Suite 110
Rockwall, TX 75087
t: 972-732-6085
f: 972-732-8058

EXTERIOR ELEVATIONS

DATE: _____ SHEET NO.: _____
PROJECT NO.: **2022063**
DRAWN BY: _____ **A501**
CHECKED BY: _____



A



D



E



L



B

C



F

J



PET DOCTOR

828 Rochelle Ct.
Rockwall, Texas 75087

